



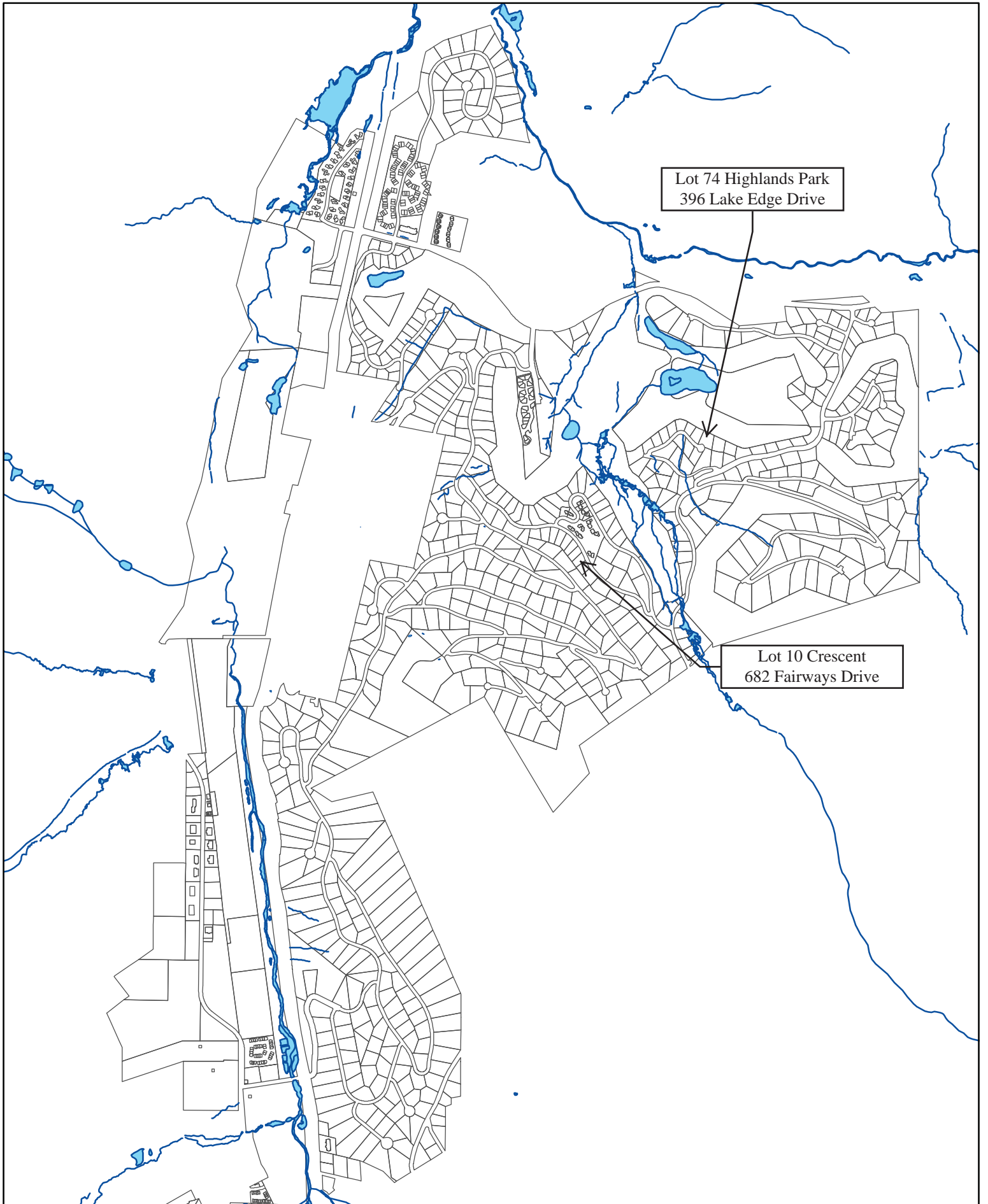
**PLANNING COMMISSION AGENDA**

Tuesday, November 05, 2013  
Breckenridge Council Chambers  
150 Ski Hill Road

<b>7:00pm</b>	<b><i>Call To Order Of The November 5 Planning Commission Meeting; 7:00 P.M. Roll Call</i></b>	
	<i>Location Map</i>	<b>2</b>
	<i>Approval Of Minutes</i>	<b>4</b>
	<i>Approval Of Agenda</i>	
<b>7:05pm</b>	<b><i>Consent Calendar</i></b>	
	1. Shock Hill Landing Units 1 & 2 (MGT) PC#2013091; 12 & 16 Union Trail	<b>16</b>
	2. Warriors Mark West #3, Block 2, Tract 2 (MGT) PC#2013092; 620 White Cloud Drive	<b>25</b>
	3. Peak Ten Bluffs Building D Cluster Single Family (MM) PC#2013094; TBD Silver Queen Drive	<b>36</b>
	4. Lot 10 Crescent (SG) PC#2013098; 682 Fairways Drive	<b>56</b>
	5. Lot 74 Highlands Park (SG) PC#2013099; 0396 Lake Edge Drive	<b>68</b>
	6. Lot 3 Sunrise Point Remodel (CK) PC#2013100; 15 Sunrise Point Drive	<b>82</b>
<b>7:15pm</b>	<b><i>Worksessions</i></b>	
	1. Top Three Discussion (JP)	<b>90</b>
<b>8:15pm</b>	<b><i>Town Council Report</i></b>	
<b>8:30pm</b>	<b><i>Final Hearings</i></b>	
	1. Peak Ten Bluffs Master Plan (MM) PC#2013066; Silver Queen Drive	<b>97</b>
	2. Peak Ten Bluffs Subdivision (MM) PC#2013067; Silver Queen Drive	<b>111</b>
<b>9:00pm</b>	<b><i>Combined Hearings</i></b>	
	1. Shock Hill Lodge Development Permit Renewal (JP) PC#2013095; 260 Shock Hill Drive	<b>124</b>
	2. Four Seasons Resubdivision (MM) PC#2013097; Four Seasons, Filing 2	<b>160</b>
<b>9:45pm</b>	<b><i>Other Matters</i></b>	
<b>10:00pm</b>	<b><i>Adjournment</i></b>	

For further information, please contact the Planning Department at 970/453-3160.

**\*The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**



Lot 74 Highlands Park  
396 Lake Edge Drive

Lot 10 Crescent  
682 Fairways Drive



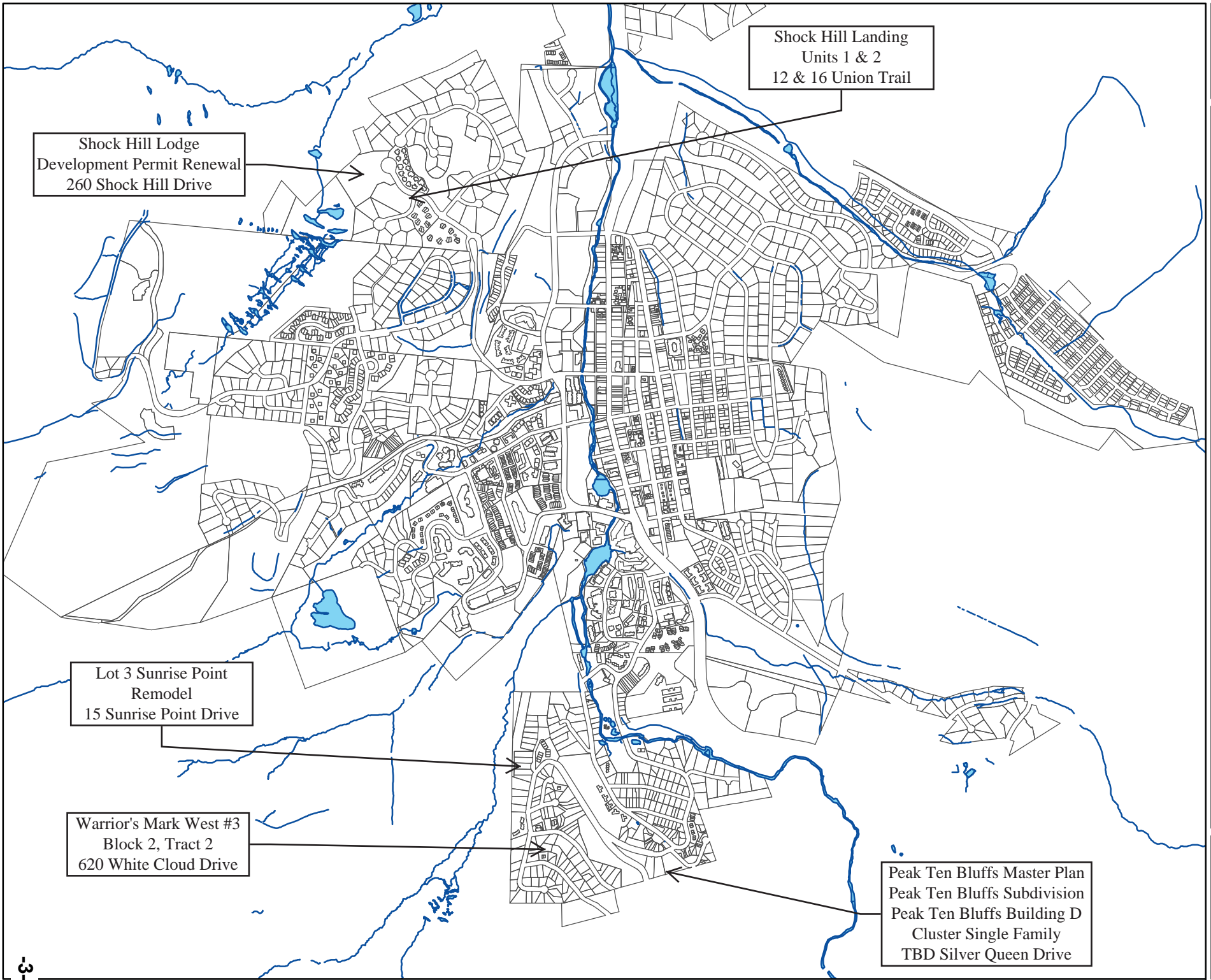
# Breckenridge North

Town of Breckenridge and Summit County governments assume no responsibility for the accuracy of the data, and use of the product for any purpose is at user's sole risk.

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NOT TO SCALE



Shock Hill Lodge  
Development Permit Renewal  
260 Shock Hill Drive

Shock Hill Landing  
Units 1 & 2  
12 & 16 Union Trail

Lot 3 Sunrise Point  
Remodel  
15 Sunrise Point Drive

Warrior's Mark West #3  
Block 2, Tract 2  
620 White Cloud Drive

Peak Ten Bluffs Master Plan  
Peak Ten Bluffs Subdivision  
Peak Ten Bluffs Building D  
Cluster Single Family  
TBD Silver Queen Drive



NOT TO SCALE

printed 4/12/2011

# Breckenridge South

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## PLANNING COMMISSION MEETING

The meeting was called to order at 7:00 pm

### ROLL CALL

Kate Christopher            Jim Lamb                    Eric Mamula  
Trip Butler                   Gretchen Dudney           Dan Schroder, arrived at 7:11 pm  
Dave Pringle, arrived at 7:06 pm  
Jennifer McAtamney, Town Council Liaison, was absent

### APPROVAL OF AGENDA

No Town Council report this evening as Ms. McAtamney is not present. The amended October 15, 2013 Planning Commission meeting agenda was approved unanimously (5-0).

### APPROVAL OF MINUTES

With no changes, the October 1, 2013, Planning Commission Minutes were approved as presented.

### CONSENT CALENDAR:

1. Cedars #13 Addition and Remodel (SG) PC#2013088, 505 Village Road, Unit 13
2. Wellington Block 4, Lot 1A New Detached Garage (SG) PC#2013089, 57 Midnight Sun

With no requests for call up, the Consent Calendar was approved as presented.

**TOWN COUNCIL REPORT:** None. (Ms. McAtamney was not present for the meeting.)

### COMINED HEARINGS:

1. Peak 8 Infiltration Gallery PMA Variance (JP) PC#2013084, 1627 Ski Hill Road  
Ms. Puester presented a proposal to construct and maintain a groundwater infiltration gallery within the Cucumber Gulch Preserve PMA in association with the approved Breckenridge Grand Vacations (BGV) Lodge on Peak 8 Development Permit.

Some alternatives to the construction of the proposed infiltration gallery:

1. Daylight the intercepted groundwater as surface water: This option would capture and divert the groundwater intercepted by the BGV Lodge on Peak 8 foundation to a surface water channel such as the 60-inch culvert that drains the Peak 8 watershed. Although this option would cause less ground disturbance, it would also turn the groundwater, which is critical to fen wetland development, into surface water. In the long term, this approach would likely contribute to the drying of some of the fen wetlands in Upper Cucumber Gulch.
2. Construct the infiltration gallery outside of the Cucumber Gulch PMA or in another location: BGV representatives and Town staff evaluated locations for the infiltration gallery but encountered several challenges with alternate locations. Locating the infiltration gallery uphill of Ski Hill Road would not directly benefit the wetlands and would likely prompt structural issues with the road. The Town Engineer did not support this location for the infiltration gallery. Other locations considered were too short to provide effective infiltration length needed, or caused greater wetland impacts.

It is the opinion of the Town Engineer and Town's hydro-geologist that locating the water spreader at the proposed location would minimize disruption of the natural groundwater flow caused by the building foundation drains because the water would be replaced into the Cucumber Gulch wetlands immediately downhill of the proposed buildings. The Town Engineer is encouraged that the proposed location will also result in minimal existing vegetation disturbance and further protection of natural ground water recharge.

Staff believes that the proposal meets the criteria (A) of the Relief Procedures section as the Town Engineer and the Town's consultant (URS) have collaborated on the proposed design, and have agreed that the proposed plan is the most appropriate course of action for the health of the wetlands in the upper Cucumber Gulch. Also, under subsection (i) the granting of the variance will not result in substantial degradation of the natural and wildlife features and the granting of the variance will not nullify the intent and purpose of the Cucumber Gulch regulation. The consultant suggested some conditions of approval which have been included in the Findings and Conditions in the packet.

The granting of a variance from the prohibitions of Section 8.4 will in no way relieve the applicant, BGV, from complying with all of the Development Standards and Best Management Practices (BMPs) provided for in Sections 11 and 12 of the PMA regulations. Engineering staff will confirm BMPs are in place prior to any site work starting.

Staff found that the proposal meets the requirements for a variance from the Preventive Management Area of the Cucumber Gulch Overlay Protection District, and recommended that the Planning Commission approve the Breckenridge Grand Vacations Lodge on Peak 8 Cucumber Gulch Variance from the PMA Regulations, PC#2013084, along with the presented Findings and Conditions.

*Commissioner Questions / Comments:*

Mr. Mamula Condition # 9 binds in perpetuity the owners, but after awhile BGV will no longer own the project and it will go to the HOA. Is Tim Berry satisfied that it is legally binding enough when it is turned over to the HOA? Does he think that the people who are there will pay attention to maintaining the infiltration unit? (Ms. Puester: Staff had this concern too. There will be a condition put in place per condition #9 that will bind BGV and the future owners which Tim Berry worked on. They also have to meet the intent of performance over the long term as well. We crafted a condition that the Town Attorney will develop the covenant outlining the expectations. Mr. Berry understands this is the intent as well. The Gulch is constantly monitored and it will trigger a review if the ground water level is unusually off, and we can catch it then as well.) (Mr. Rob Millisor, BGV Owner/Applicant: I don't have a whole lot to say except that we've been working the past 2-3 months with Town and engineer and we believe this is the best for everyone. We want to minimize impacts as much as possible. The Gulch is the crown jewel of the community and we will do whatever we can to mitigate any disturbance.)

Ms. Dudney opened the hearing to public comment. There was no public comment and the hearing was closed.

*Commissioner Questions/Comments:*

Mr. Schroder: We've been out for several site visits and looked at the runoff and this plan looks to remediate the issues.

Mr. Pringle: I was concerned about long term monitoring and maintenance and I suppose the covenant you write will be strong enough to hold 10-20 years from now. Condition #8 will allow for us to find another solution if this doesn't work. My concern is that the groundwater gets into at the system at roughly the same rate as it would have normally.

Mr. Lamb: If Tim Berry is comfortable with the language then I'm good. I think this is good.

Ms. Dudney: I'm good with it.

Ms. Christopher: I'm good with it.

Mr. Butler: I'm good with it.

Mr. Mamula: Is this imminent; to be done right away? (Mr. Millisor: Yes, as soon as Town Council

approves it hopefully on Oct 22.) I want to make sure that it gets done soon, because it is the right thing to do and I don't want it to get value engineered down the road if it is supposed to be done much later.

Mr. Pringle: Is this eligible for negative points under 7R site disturbance? (Ms. Puester: It is a variance to PMA. Not much site disturbance will occur in comparison to other projects that receive negative points. It will also have the BMPs that will be in place, it won't be too impactful as designed.)

Mr. Pringle: I'm good.

Mr. Dudney: If an applicant makes a modification to the design, they can't just modify it without coming back to the Town Council or the Planning Commission right? (Ms. Puester: If there are any significant changes which are proposed, it would go back under review. The Town's hydro-geologist as well as engineering, open space staff and the BGV hydro-geologist is fine with this as designed, so if there is a significant change it would come back.)

Mr. Schroder made a motion to approve the Peak 8 Infiltration Gallery PMA Variance, PC#2013084, 1627 Ski Hill Road, with the presented findings and conditions. Ms. Christopher seconded, and the motion was carried unanimously (7-0).

**TOWN PROJECT HEARINGS:**

1) Pence Miller Village (MGT) PC#2013087, 837 & 841 Airport Road

Mr. Thompson presented a proposal for an 81-unit, affordable rental apartment project. The project consists of two buildings with a majority of parking under the buildings. Each building consists of studio, 1 bedroom, and 2 bedroom units. The west building also contains one 3 bedroom unit and a leasing office. The trash collection for each building is by way of one trash chute and one recycle chute that are collected in the garage level.

Each parking garage contains 39 parking spaces and 39 storage lockers for tenants. The buildings are proposed nearly parallel to Airport Road on the site with one building closer to Airport Road and one further up the hill at the back of the site. The project style is typical mountain architecture incorporating stone veneer, board and battens siding and lap siding with heavy timber accents. The Town of Breckenridge owns the land for the proposed attainable housing project; hence this is being processed as a Town Project.

**Changes From the Previous Submittal**

- Height: An entire story from both Building 1 and Building 2 have been removed, which reduced their overall height by 8.5'. (From their original design the buildings have been reduced in height by 21'- 3 1/2".) The applicant has since proposed a height that is just below 50' submitted just today-different from packet.
- Garages: The entries have been reconfigured so both enter from the side of the buildings, instead of the front of Building 2.
- Elevations: The elevations have been reconfigured and some positive changes have been made to the roof lines in response to the need to break them up more.
- Density: There has been a reduction in total density from 65,142 sq. ft. down to 61,055 sq. ft. (Density reduced from 92,242 sq. ft. from first submittal).
- Number of units from 96 to now down to 81.

**Point Analysis (Section: 9-1-17-3):** Staff believes the proposal warrants the following points: Policy 24/R Employee Housing positive ten (+10) points, Policy 18/R Parking positive two (+2) points, Policy 22/R Landscaping (+4) points staff believes this does provide above average landscaping for the community, beyond the minimum requirements, Policy 15/R Refuse positive one (+1) for placing the trash dumpster

inside of a principal structure screened from public view, Policy 25/R Transit positive four (+4) points for a bus pull out with shelter for waiting guest, Policy 26/A &R Infrastructure positive four (+4) for installation of a sidewalk to the bus stop paralleling Airport Road, and installation of street lights, and negative ten points (-10) under Policy 6/R as the building height is more than one story over the land use guidelines recommendation, but are no more than one and (1) stories over the land use guidelines recommendation; for a total passing point analysis of positive fifteen (+15) points (revised based on new height proposed).

Policy 3A: Density is proposed at half of allowed density. Two parcels north of and south of Claimjumper Condos have been combined for the purposes of the density calculation even though they are not contiguous (separated by 11.53') per Council direction. The density would be permanently stripped from the north parcel where the conservation values are higher than the south parcel.

Applicant is retaining trees east of Building 1 between the building and Airport Road to meet the condition in Land Use District 9.2 to go from a two to three story land use district. Per LUD 9.2: *“Buildings in excess of two stories are discouraged. Buildings of three stories may be acceptable only if situated in such a way that the hill to the west provides an appropriate backdrop, and sufficient trees are left to the east to provide adequate screening.”*

Snow removal plan did have some problems, push down into the detention pond, but staff believes need to lose two parking spaces to allow for snow to realistically pushed in there. Applicant does have the necessary 25% for snow storage. Parking requirement would still be met even with two spots removed.

Emergency access gate near Pinewood. Internal access, there is a single track trail that will lead to Claimjumper and allow for travel to the bus stop.

Received comments today from the County. This site is adjacent to Summit County Government property. (Mr. Thompson handed them out.) Concerns raised are that other than the single track trail there are no pedestrian connections coming out of building to existing sidewalks. Also, had concerns that three of the units did not have storage in the underground garage. Applicant agreed in writing to staff that they would add those pedestrian sidewalks and three more storage units so every unit has a designated storage area. Mr. Thompson received 15 e-mails, also received 4 more since staff deadline. (Mr. Thompson passed these out.) Findings and conditions from the Town Attorney and are shown in tracked changes.

The drainage and detention pond met Town codes.

Did the Planning Commission agree that the buildings are situated in such a way that the hill to the west provides an appropriate backdrop, and sufficient trees are left to the east to provide adequate screening as described in LUD 9.2?

This is a Town Project pursuant to the recently adopted ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013), effective April 12, 2013. As a result, the Planning Commission is asked to identify any code issues they may have with this application. In addition, the Commission is asked to give advice and recommendations to the Town Council.

Staff has identified that the only policy that this application does not comply with is Policy 3A/3R *Density/Intensity* due to the lots not being contiguous.

As the proposal has a positive point analysis the Planning Department recommends the Planning Commission support approval of Pence Miller Village, PC#2013087 with the presented findings.

*Commission Questions / Comments:*

- Mr. Schroder: If we approved, how are things like drainage that aren't yet addressed, how will they be worked out? (Mr. Thompson: I feel comfortable that the Town's engineers and the applicants engineer will work out the final details on the drainage. The plan is to bring all the drainage from the site into a detention pond near the front of the project and then slowly release into a ditch along Airport Road, which will lead to the Cucumber Creek drainage.)
- Ms. Dudney: Addressing the letters. Want to confirm that there is a sidewalk and bus stop on the west side of road? (Ms. Christopher and Mr. Butler also were concerned about this.) (Mr. Thompson: Yes there will be a sidewalk, bus pull out, and bus shelter on the west side of Airport Road at the proposed Pence Miller Village. The big thing for transit is the need for an appropriate pull-out so the transportation department was in favor of this new stop. The standard is that there should be a bus stop every 800-1200' along a street with significant riders, especially because this project would be adding riders at this location.)
- Mr. Lamb: In that area you have one across the street from the recreation center entrance and one at Pinewood, would this be combined? (Mr. Thompson: No, not combined; this would be an additional stop.)
- Ms. Dudney: What if I disagree with the interpretation of the base height being 2 stories instead of 3? The project would still be approved, but with negative 15 points. (Mr. Thompson: If the Commission considered this to be a two story land use district the proposal would warrant negative twenty (-20) points.) Parcel 1 as 8.979 and parcel 2 at 6.79 acres? (Mr. Thompson: The Claimjumper land exchange was reviewed. When the land trade happened, the Town decided to be consistent with land use district 9.2 and LUD 1. When the slope becomes very steep LUD 9.2 ends and LUD 1 begins. For LUD 9.2 we are not using land that is so steep that it is in LUD 1.) Question, above average points on landscaping is a minimum of 10' for evergreens. (Mr. Thompson: Felt that the 12' trees offset having some of the 8' trees, and it is good to have some of the trees be of the larger sizes.)
- Mr. Butler: Connectivity question, is it unusual to transfer density from the big plot to the little plot? (Mr. Thompson: I have never worked on a project that had the connectivity issue.) It is not a deal breaker, because this is a Town Project process. (Mr. Grosshuesch: The bigger parcel is a better candidate for open space and has best conservation values.) (Mr. Thompson pointed out the larger parcel and the connectivity gap of 11.5' for the Commissioners and the audience to help clarify.) Question on the elevation drawing, the conversion is a sticking point, between stories and feet. If you look at the subfloors called out on the elevation that looks like 4 or 5 stories. Stories architecturally don't necessarily mean they are real on the inside. (Ms. Puester: The first 2 stories are 13' each, every story above that is 12'. This is the height conversion in the code. And 6' for half stories, in a multi-family development you are calculating stories to the median of the roof, halfway up that roofline and measure straight down to get building height.)
- Ms. Christopher: On the height, is it negative ten (-10) points based on the 3 story assumption baseline? (Mr. Thompson: Yes.) Explain why it is off of 3 stories, not 2. (Mr. Thompson: Read the language on height LUD 9.2: "*Buildings in excess of two stories are discouraged. Buildings of three stories may be acceptable only if situated in such a way that the hill to the west provides an appropriate backdrop, and sufficient trees are left to the east to provide adequate screening.*" We believe that it meets the condition to go to 3 stories. Code allows any applicant to take any warranted negative points, but they cannot go over two stories over the land use guidelines recommendation, or they fail the absolute policy.) Still positive point analysis if the baseline is a 2 story assumption as I would propose. It would be negative twenty (-20) points but I feel this is better than going with a 3 story baseline.
- Mr. Mamula: Explain how this has become a Town Project? I don't understand how a for-profit company is now allowed to use the Town Project process. (Ms. Puester: It is Town land and is



attainable housing. This ordinance was amended about a year ago.) This is a complete waste of this body's time if the Council is going to do this anyway. Frustrated with this process and disagree that it's a Town Project.

**Applicant Presentation:**

Mr. Robert Miller from Paul Bergner Architect (PBA Studio), 1575 Gilpin Street, Denver: Mr. Thompson did a good job of the overview of site and plans. I want to go over how feedback has been received in the planning process. (Mr. Miller showed graphical renderings.) In July 2012, showed concepts for the project: that included structured parking, originally proposed as Pinewood Village 2. At that time we showed a basement parking garage at grade on Airport road and then it got buried behind and 4 habitable floors above. As we heard feedback about the scale, massing and height concerns, we looked at different options. Lowering roof, habitable living in the roof, differences from front building and back building. As feedback and concerns continued we stepped it back again and looked at 2 story roofline along the front and building into the roof, 3 story elements and a dichotomy between the two buildings. But more feedback showed that the dichotomy between the 2 buildings is not what the Town or neighbors wanted. Now both buildings are the exact same height and design. We really tried and succeeded in getting this below a 50' height building.

It is a buried parking garage for the most part, then we have 2 stories of habitable floors on one part, and 3 story habitable element in the middle of the building, with 2 story eave line and then a 3 story eave line. We are not providing a 4<sup>th</sup> floor of habitable living. We feel like we've responded to critiques on height, massing and scale and feel like it is compatible to the 9.2 district. Most of the housing along Airport Road is 3 stories because it is down sloping. This is similar in nature, but is pulled together so that we can provide structured parking, and the site area is more compact. (Mr. Miller showed original site plan and showed how much they responded to concerns previously raised and how it has re-oriented to save trees, comply with easements, improved landscaping and visuals along Claimjumper.)

Mr. Tim Casey, 1031 Boreas Pass Road, resident Town of Breckenridge, Applicant. Needs Assessment by Reese Consulting said that the demand for workforce housing far exceeds the supply. This is a Town Project, because Pinewood and this project reverts back to the Town after 65 years. There are rent payments on the lease when there is appropriate cash flow. In this particular location, if we look at the available sites left in our community in proximity to amenities, it is a unique site and that is why the Town went after it and that is why we were asked to create a product. Also, the building will have an elevator and will be accessible to anyone in the community. We are able to accommodate 81 storage units for resident's toys and will install pedestrian walkways from the buildings to the sidewalk along Airport Road. We've addressed most Summit County Planning Department's, the Planning Commission and neighbor's concerns.

*Commissioner Questions / Comments:*

Ms. Christopher: Asked about the length of the middle ridge line, looks more than 50'? (Mr. Miller: We are 52', but we will modify the design to get to less than 50' in length.)

Mr. Butler: Will you have handicap accessible units on ground floor? (Mr. Miller: All units will be type B, baseline accessibility, doorways will be big enough, the building code requires to be type A units so we will comply with all of these. We've found historically that the percentage of renters meet this code requirement. There is an elevator so all units may be accessible.)

Mr. Pringle: Were you able to address concerns for more sidewalks? (Mr. Miller: We fully commit to provide sidewalks to Airport Road, we also have 81 storage units.) Did not comply with 3A with density; can you explain? (Mr. Thompson: Took this proposal to the Council and they are comfortable with combining the two parcels for the purpose of the density and mass calculations. Since it doesn't meet 3A, 3R doesn't apply for this Town Project. Wanted to point out density is from 2 parcels. Calculated all density numbers off of that.) Shouldn't we say that it doesn't meet 3A? (Mr. Grosshuesch: That is what we intend to do.) (Ms. Puester:

Findings #6, you will see this is outlined how it does not comply with the density / intensity this is highlighted in the findings and report.) We are looking at this as carefully as we can but we have to look at what the council has presented as well.

Ms. Dudney opened the hearing to public comment.

Ms Carol Rockne: Owns 4 units across the street and long-term rents them. My son lives in one of my units. I have a great deal of respect for planning staff and commission, I've lived here since 1963 when we didn't have a commission and we got some big things built by people that we didn't want. This doesn't fit in the neighborhood. It is ironic that we've gone full circle. The planning commission and staff have saved this town, but now we are full circle that this piece of land that is untouched and the Town is building something that is too big. The planning staff has been compromised by the Town Mayor and the Town Manager, I don't blame the developers. I don't forgive the Town leaders. I didn't know that when they passed the Town Projects ordinance that they can do whatever they want to do. Big government is making their own rules. We have over 300 low income people living here. I know things are expensive, I don't see businesses going out of business because they can't find employees or that they are even paying people more. District 9.2 is 10 units per acre; more than 2 stories are discouraged. This is a 2 story district. Every project in 9.2 has met this. Previous projects in this area have met this. The points should be negative twenty (-20). Left old staff report for the commissioners. They have an upper blue density transfer, so now they have put that on this. You cannot take density from one parcel and put on another unless it fits. Can't put 8 acres of density and mass and put it on 3 acres and make it fit. The open space including detention plan is 85% of the site, the building and hard surface is only 15% but if you look at the picture this is not true. Setbacks should not have anything more than can fit on the parcel. The ordinance, there should be on the ballot to appeal this ordinance, the Town Council should be separate from the planning commission. Employee housing positive points was intended to encourage others to build, not the Town. Landscaping, 4 positive points is what Kingdom park got, 41 spruce, 110 aspen, 126 shrubs, meandering berm and sidewalk and save 44 mature trees we got 4 positive points. Corum has proposed 27 Colorado spruce trees (8'-12'), 22 Engelmann spruce trees (8'-10'), and 7 aspen trees (3" minimum caliper). Pinewood put in landscaping and they got zero points and they put in twice as much landscaping as they did. The planning staff has been compromised because they've been told what to do. No surface drainage plan and they are doing a surface detention pond, looks like Mountain Thunder Lodge but is not in district 9.2 but it is in district 2.1 where the height fits. The detention pond will be filled with every rain, should all be going into a storm sewer not a detention pond. This is a residential district not a mixed use district, the lease office doesn't belong on this land.

Mr. Jeremy Worsester, 1001 Riverstone Drive Parker, CO: I oppose the size of the building going on that size of lot and it will put our Unit 16 of Claimjumper in the shade. Left two copies of his concerns for the commissioners.

Mr. John Yelnick, Claimjumper 6 and 13. Do we have a volumetric of the amount of soil removed for the project? I understand that this will be approved by city council regardless of the Planning Commission recommendation tonight. This was federal property transferred to Breckenridge, it has an historical designation and did not show up in the transfer. It also has prescriptions, the Claimjumper has not given consent and the Town took these from the Claimjumper over a decade ago. These two parcels are both super fund sites and the arsenic and heavy metals will be a great concern to the EPA for remediation. We should be concerned about the dust and give notice to the residents living here. I'm sure that this is subject to federal jurisdiction and this has not been addressed. The city manager said he would address the Claimjumper concerns at our HOA meeting and he has not. Policy 3A/ 3 R concerns: I have been a professor of law for thirty years and I've never seen this done. The drainage down the side the building and is going to pool on the Claimjumper property. Never seen a proposal where storm water is not addressed. This information was not given to the public nor the planning commission in the packet.

Mr. Perry Keller Claimjumper 34: I'm not sure what is being proposed. There are internal inconsistencies with real time changes just being introduced at this meeting. The comments about the two parcels being connected versus what is actually being built on. The density is either 130-150% of what is allowed. I've heard mention of 8-12' trees that look more like 5' trees from the renderings. The last piece of land being close to Rec Center, City market and library and it seems to me that it does not look like it is incredibly over built. The master plan talks about mixed use and this doesn't seem consistent. The façade of the Claimjumper facing these properties is 3 stories, but the roof ends at the top of the 3<sup>rd</sup> floor, if something was similar that would take off 20'. The profiles between two properties are completely different. The garage does not appear to be mostly below grade, but the garage does not add to the appearance, maybe better to be completely below grade.

Mr. Rick Gleason, Overton Law Firm, speaking for Lacy Brewer, owner of Unit 3 at Claimjumper: Why is this scale the minimum that would be acceptable? Clearly the height is way out of scale with the surrounding neighborhood. Agree completely with starting at the baseline of being 2 stories. The EPA question, I saw information about this being a superfund site and with all of this dirt moved, what steps will be taken to notify everyone? Final comment, the note for the Town to disregard the various standards that are used for every other project in town. I don't think the Planning Commission should go along lightly. It is not acceptable.

Mr. Frank Steen, 832 Airport Road, Town of Breckenridge: I'm appalled at how the point system is being used and pushed through. Too much height and density.

Ms. Barb Schaffer, 832 Kingdom Park: I don't know if you are familiar with the neighborhood, but the amount of density is too dense. If you cut the number of units in half it would be ok. Three quarters of residents in Kingdom Park don't live there year round and we have problems already with overcrowding with parking and noise problems. It is too much for us as a community. I have no problem with employee housing, reality is that when one person lives there are really 3 people living there. If we don't diversify that all the employees are living there with all of the marijuana shops and a school we are going to have a lot more issues to deal with in 5-10 years. I don't know the Town Code; I do know that people can manipulate points to get what they want. But please listen to the people here tonight and make the points work. Kingdom Park did not receive notice, so not sure if other neighborhoods didn't also.

Ms. Robin Reade, owner in Claimjumper, also part of Homeowner's Board: I want to echo what others have said and I agree with them. In addition, my condo is #5 and my deck is facing the proposed development and back bedrooms of these units are close to the density. The elevations don't compare how the back deck from Claimjumper and views and sun light with the proposed buildings will block all of this. Ms. Reade showed a drawing of how the proposed would appear to be a whole other story than the Claimjumper. An extreme difference in elevation. The sunshine, view, landscaping will screen out the whole view.

Ms. Phyllis Emrich, #33 Claimjumper: We all realize that property values will plummet, because parking lot right next door and density. If it was your place that you have lived in for a long time that you plan to retire too, it won't be good 5 years down the road when you have 5-6 people living there because they don't follow the rules. We have been gracious to work with the mobile home park. No one is against employee housing, but this is a monstrosity.

There was no further public comment, and the hearing was closed.

*Commissioner Questions / Comments:*

Mr. Mamula: The way that the ordinance reads, I don't understand how this becomes a Town Project when it is being built and funded by an outside business. (Ms. Puester: Read a section of

9-14-1 to the Planning Commission: *b) the planning, design, construction, erection, repair, maintenance, replacement, relocation, or improvement of any building, structure, facility, excavation or any other project or work of any kind undertaken with the consent of the Town Council on Town owned real property by a nonprofit entity or the planning, design, construction, erection, repair, maintenance, replacement, relocation or improvement of an attainable work force housing project on Town owned, leased, or controlled real property, regardless of whether the attainable work force housing project will be operated by the Town or some other person.*) It says construction by a non-profit entity. Mr. Casey are you a non-profit? (Mr. Casey: We are not a non-profit.) There is very little planning commission experience on the Town Council and what we say may not even work. I believe that rental affordable housing is a desperate need; however, I don't think we can look at this project any differently just because it is employee housing. I think we need to look at it like a Mountain Thunder Lodge. If Council just wants a reference that it meets the rules. I do not think the reading of 9.2 says 2 story district with possibility of 3, our code is very straight forward, it is 2 full stories, so negative twenty (-20) points. I made a lot of comments that 9.2 is not the district for a building of this size. Density issue: I'm sure there are other calculations that the Town could do where there is other property to make this land use density work. The Town would have treated you as a private developer by counting the entire bulk of the property. Landscaping: I argue the landscaping points and recognize Ms. Rockne's point. Pinewood did an exemplary job, one of the best in landlord/ tenant relations. I don't think Corum will run it improperly, but I don't think that this is the right size for this. I don't think this passes the point analysis for me.

Ms. Christopher: We expect private homeowners to give us exact uses, without changes so this feels because this is Town Project, it feels like it needs to come back with all of the changes. All of the changes are in our packet and I don't feel like I can approve this. Drainage: Needs to be addressed. Internal Circulation: Not in the packet. Height is not in our packet. Ridgeline is more than 50' in length, landscaping and possibly additional berming for neighbors so that headlights don't shine. 2-story baseline with negative twenty (-20) points. I have a problem with no points for 3A/3R just because it is a Town Project, density added. We need to show all the negative points to the Council even though that is overall negative.

Mr. Butler: Even with negative twenty (-20) points, they have points to spare. I appreciate the efforts they have made to make it fit. I think the conversion factor is a double edged sword. I wish it said that buildings in excess of 26' are discouraged; buildings at 38' are acceptable. I'm glad that Ms. Christopher and Mr. Mamula said what they did. It does fit on the site, but I think that the scale is still pretty scary and the issues that the residents have pointed out make it difficult to give the Town Council a positive recommendation.

Ms. Dudney: Height: I agree with staff that baseline is 3 stories, if this wasn't there then there wouldn't be language in 9.2 based on hillside and trees, negative ten (-10) points as Mr. Thompson presented in his staff report. I disagree with landscape points because minimum is a minimum, should be positive two (+2) points. Density was decided by Town Council, they shouldn't be combining two parcels but that parcel is really 8.96 acres but part is in a different district, it can be in the building area so I'm divided on this, as it is it doesn't pass the density category and they should know that. Drainage and EPA superfund is a big void; I don't have enough information on these.

Mr. Lamb: Pretty clearly the audience doesn't like this project, but our job is to look at the code. This is coming in 1/2 of the density and 1/2 the allowed mass allocated to the site and it makes sense that this is combined between the two parcels. Employee housing is sorely needed in this community. I agree that we need more information with regards to height, drainage, landscaping, but we've seen this a couple of times. I think it can be done responsibly. Pinewood is a tight run operation and I don't see 8 people living in one apartment.

Mr. Pringle: This applicant is not the bad guy. They build good projects, Pinewood had the same objections initially but it is now one of the best run affordable housing projects we have. On one hand I love this project because it is exactly what we need. This is the right project for the site. Having said all that, I've always been uncomfortable when we have to deviate from the policies and it is in violation of 3A and could not pass an absolute. I think it should get negative twenty (-20) points for being too high. Landscaping should be positive two (+2.) This is a project that the Council wants and we've discussed for well over a year. I understand that it is a nice vacant lot and I don't know what the Claimjumper residents would like. I am not sure there is a project that Claimjumper would be happy with. It reminds me of solar panels on the McCain property, it's up and now no one says anything. Any building put here will be fairly large. I think the project will pass on points and the Town Council will approve it as they want to. We need to recognize that the community objects to this and this is important to the process. These developers only want what's best for the Town too.

Mr. Schroder: I feel strongly that we are charged with upholding the code and reviewing code requirements. There are a lot of things that aren't in our packet. I can only comment on what was presented before the meeting. Height: the mass density I agree that we are not meeting the threshold, I would be in support of negative twenty (-20) points. Not sure about sufficient screening to the east, hill is dramatic, but east is not. This would still pass a point analysis and I would support the rest of what was presented. This is a public meeting and no one came in support of this project. I feel uncomfortable with public feedback and then submitting the passing point analysis, but the human side needs to be presented to Council as well.

Mr. Pringle made a motion to change Policy 6R from negative ten (-10) to negative twenty (-20) points because it is two stories over than over that allowed in LUD 9.2. Mr. Mamula seconded.

Mr. Butler: Yes.  
Ms. Christopher: Yes.  
Ms. Dudney: No.  
Mr. Mamula: Yes.  
Mr. Pringle: Yes.  
Mr. Schroder: Yes.  
Mr. Lamb: No.

The motion passed (5-2).

Mr. Pringle made a motion to change the point analysis on Policy 22R from positive four (+4) to positive two (+2) on landscaping, Ms. Christopher seconded.

Mr. Lamb: No.  
Mr. Mamula: Yes.  
Ms. Dudney: Yes.  
Ms. Christopher: Yes.  
Mr. Mamul: Yes.  
Mr. Pringle: Yes.  
Mr. Schroder: Yes.

The motion passed (6-1).

*Final Comments:*

Mr. Mamula: We don't have full information because this is a Town Project. Under a normal project we

would tell them to come back. This is a half-baked plan that we are proposing to send on to Council.

Ms. Dudney: Let's look at density and then make other motions.

Mr. Mamula: I don't think we can make comments on the EPA because this is not a planning code issue.

Mr. Lamb: I thought the remediation was done before Town bought it.

Ms. Dudney: It could be site and design; I think it would be helpful to make motions on the notes of the items.

Mr. Lamb: It is tough to vote on something that we don't have all the information on

Mr. Pringle made a motion that on page 48 of the packet that this project is not compliant with 3A to change point analysis to say that 3A does not comply because the parcels are not contiguous. Seconded by Ms. Christopher.

Mr. Pringle: Yes.

Mr. Lamb: No

Mr. Butler: Yes.

Ms. Dudney: Yes.

Mr. Mamula: Yes. I don't know but I want Council to see this.

Mr. Schroder: No.

Ms. Dudney: The Council can make the decision that the 11' gap doesn't matter but at least they know that we don't think this is compliant.

Mr. Pringle: Can we point out to them that we would like more information on drainage? (The Commission agreed that it is just in the minutes.)

Mr. Schroder: We are asked to make recommendations on these policies? Any other point analysis issues to bring up to Town Council?

The Commission thanked all the members of the public who showed up.

Mr. Pringle made a motion to approve the point analysis as amended for the Pence Miller Village, PC#2013087, 837 & 841 Airport Road. Ms. Christopher seconded, and the motion was carried unanimously (7-0). Point analysis of positive twenty three (+23) points total and negative twenty (-20) points, results in a point analysis of positive three (+3) points, and a failing of absolute policy 3A.

Ms. Dudney announced a five minute break. Ms. Dudney re-opened meeting at 9:45pm.

#### **OTHER MATTERS:**

Ms. Puester stated it was time for the annual election of Chair and Vice Chair, to serve from November 1, 2013, until October 31, 2014.

Mr. Pringle nominated Mr. Lamb for Chair as he has been Vice Chair and been doing a good job filling in. The nomination was carried unanimously (7-0).

Mr. Pringle nominated Ms. Christopher as Vice-Chair of the Planning Commission. The nomination was carried unanimously (7-0).

The Planning Commission retreat is on Friday, October 25. Meet at 9:00am at Town Hall.

Today is the day which the disposable bag fee became effective day so in commemoration, Ms. Puester handed out reusable Breckenridge bags to the Commission. Mr. Grosshuesch asked if there are any bag questions and gave an overview of the program details.

Mr. Schroder asked about vegetable bags being used (Mr. Truckey: Those are still allowed and encouraged to separate meats and vegetables from other groceries.)

Mr. Truckey: These bags are for sale for 99 cents in 25-30 stores. The Welcome Center is also selling them.

Dave Pringle thanked Gretchen Dudney for being Chair the last year.

**ADJOURNMENT:**

The meeting was adjourned at 9:51 p.m.

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Gretchen Dudney, Chair



**Class C Development Review Check List**

**Proposal:** Shock Hill Landing Lot 1 and Lot 2 Duplex

**Project Name/PC#:** Shock Hill Landing - Lot 1 and 2 Duplex PC#2013091

**Project Manager:** Matt Thompson, AICP

**Date of Report:** October 29, 2013 For the 11/05/2013 Planning Commission Meeting

**Applicant/Owner:** Shock Hill Tract C, LLC

**Agent:** Tom Begley

**Proposed Use:** Duplex

**Address:** 12 and 16 Union Trail

**Legal Description:** Lot 15 and Lot 16, Shock Hill Landing Subdivision, Filing No. 1

**Site Area:** 7,429 sq. ft.

**Land Use District (2A/2R):** 10: Residential

**Existing Site Conditions:** The property slopes gently downhill at 2% from Penn Lode Drive towards the Cucumber Gulch. The lot is heavily covered in large lodgepole pine and spruce trees. There is an aerial tramway easement along the northern property line.

**Density (3A/3R):** Allowed: 5,000 sq. ft. Proposed: 4,684 sq. ft.

**Mass (4R):** Allowed: 6,000 sq. ft. Proposed: 5,754 sq. ft.

**F.A.R.** 1:1.29 FAR

<b>Areas:</b>	<b><u>Unit 1</u></b>	<b><u>Unit 2</u></b>
Main Level:	923 sq. ft.	951 sq. ft.
Upper Level:	1,441 sq. ft.	1,423 sq. ft.
Garage:	513 sq. ft.	503 sq. ft.
<b>Total Each:</b>	2,877 sq. ft.	2,877 sq. ft.

**Total:** 5,754 sq. ft.

**Bedrooms:** 4 each side of duplex

**Bathrooms:** 4.5 each side of duplex

**Height (6A/6R):** 33 feet overall  
(Max 35' for single family outside Historic District)

**Lot Coverage/Open Space (21R):**

Building / non-Permeable:	4,712 sq. ft.	63.43%
Hard Surface / non-Permeable:	1,560 sq. ft.	21.00%
Open Space / Permeable:	1,157 sq. ft.	15.57%

**Parking (18A/18/R):**

Required:	4 spaces	2 each side of duplex
Proposed:	4 spaces	2 each side of duplex

**Snowstack (13A/13R):**

Required:	390 sq. ft.	(25% of paved surfaces)
Proposed:	390 sq. ft.	(25.00% of paved surfaces)



**Fireplaces (30A/30R):** 2 gas each side of duplex

**Setbacks (9A/9R):** Perimeter boundary setbacks being met

**Architectural Compatibility (5/A & 5/R):** The proposed residence will be architecturally compatible with the neighborhood.

**Exterior Materials:** 2x12 v-groove spruce siding (stained brown), cedar shake siding (mountain ash), window cladding brown, and a natural stone veneer "Sebastian Chopped."

**Roof:** Asphalt shingles "Mission Brown" with accent corrugated (slate gray) metal roofing

**Garage Doors:** Custom doors to match siding

**Landscaping (22A/22R):**

Planting Type	Quantity	Size
Colorado Spruce	3	(2) 8 - 10', (1) 12' - 14'
Aspen	15	2" - 3" caliper, 50% multi-stem
Antelope Bitter Brush	15	5 gallon
Potentilla	15	5 gallon
Silver Buffalo Berry	15	5 gallon

**Drainage (27A/27R):** Positive away from residence

**Driveway Slope:** 2 %

**Covenants:**

**Point Analysis (Sec. 9-1-17-3):** Staff conducted an informal point analysis and found no reason to warrant positive or negative points. Proposal meets all Absolute and Relative Policies of the Development Code.

**Staff Action:** Staff has approved Shock Hill Landing, Lots 1 and 2 Duplex, PC#2013091, located at 12 and 16 Union Trail, Shock Hill Landing Lots 1 and 2 Duplex with the attached Findings and Conditions.

## TOWN OF BRECKENRIDGE

Shock Hill Landing Lot 1 and Lot 2 Duplex  
Lot 1 and Lot 2, Shock Hill Landing  
12 and 16 Union Trail  
PC#2013091

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 29, 2013**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013**, as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **May 12, 2015**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.

7. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
8. Applicant shall field locate utility service lines to avoid existing trees.
9. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
10. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
11. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

12. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
- 13. Applicant shall have the subdivision plat for Lot 1 and Lot 2 Shock Hill Landing approved by the Town of Breckenridge pursuant to Section 9-2-3-3 of the Breckenridge Subdivision Standards, and recorded with the Summit County Clerk and Recorder prior to applying for a building permit.**
14. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
15. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
16. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
17. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
18. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
19. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town's water system, including hydrants, prior to any construction with wood. In the event the water system is

installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.

20. **Applicant shall install construction fencing in a manner acceptable to the Town Planning Department.**
21. **Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
22. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

#### **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

23. **Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.**
24. **Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.**
25. **Applicant shall remove all vegetation and combustible material from under all eaves and decks.**
26. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
27. **Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.**
28. Applicant shall screen all utilities.
29. **All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
30. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
31. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.

32. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
33. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
34. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)

### REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

- SHORT DRY GRASS MIX #1 LEWOOD OR HARD FESCUE
- CRABPREEP FESCUE
- WHEAT PASTURE
- CANADA BLUEGRASS
- CAMEL BLUEGRASS

SLICES OVER 3" SHALL BE MAY MACKENZIE OR BETTER.

MOUNTAIN PINE, WESTERN PINE #1 LEWOOD OR #2

SHRUBS TO BE PLANTED:

- ROCKY MOUNTAIN BLUE GOOSEBERRY
- HOY FLORIBUNDA
- WESTERN NATIVE UNCLE TOM'S CACTUS
- MOUNTAIN LILY
- COMPANION WESTERN
- COLORADO
- SILVER PINE
- SERRAVALIA RICHMONDSON
- HOODIA GORDONII
- ASTER BRUGGERIANUS
- WESTERN LARKSPUR
- GULL ARIZONA LARKSPUR
- AMERICAN VETCH
- ORANGE MOUNTAIN DAISY
- GLIST LILY
- PENSTEMON UNICOLOR
- PENSTEMON STURDEWANTII
- PENSTEMON SMALL FLOURED
- CRISTATA, ROCKY MOUNTAIN
- WILE TITMICE

### LANDSCAPE NOTES

- PROVIDE 1/2" (MIN) CLAYTONE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY BOLDER RIDGE SUBDIVISION DEPT STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION. KEEP EXISTING TREES AND REMOTE EXISTING TREES WHERE POSSIBLE.
- TREES: STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
- GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
- PROTECT ALL PLANTINGS TO AVOID INJURY TO CONCRETE, BRICKS, SLABS, ETC. FROM LANDSCAPE WORK.
- LOCATE ALL PLANTINGS TO AVOID INJURY TO EXISTING UTILITIES AND TO AVOID INJURY TO PLANTINGS.
- SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
- ALL NEW LANDSCAPE WORK SHALL BE IRRIGATED WITH DRAINAGE SYSTEM THROUGHOUT THE ENTIRE PROJECT. PROVIDE SUFFICIENT NATURALIZED GRASSINGS OF TREES BY VARIING HEIGHT & LOCATION WHEREVER POSSIBLE.
- ACCOMMODATE ALL UTILITY PREEXISTING WITH LANDSCAPE MATERIAL.
- PROVIDE 3" TO 4" DIAMETER STONE ANTI-RAP OVER SEED BARRIER FABRIC AT BUILDING DRIP LINES. FACILITATE EDGES AND PROVIDE LANDSCAPE EDGING AT ANTI-RAP TO TOPSOIL.
- INSTALL 1" BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIFICATIONS AND LANDSCAPE DETAILS.
- PROTECT ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STABILIZER AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
- PROVIDE 3" OF UNBLENDED BARK MULCH AT ALL SHRUBS AND TREE WELLS.
- LANDSCAPE BOLDERS OF 7" OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOLDERS ONE-HALF OF DIAMETER.

NOTE: ALL LANDSCAVING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SHOCK HILL GUIDELINES AND THE TOWN OF BRECKENRIDGE.

### DEFENSIBLE SPACE NOTES

THIS PLAN TO SATISFY TOWN OF BRECKENRIDGE DEVELOPMENT STANDARDS FOR RIDGELINE AND HILLSIDE DEVELOPMENT AND BRECKENRIDGE TOWN CODE DEVELOPMENT CODE W/STANDARD FOR DEFENSIBLE SPACE.

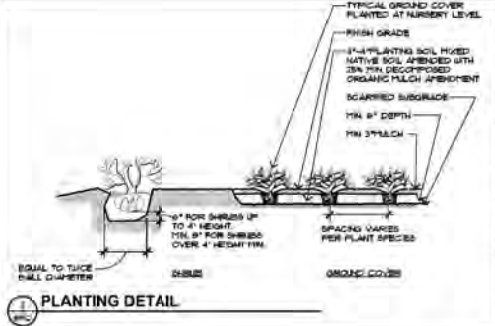
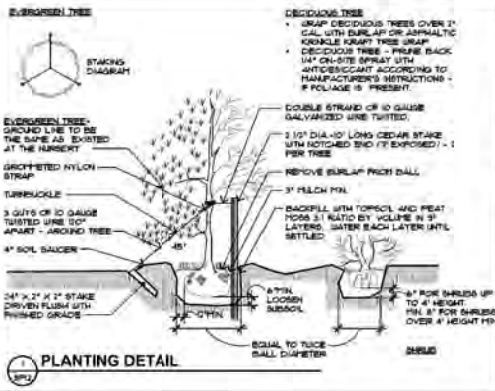
IN ZONE 1 - ALL TREES TO BE REMOVED WITH EXCEPTION OF SPECIFIC TREES (S) TO BE APPROVED BY TOWN OF BRECKENRIDGE. TREES TO BE PRESERVED MUST BE PLANTED WITHIN 10' OF THE EXISTING DEFENSIBLE SPACE LINE. TREES TO BE REMOVED TO ALLOW FOR DEFENSIBLE SPACE WITH EXCEPTION OF CLIMBERS TO BE APPROVED BY TOWN OF BRECKENRIDGE.

IN ZONE 2 - TREES TO BE REMOVED TO ALLOW FOR DEFENSIBLE SPACE WITH EXCEPTION OF CLIMBERS TO BE APPROVED BY TOWN OF BRECKENRIDGE.

IN ZONE 3 - TREES TO BE REMOVED TO ALLOW FOR DEFENSIBLE SPACE WITH EXCEPTION OF CLIMBERS TO BE APPROVED BY TOWN OF BRECKENRIDGE.

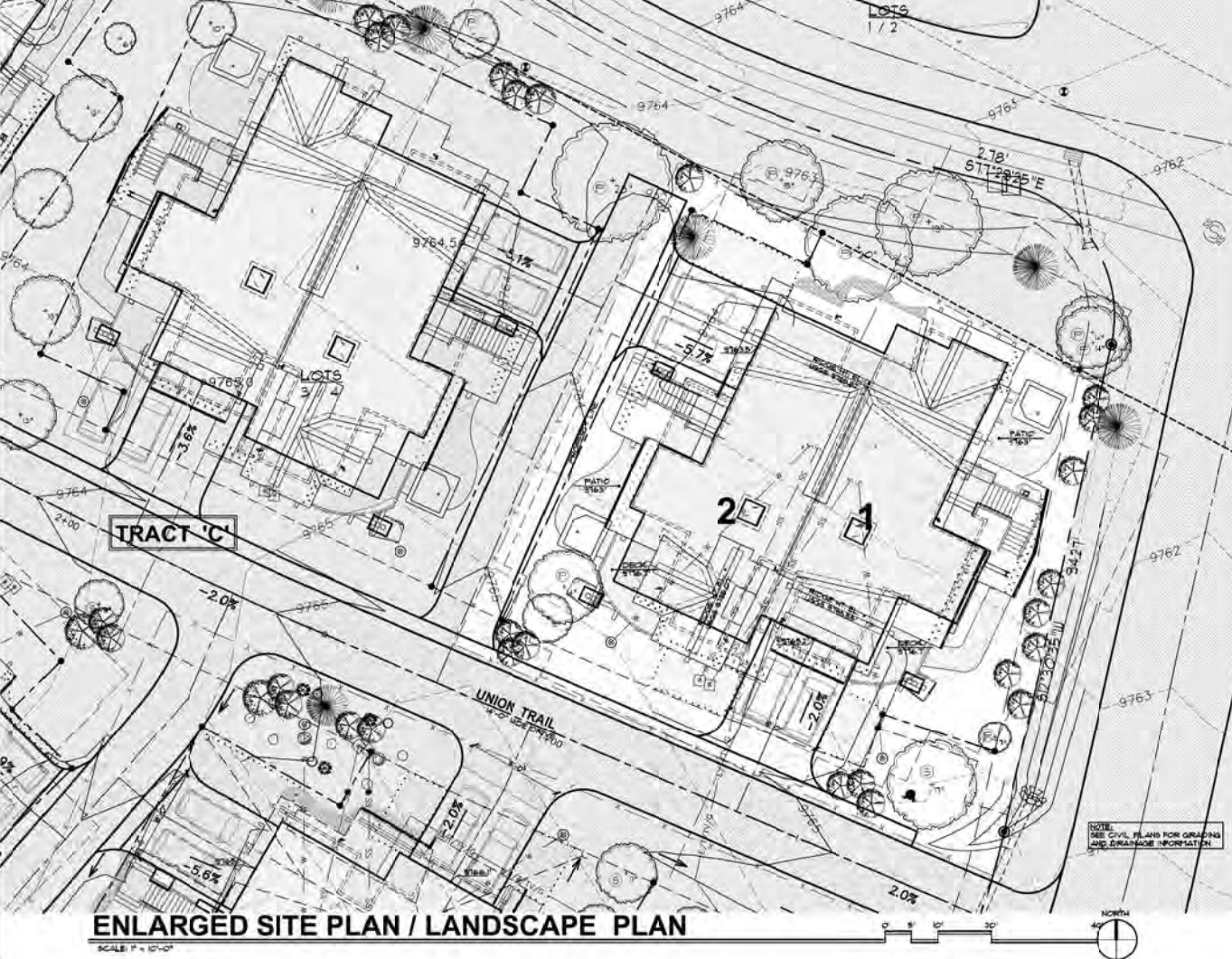
NOTE: NEW LANDSCAPE HAS BEEN ADDED TO PROVIDE ADDITIONAL SCREENING BEHIND THE RIDGELINE ORDINANCE WHICH FITS WITH TOWN OF BRECKENRIDGE ORDINANCE.

NOTE: NO BATTLE KILL TREES SHOWN ON SITE. ALL HAVE BEEN REMOVED OR WERE NOT PRESENT ON SITE.



### PLANTING LIST

REV	DESCRIPTION	NOTATIONAL	NO.	SIZE	NOTES
01	COPPIN				
02	WESTERN TREES				
03	EXISTING				SEE SITE PLAN
04	EXISTING TREES TO BE REMOVED				SEE SITE PLAN
05	REMOVED TREES TO BE REPLACED				
06	COLORADO SPRUCE			12" TO 14" TALL	
07	ADIRON			12" TO 14" TALL	
08	POTENTILLA			9 GAL.	(SEE LIST) (TOP SIDE)
09	WOOD'S ROSE			5 GAL.	MUL TO PARTIAL SW 5-7' TALL
10	SILVER			9 GAL.	SHRUB TO 8-10' TALL
11	WHITE BIRCH			9 GAL.	SHRUB TO 8-10' TALL
12	ALPINE CURBANT			9 GAL.	SHRUB TO 5-8' TALL



REVISIONS:

DATE: 12/14/2011

DRAWN BY: T. SLAGBERG

CHECKED BY: T. MAGAN

DATE: 12/14/2011

PROJECT: SHOCK HILL LANDING, BUILDING 1/2

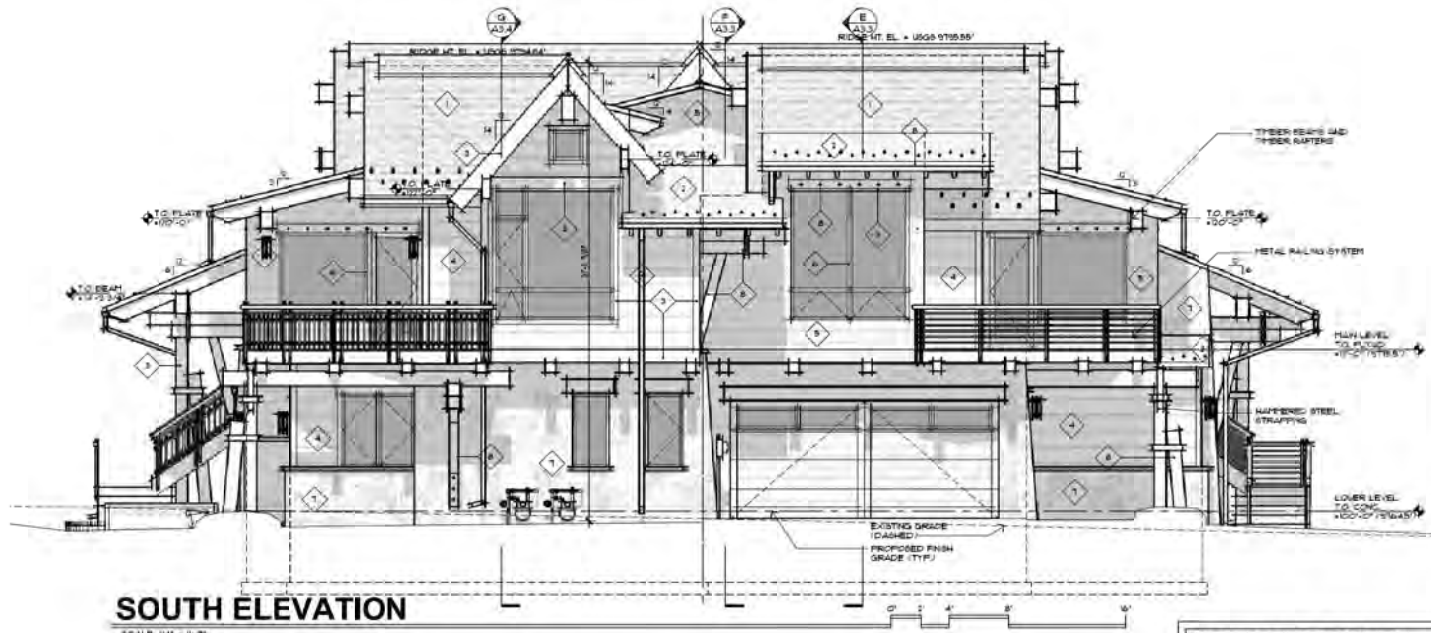
TRACT 'C' SHOCK HILL SUBDIVISION, 16 & 12 UNION TRAIL, TOWN OF BRECKENRIDGE, COLORADO

© 2011

SP1.2

ENLARGED SITE PLAN / LANDSCAPE PLAN

OF 15



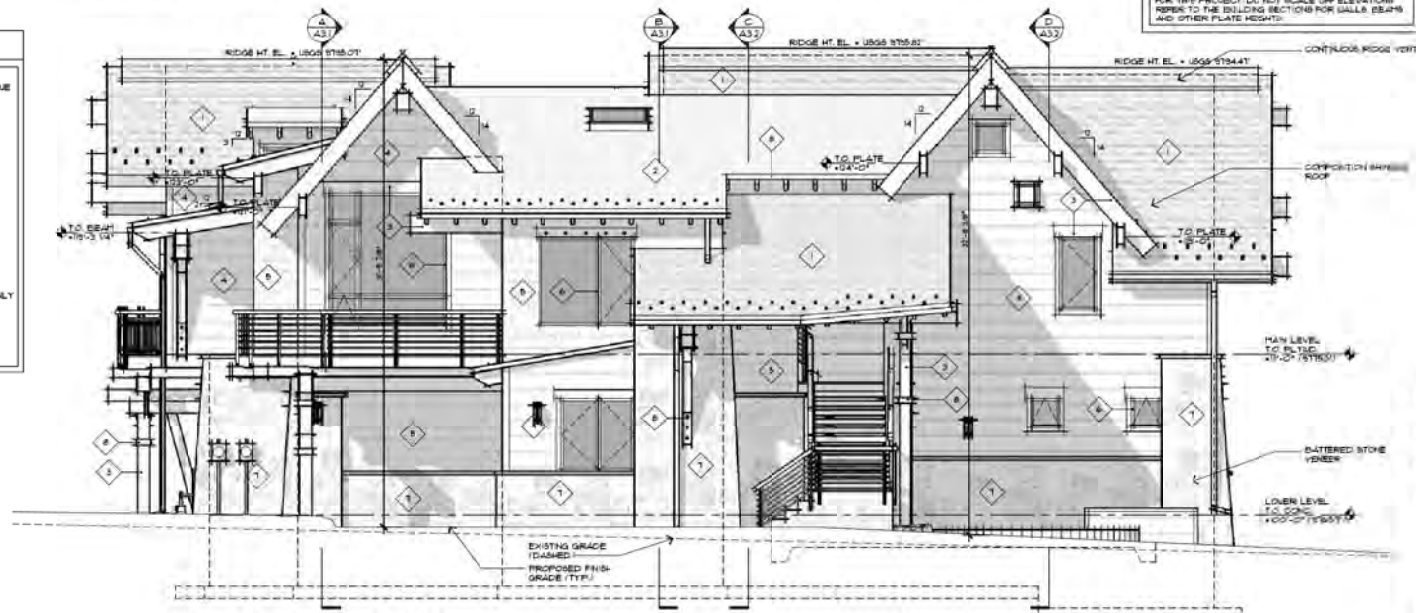
**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE: THESE ELEVATIONS ARE FOR GRAPHICAL REFERENCE FOR THE EXTERIOR LOOK & MATERIALS FOR THIS PROJECT. DO NOT SCALE OR ELEVATIONS REFER TO THE BUILDING SECTIONS FOR WALLS, BEAMS AND OTHER PLATE HEIGHTS.

COLOR LEGEND	
1	ROOFING "GLAUF THERMAL NET" BLK. PRESTIQUE (TRUSION BRICK)
2	ACCENT ROOFING CORRUGATED METAL ROOFING (SLATE GRAY)
3	TIMBER BEAMS, COLUMNS, PAROIA SUPPORTS AND TRIM "SHERWIN WILLIAMS" (HAUTHORNE)
4	2X2 V-GROOVE SPRUCE SIDING "SHERWIN WILLIAMS" (MOUNTAIN GRAY)
5	CEDAR SHAKE SIDING "SHERWIN WILLIAMS" (MOUNTAIN GRAY)
6	WINDOWS CLADDING "SIERRA PACIFIC" (SUN REGAL BRUSH)
7	STONE VENEER "SALLEGRO'S CORP." (TWO BEASTIAN CHOPPED) - DATTERED IN SOME AREAS ONLY
8	STEEL HEADERS, STRAPPING, RAILINGS, BOLTS AND FLASHING "SHERWIN WILLIAMS" (NO. 1466 ROY-CROFT PEWTER)

NOTE: COLORS ARE TYPICAL FOR ALL ELEVATIONS



**EAST ELEVATION**

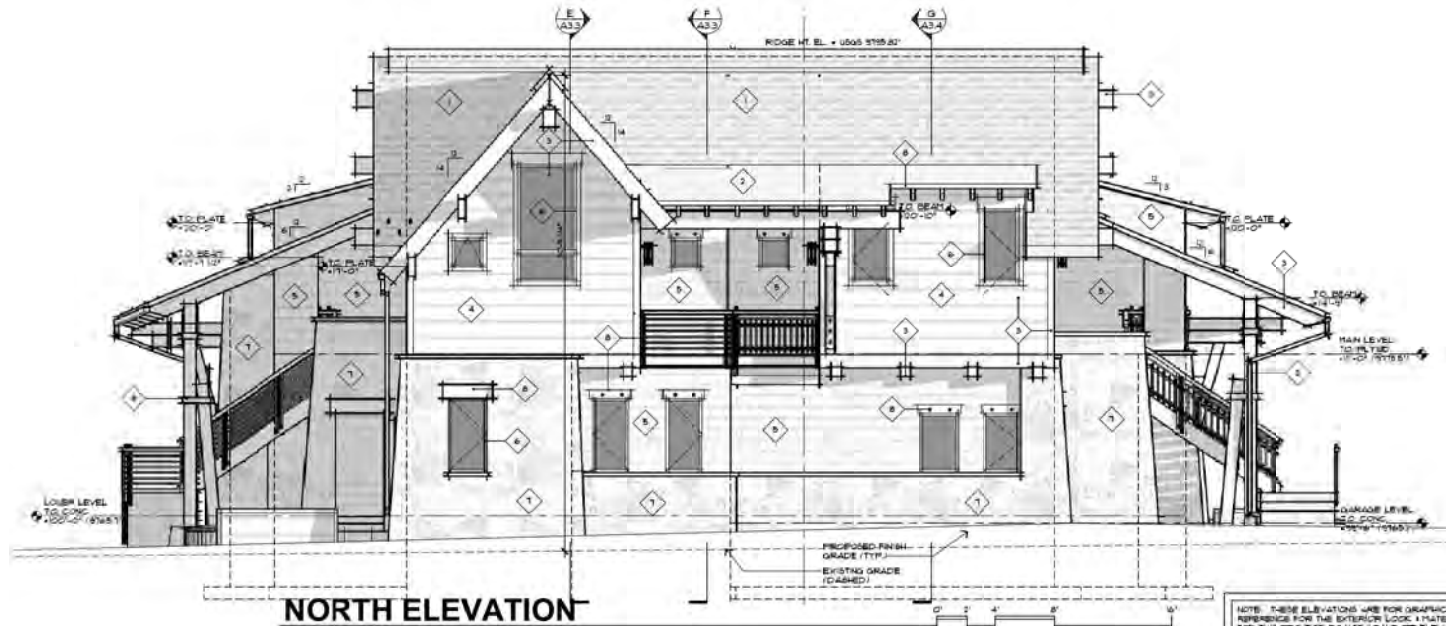
SCALE: 1/4" = 1'-0"

REVISIONS:  
JOB NO: 1373  
DATE: 8/20/23  
DRAWN BY: T542P/PER  
CHECKED BY: MCGINN  
BY: THIS DRAWING IS CONTROLLED AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS.

REVISED LANDSCAPE  
07/20/23

**bhh Partners**  
1000 S. MAIN ST. SUITE 100 DENVER, COLORADO 80202 (303) 441-8888  
**SHOCK HILL LANDING, BUILDING 1/2**  
TRACT 07 SHOCK HILL SUBDIVISION, 16 S 11 UNION TRAIL, TOWN OF BRECKENRIDGE, COLORADO

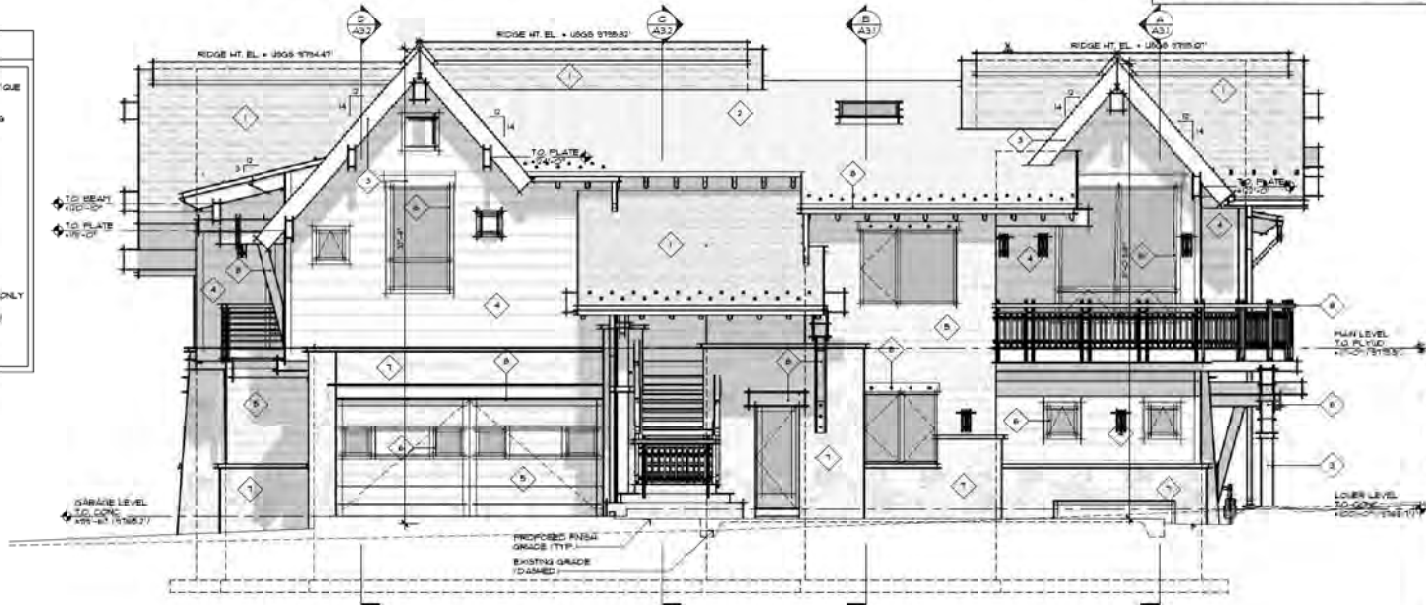
PROJECT NUMBER:  
**A2.1**  
BUILDING ELEVATIONS  
1/2/23



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE: THESE ELEVATIONS ARE FOR GRAPHICAL REFERENCE FOR THE EXTERIOR LOOK & MATERIALS FOR THIS PROJECT. DO NOT SCALE OR ELEVATIONS REFER TO THE BUILDING SECTIONS FOR WALLS, BEAMS AND OTHER PLATE HEIGHTS.



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

COLOR LEGEND	
1	ROOFING: "GLAUF THERMAL" BK. PRESTIGE (TRUSION BRICK)
2	ACCENT ROOFING: CORRUGATED METAL ROOFING (SLATE GRAY)
3	TRUSS BEAMS, COLUMNS, PAROIA, SLOTTED AND TRIM: "SHERWIN WILLIAMS" (HAUTHORNE)
4	2x2 V-GROOVE SPRUCE SIDING: "SHERWIN WILLIAMS" (DARTMOUTH BRUSH)
5	CEDAR SHAKE SIDING: "SHERWIN WILLIAMS" (MOUNTAIN GRAY)
6	SHINGLES CLADDING: "SIERRA PACIFIC" (SUN REGAL BRUSH)
7	STONE VENEER: "SALLEGRO'S CORP." (TWO BEASTIAN CHOPPED) - PATTERNS IN SOME AREAS ONLY
8	STEEL HEADERS, STRAPPING, RAILINGS, BOLTS AND FLASHING: "SHERWIN WILLIAMS" (ON LINE RED/COPY PEPPER)

NOTES: COLORS ARE TYPICAL FOR ALL ELEVATIONS

REVISIONS:  
 JOB NO: 1371  
 DATE: 07/20/17  
 DRAWN BY: T5442PBR  
 CHECKED BY: MACKAN  
 10% THE WORKING IS COMPLETED AND SHALL NOT BE APPROVED UNTIL ALL ASPECTS OF THE PROJECT ARE REVIEWED

REVIEWED: LANDSCAPE: 07/20/17

**bhh Partners**  
 1025 S.W. 10th Street, Fort Lauderdale, FL 33304  
 954.581.1111  
**SHOCK HILL LANDING, BUILDING 1/2**  
 TRACT 07 SHOCK HILL SUBDIVISION, 16 S 11 UNION TRAIL, TOWN OF BRECKENRIDGE, COLORADO

PROJECT NUMBER:  
**A2.2**  
 EXISTING ELEVATIONS  
 07/15





**Class C Development Review Check List**

**Proposal:** Exterior remodel, adding study at upper level, master suite remodel, expanding entry, and adding a roof deck

**Project Name/PC#:** Gile Addition PC#2013092

**Project Manager:** Matt Thompson, AICP

**Date of Report:** October 30, 2013 For the November 5, 2013 Meeting

**Applicant/Owner:** Ken and Diane Gile

**Agent:** bhh Partners (Jarrett L. Buxkemper)

**Proposed Use:** Existing single family residence

**Address:** 620 White Cloud Drive

**Legal Description:** Tract 2, Block 2, Warriors Mark West #3

**Site Area:** 21,697 sq. ft. 0.50 acres

**Land Use District (2A/2R):** 30.5: Residential

**Existing Site Conditions:** The property has an existing 4,228 sq. ft. single family residence. The existing house has diagonal and vertical siding. The lot slopes downhill at 10% from White Cloud Drive towards the east (rear of residence). The lot is heavily forested with moderately sized lodgepole pine trees.

**Density (3A/3R):** Unlimited Proposed: 3,968 sq. ft. (234 sq. ft. new)

**Mass (4A):** 4,500 sq. ft. Limited by Ord. No. 32, Series 2009 (3,968 sq. ft. proposed)

**F.A.R.** 1:4.80 FAR

**Areas:** Proposed Existing

Lower Level:	1,296 sq. ft.
Main Level: 60 sq. ft.	1,366 sq. ft.
Upper Level: 174 sq. ft.	1,072 sq. ft.
Accessory Apartment:	
Garage:	494 sq. ft.
Total: 234 sq. ft.	4,228 sq. ft.

**Bedrooms:** 5

**Bathrooms:** 5

**Height (6A/6R):** 30 feet overall  
(Max 35' for single family outside Conservation District)

**Lot Coverage/Open Space (21R):**

- Building / non-Permeable: no change
- Hard Surface/Non-Permeable: no change
- Open Space / Permeable: no change

**Parking (18A/18/R):**

Required: 2 spaces

Proposed: 2 spaces

**Snowstack (13A/13R):**

Required: no change (25% of paved surfaces)

Proposed: no change

**Fireplaces (30A/30R):** 1 existing gas fireplace

**Accessory Apartment:** NO

**Building/Disturbance Envelope?** N/A

**Setbacks (9A/9R):** Front: 170 ft. no change  
Side: 10 ft. no change  
Side: 14 ft. no change  
Rear: 34 ft. no change

**Architectural Compatibility (5/A & 5/R):** The exterior remodel will be architecturally compatible with the neighborhood.

**Exterior Materials:** Horizontal siding fiber cement board with wood grain (tan in color), vertical siding fiber cement board with wood grain (Hemlock green), timber and trim real wood on all elevations (Monterey gray), window cladding (Hartford green), and a natural stone veneer on all elevations (Telluride Stone Greystone).

**Roof:** Metal roofing (Hemlock green)

**Garage Doors:** Custom to match siding with small windows

**Landscaping (22A/22R):** no change

Planting Type	Quantity	Size
Lodgepole pine trees	47	existing on property

Shrubs and perennials Various existing shrubs

**Defensible Space (22/A):** Complies (will field verify)

**Drainage (27A/27R):** no change

**Driveway Slope:** no change

**Covenants:**

**Point Analysis (Sec. 9-1-17-3):** Staff conducted an informal point analysis and found no reason to warrant positive or negative points. Proposal meets all Absolute and Relative Policies of the Development Code.

**Staff Action:** Staff has approved the Gile Addition, PC#20130902, located at 620 White Cloud Drive, Tract 2, Block 2, Warriors Mark West #3, with the attached Findings and Conditions.

**Comments:**

**Additional Conditions of Approval:**

## TOWN OF BRECKENRIDGE

Gile Addition  
Tract 2, Block 2, Warriors Mark West #3  
620 White Cloud Drive  
PC#2013092

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 30, 2013**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013**, as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **May 12, 2015**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

6. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
7. Applicant shall field locate utility service lines to avoid existing trees.
8. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
9. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

10. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
11. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
12. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
13. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
14. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
15. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
16. Applicant shall install construction fencing in a manner acceptable to the Town Planning Department.
17. **Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
18. **Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.**

## **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

19. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
20. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
21. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
22. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute Landscaping).
23. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
24. Applicant shall screen all utilities.
25. **All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
26. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
27. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
28. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

29. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
30. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)

**GENERAL NOTES**

- 1) **COPYRIGHT**  
All plans, design, and concepts shown in these drawings are the exclusive property of BHH Partners. Plans, drawings and data shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written consent.
- 2) **CODES**  
This project is governed by the International Residential Code, 2006 Edition as adopted by the State of Colorado. Colorado Code compliance is mandatory. The design and specifications of all work shown shall conform to these codes. The General Contractor and Subcontractors shall be responsible for securing all appropriate codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be verified for any other purposes.
- 3) **FIELD VERIFICATION**  
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work, or creating any schedule. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) **DIMENSIONS**  
Unless dimensions clearly state precedence over related dimensions, DO NOT SCALE DIMENSIONS. Verify all dimensions shown prior to beginning any work and verify finished or final conditions of discrepancies for interpretation or confirmation. Plan dimensions are on the face of framing members. True of wood framing on face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete top of finished or top of wall plates or bracing unless otherwise noted.
- 5) **DISCREPANCIES**  
The Owner has requested the Architect to provide related architectural and engineering services. In the event additional details or guidelines are needed by the Contractor for construction of any aspect of this project, he/she shall immediately notify the Architect. Failure to give timely notice will release the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) **DUTY OF COOPERATION**  
Release of these plans constitutes further cooperation among the Owner, the Contractor, and the Architect. Design and construction of the project. Although the Architect and the Contractor have performed their services with due care and diligence, they cannot guarantee perfection. Construction is imperfect and discrepancies inherent in all projects. Any discrepancy or discrepancy observed by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect promptly, understanding and increase construction costs. A failure to cooperate by a simple notice to the Contractor shall release the Architect from responsibility for all consequences.
- 7) **CHANGES TO THE WORK**  
Any items described herein that require project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order releases General Contractor's responsibility for the increase in contract cost or time. Changes from the plans or specifications made without consent of the Architect are prohibited and will result in the Architect's withdrawal of responsibility for any and all consequences resulting from such changes.
- 8) **COORDINATION**  
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide to show related transportation signals, equipment, etc. to show a complete job with the recognized standards of the industry.
- 9) **SUBSTITUTIONS**  
Substitution of material products will be acceptable with Architect's written approval. See specifications.
- 10) **CONSTRUCTION SAFETY**  
These drawings do not include the necessary requirements for construction safety. The General Contractor shall provide for the safety of all workers and equipment on the job site and follow all applicable codes and regulations.
- 11) **FIELD CHECKING OF STRUCTURAL MEMBERS**  
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, welding or drilling of any cast-in-place concrete, steel framing, or any other structural members shall be made to the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's approval documents, and structural drawings for additional requirements.
- 12) **DEMOLITION**  
The work includes demolition of existing materials. To the greatest extent possible, reuse of salvaged materials for the new construction.
- 13) **REWORKING**  
The Owner has been advised that since the work involves reworking existing conditions that are concealed and cannot be examined by the Architect without damage to the existing building, the Owner is and should be held responsible for the accuracy of the drawings and field conditions are responsible. A reworking change in the scope of the work will then be negotiated.

**ADDED AREA CALCULATIONS**

	EXIST. FIN.	EXIST. UNFIN.	EXIST. TOTAL	ADDED SF	PROPOSED TOTAL
LOWER	3436	473	3909	08	3917
MAIN	3688	454	4142	609	4751
UPPER	7434	754	8188	744	8932
CHEST	348	01	349	04	353
TOTAL	3476	758	4234	1344	5578

NOTE: SQUARE FOOTAGE IS BE CALCULATED FOR CODE PURPOSES ONLY, AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

**BUILDING HEIGHT**

ROOF POINT	ROOF ELEV.	FAT GRADE ELEV.	FIN GRADE ELEV.	MEASURED ELEV. FINCH	CALCULATION	HEIGHT
A	10094.44	10070.00	10070.00	FIN ELEV.	10094.44-10070.00	24.44'
B	10094.44	10070.00	10070.00	FIN ELEV.	10094.44-10070.00	24.44'
C	10094.39	10070.00	10070.00	FIN ELEV.	10094.39-10070.00	24.39'
D	10094.31	10070.00	10070.00	FIN ELEV.	10094.31-10070.00	24.31'

NOTE: SEE SHEET BPH AND A13 FOR ROOF POINT ELEVATIONS

**LEGAL DESCRIPTION**

LOT 2, TRACT 2, BLOCK 2, JANNONIS TRACT, WEST SUBDIVISION 19, 0430 WHITE CLOUD DRIVE, BRECKENRIDGE, COLORADO 80424

**VICINITY MAP**



**SITE NOTES**

1. ELECTRIC, CABLE TV, AND TELEPHONE UNDERGROUND IN COTTON TRENSA.
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST, INC. DATED 2/01.
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1% MIN).
5. REFER TO FOUNDATION PLAN FOR FOUNDATION, DRAIN LOCATION AND SLOPE. DRAINS TO BE ISOLATED TO A DRYWELL.
6. FLAG ALL TREES FOR OWNER. PRIOR TO TRIMMING OR REMOVING.
7. PROTECT ALL REMAINING TREES WITH BOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION.
8. PROVIDE A 4" DIA. 1/2" MIN. RIP RAP OVER USED BARRIER FABRIC AT BAYED AND VALLEY DRAIN LOCATIONS.
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK.
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL REGULATORY CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT.

**FINISHED FLOOR HEIGHTS**

	U.S.G.S.	ARCH'L.
LOWER	10075.00'	8'-6"
MAIN	10033.00'	100'-0"
UPPER	10040.75'	108'-3"
CIRCUS'S NEST	10048.75'	8'-6"

# GILE ADDITION

## BRECKENRIDGE, COLORADO



**VIEW FROM WHITE CLOUD DRIVE**

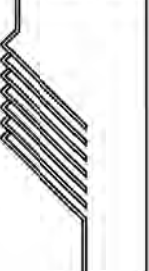
**SHEET INDEX**

- T1 GENERAL NOTES
- BPH1 SITE PLAN
- A10 EXISTING CONDITIONS PLANS
- A11 PROPOSED LOWER LEVEL PLAN / DETAILS
- A12 PROPOSED MAIN LEVEL PLAN / DETAILS
- A13 PROPOSED UPPER LEVEL / CIRCUS NEST PLANS
- A14 PROPOSED ROOF PLAN / DETAILS
- A15 EXISTING CONDITIONS ELEVATIONS
- A21 PROPOSED ELEVATIONS
- A22 PROPOSED ELEVATIONS

OWNER	ARCHITECT	CONTRACTOR	STRUCTURAL ENG.	SURVEYOR
KEN & EMMA GILE 2308 BOLLER HILLS LANE DANVER, CO 80513 724.814.1111 kagile@colorado.com	BHH PARTNERS PLANNERS/ARCHITECTS 40 EAST ACAPULCO AVENUE PO BOX 831 BRECKENRIDGE, CO 80424 (970) 468-4476 www.bhhpartners.com	DEVON DEVELOPMENT INC. 110 ECHS BLVD. BRECKENRIDGE, CO 80424 (970) 468-4476 www.devondevelopment.com	ENGINEERING DESIGN GROUP 116 HILLTOP DRIVE, WESTERLY INTERMOUNTAIN, CO 80461 (970) 575-5800 18101 STS RD SW SILVERTHORN, CO 80488 www.edggroup.com	RANGE WEST P.O. BOX 365 SILVERTHORN, CO 80488 (970) 468-4476 www.rangewest.com

DATE: 10/11/11  
SCALE: AS SHOWN  
PROJECT: GILE ADDITION  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
DATE: 10/11/11

BASED FOR TCB CLASS 2 10-01-0



**bhh Partners**  
100 SOUTH 103rd AVENUE - BRECKENRIDGE, CO 80424  
1000 MAIN STREET - BRECKENRIDGE, CO 80424

**GILE ADDITION**  
803 WHITE CLOUD DRIVE, BRECKENRIDGE, COLORADO

T1  
SHEET NUMBER

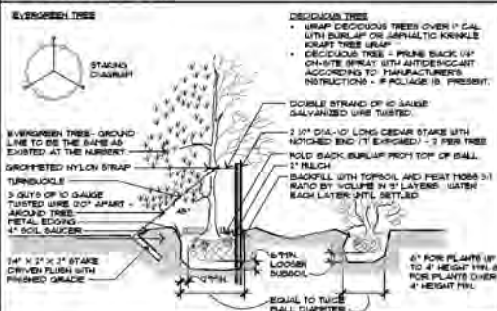
**PLANTING LIST & NOTES**

KEY SYMBOL	SYMBOLICAL	NO.	SIZE
EXISTING TREES			
REMOVING TREES	VARIABLE	41	SEE SITE PLAN
PLANTING TREES TO BE INSTALLED			
VARIABLE	VARIABLE	0	SEE SITE PLAN
<b>TREES</b>			
COLONNADO SPRUCE	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
YEW	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
SPRINGERSHIRE DOGWOOD	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
POTENTIAL	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
ALPINE CURRANT	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
FROND	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
STONEMASTER	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
ROCKY MOUNTAIN	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
RED PINE	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL
RED PINE	POPPLE PRUNUS OR POPLAR	12	12" TO 18" TALL

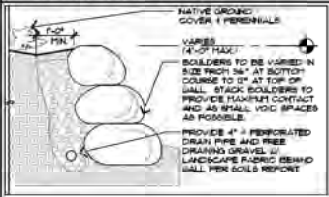
**LANDSCAPE NOTES**

- PROVIDE 2-3" THIN CLAYFREE TOPSOIL AND REED ALL DISTURBED AREAS WITH SUFIT CO. SMART REED MIX (AS APPROVED BY TOB.) STRIP AND STOCKPILE EXISTING TOPSOIL. IN CONSTRUCTION AREA SCREEN TOPSOIL PRIOR TO INSTALLATION.
  - KEEP EXISTING TREES WHERE POSSIBLE. TAKE AND CONSIDERATION FOR LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
  - GENERAL CONTRACTOR PROVIDES POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
  - BEFORE ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PLANT, CONCRETE, STAIN, ETC FROM LANDSCAPE AREA.
  - LOCATE ALL PLANTINGS TO AVOID SHAD STAKING + SHOW ELSE AREAS FROM ABOVE.
  - SHADE ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
  - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
  - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE DROOP AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
  - NATURALIZE GROUPINGS OF TREES BY VARYING HEIGHT + LOCATION WHERE POSSIBLE.
  - SCREEN ALL UTILITY PRESENTALS WITH LANDSCAPE MATERIAL.
  - PROVIDE 3" TO 4" DIAMETER STONE REPAIR OVER LEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDEGRADE EDGES AND PROVIDE LANDSCAPE EDGING AT REPAIR TO TOPSOIL JUNCTION.
  - INSTALL + BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND IRRIGATOR DETAIL.
  - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
  - PROVIDE 3" OF MULCHED BARK MULCH AT ALL SHRUBS AND TREE WELLS.
  - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
  - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
- NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE TOWN OF BRECKENRIDGE.

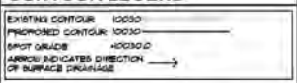
**PLANTING DETAIL**



**BOULDER WALL DETAIL**

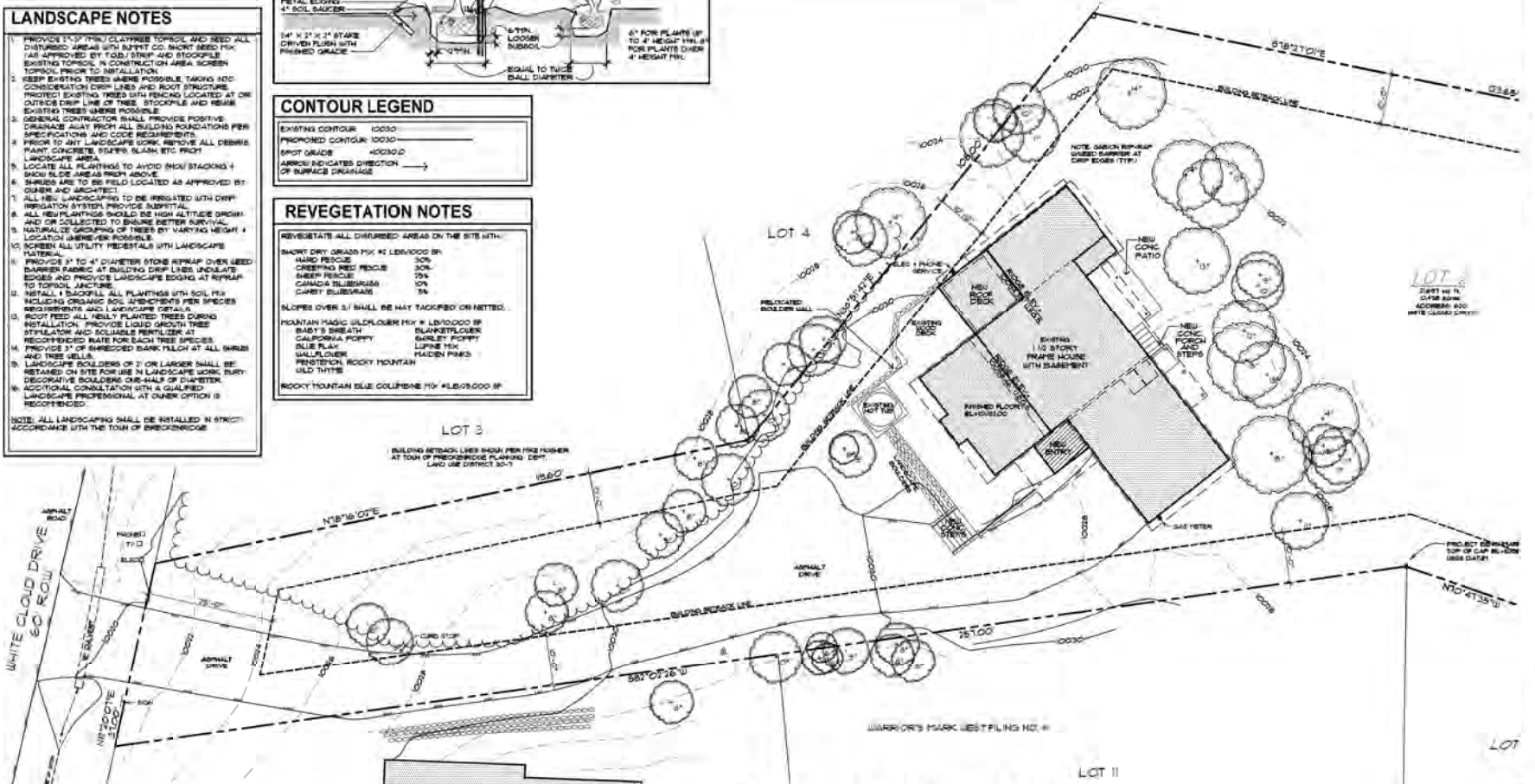


**CONTOUR LEGEND**



**REVEGETATION NOTES**

- REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:
- SMART DRY GRASS MIX #2 LEVISOUD SR 30%
  - HARD FESCUE 30%
  - CREEPING RED FESCUE 30%
  - SHEEP FESCUE 7%
  - CANADA BLUEGRASS 10%
  - CUMBY BLUEGRASS 1%
- SLOPES OVER 3/1 SHALL BE MAY TAGGED OR NETTED.
- MOUNTAIN MAGIC ULTRALOOPER MIX # LEVISOUD SR 30%
  - BABY'S BREATH 30%
  - PLANETREEFLOWER 30%
  - CALIFORNIA POPPY 7%
  - BLUE FLAG 10%
  - WALLFLOWER 10%
  - FRENCH BELL 10%
  - OLD TITS 1%
- ROCKY MOUNTAIN BLUE COLUMBINE MIX # LEVISOUD SR 30%



**SITE PLAN/LANDSCAPE PLAN**

SCALE 1" = 10'-0"

100'-0" ARCH. • 10032.00' U.S.A.S.

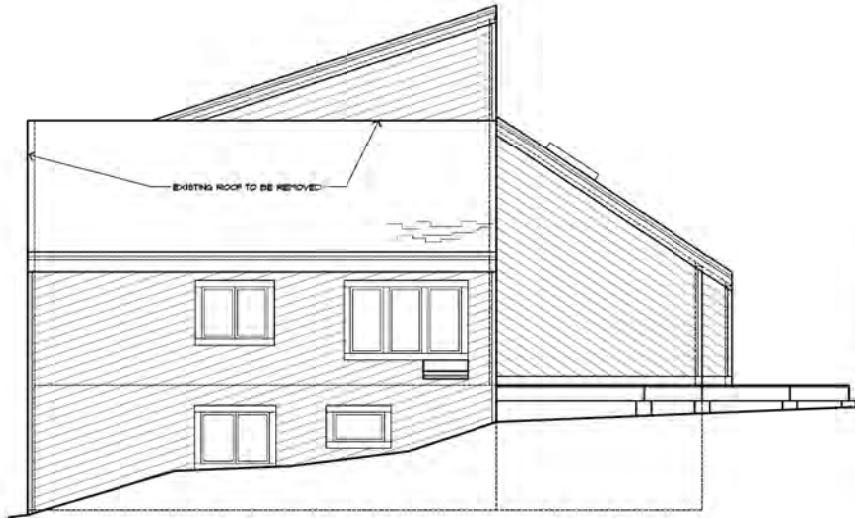
bhh Partners  
 100 BLVD. • 10032.00' U.S.A.S.  
 BRECKENRIDGE, CO 80424  
 TEL: 719.533.1111  
 FAX: 719.533.1112  
 WWW.BHHPARTNERS.COM

BASED FOR TCB CLASS C 0-08-9

**bhh Partners**  
 100 BLVD. • 10032.00' U.S.A.S.  
 BRECKENRIDGE, CO 80424  
 TEL: 719.533.1111  
 FAX: 719.533.1112  
 WWW.BHHPARTNERS.COM

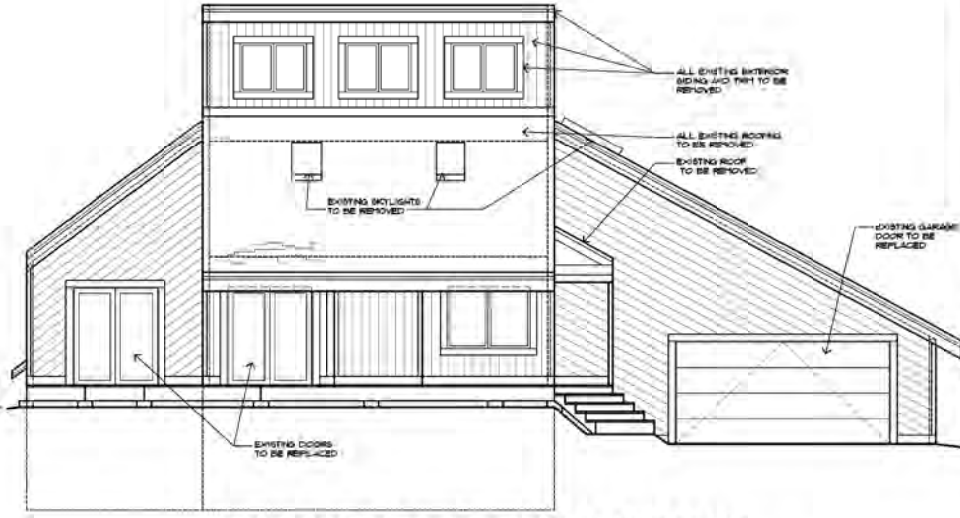
SHEET NUMBER:  
**SP1.1**





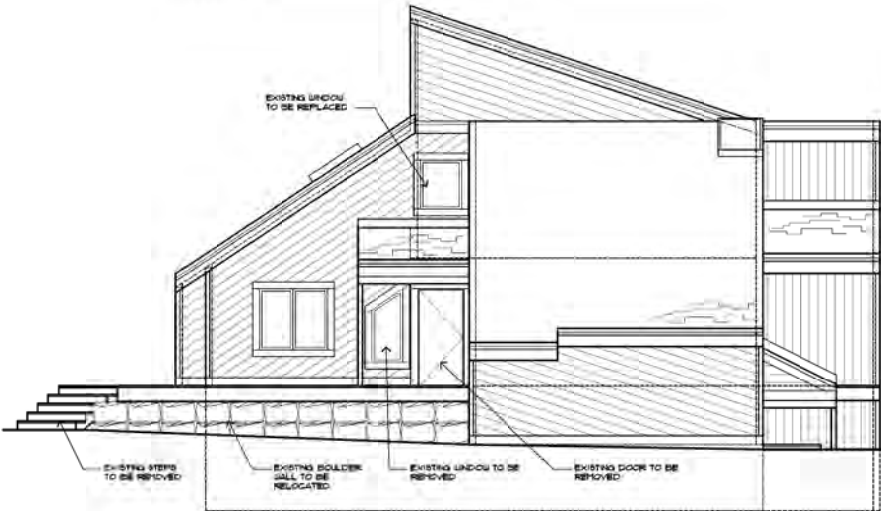
**EXISTING NORTHWEST ELEVATION**

SCALE: 1/4"=1'-0"



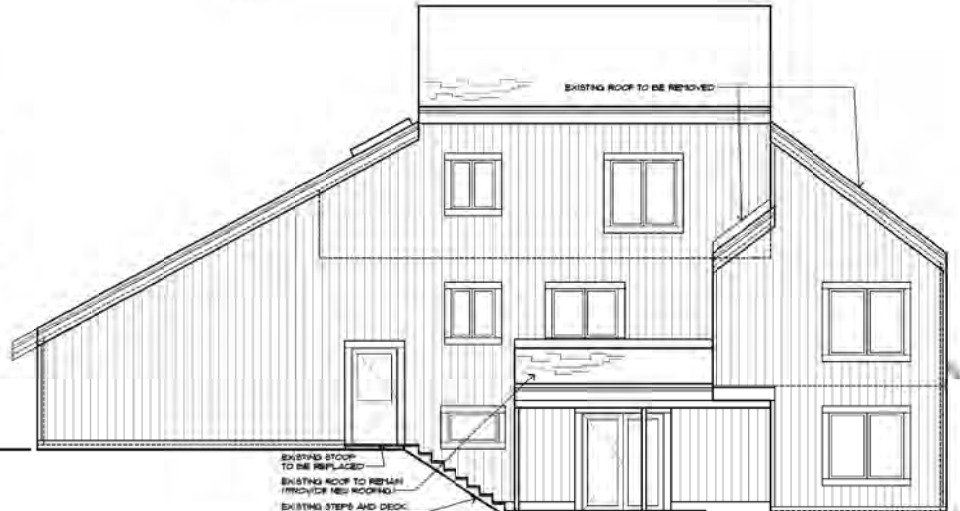
**EXISTING SOUTHWEST ELEVATION**

SCALE: 1/4"=1'-0"



**EXISTING SOUTHEAST ELEVATION**

SCALE: 1/4"=1'-0"



**EXISTING NORTHEAST ELEVATION**

SCALE: 1/4"=1'-0"

PROJECT: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 (SEE THE DRAWING FOR ABBREVIATIONS)  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED

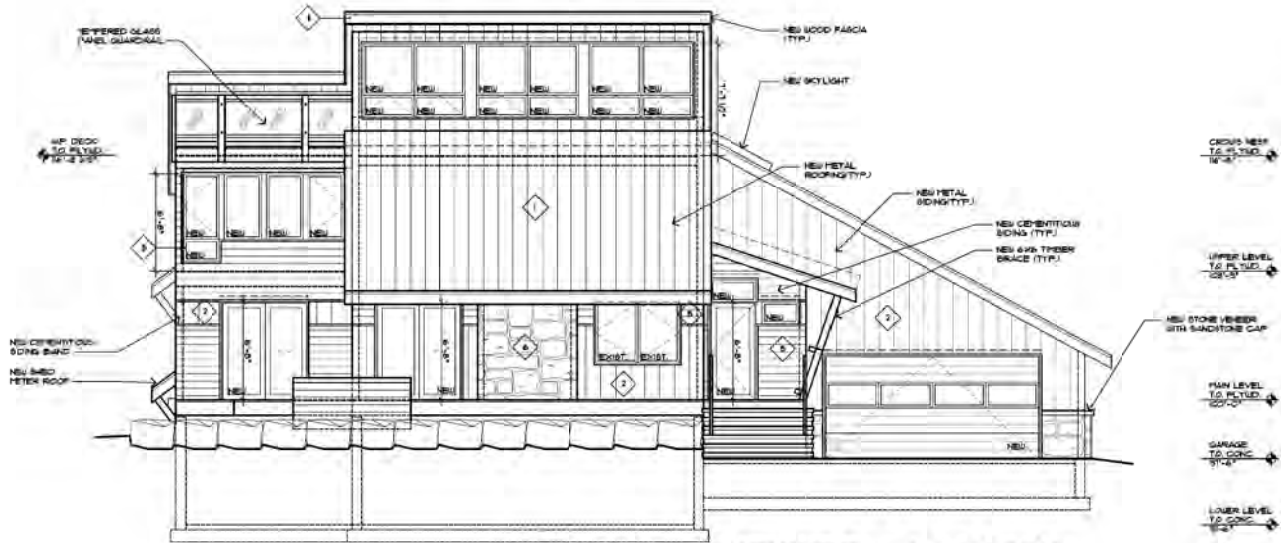
BASED FOR TCEB CLASS 2 (2018-9)

**bhh** Partners  
 100 SOUTH 103 EAST UTAH - BRECKENRIDGE CO. BUILDING - BRECKENRIDGE, COLORADO - 80424  
**GILE ADDITION**  
 8633 WHITE CLOUD DRIVE, BRECKENRIDGE, COLORADO

02/2018  
 SHEET NUMBER:  
**A2.0**

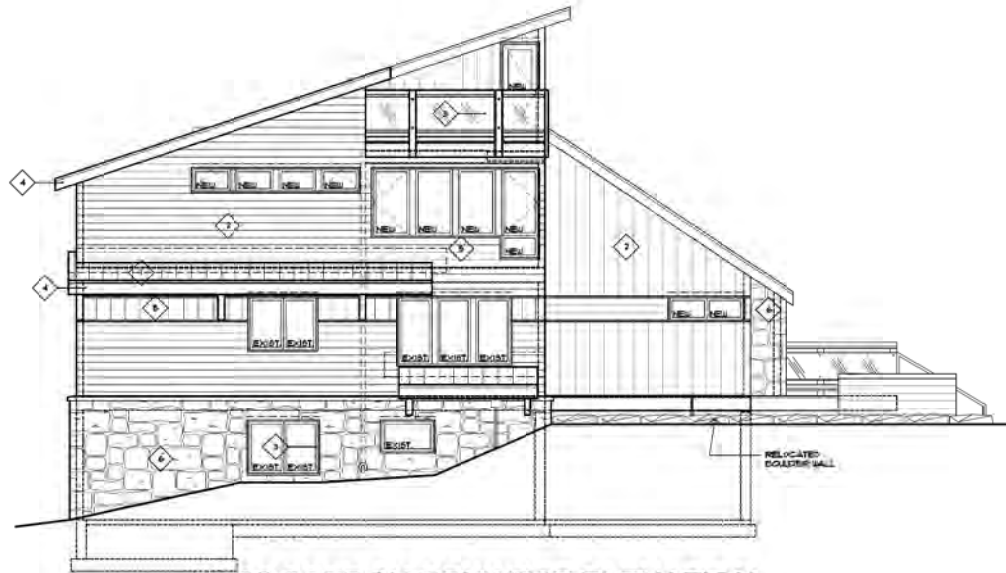
COLOR LEGEND		
1	METAL ROOFING	BERRIDGE TEE FRAME MELROCK GREEN
2	METAL SIDING	BERRIDGE TEE FRAME MELROCK GREEN
3	WINDOW CLADDING & EXPOSED METAL	WILD-HEM HARTFORD GREEN
4	TRIMBERS & TRIM	CLYTING SOLID STAIN MONTEREY GRAY
5	HORIZONTAL SIDING	CENTARREED ROBE CRIBENT HERITAGE CLAY
6	STONE VENEER	TELLURIDE STONE - GREYSTONE

NOTE: COLORS ARE TYPICAL FOR ALL ELEVATIONS



**PROPOSED SOUTHWEST ELEVATION**

SCALE: 1/4"=1'-0"



**PROPOSED NORTHWEST ELEVATION**

SCALE: 1/4"=1'-0"

PROJECT: GILE ADDITION  
 SHEET NO.: A2.1  
 DATE: 10/20/24  
 DRAWN BY: [NAME]  
 CHECKED BY: [NAME]  
 PROJECT: 2024-0001

BASED FOR TCB CLASS C 2-00-0

**bhh Partners**  
 100 SOUTH 1050 EAST UTAH - BRECKENRIDGE CO. ROAD - BRECKENRIDGE, CO. 80424  
 © 2024  
**GILE ADDITION**  
 8833 WHITE CLOUD DRIVE, BRECKENRIDGE, COLORADO

SHEET NUMBER:  
**A2.1**

COLOR LEGEND			
1	METAL ROOFING	BERRIDGE TEE PANEL	HERLOCK GREEN
2	METAL SIDING	BERRIDGE TEE PANEL	HERLOCK GREEN
3	WINDOW CLADDING / EXPOSED METAL	WILD-IRON	MANFORD GREEN
4	TRIMBERS / TRIM	CLYING BOLD	STAIN MONTEREY GRAY
5	HORIZONTAL SIDING	CENTARRED HORN CEMENT	HERITAGE CLAY
6	STONE VENEER	TELLURIDE STONE - GREYSTONE	

NOTE: COLORS ARE TYPICAL FOR ALL ELEVATIONS

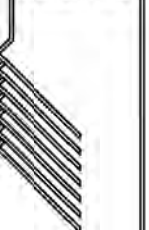


**PROPOSED NORTHEAST ELEVATION**

SCALE: 1/4"=1'-0"



BASED FOR TCB CLASS C 2-08-0



**bhh Partners**  
 100 SOUTH 105 EAST UTAH - BRECKENRIDGE CO. ROAD - BRECKENRIDGE, CO. COLORADO

**GILE ADDITION**  
 883 WHITE CLOUD DRIVE, BRECKENRIDGE, COLORADO

© 2018  
 SHEET NUMBER:  
**A2.2**

## Planning Commission Staff Report

**Subject:** Peak Ten Bluffs Building ‘D’ Cluster Single Family Home  
(Class C Major, PC#2013094)

**Proposal:** To construct a cluster single-family home with an attached two-car garage on Lot 4, Peak Ten Bluffs Subdivision (pending subdivision approval).

**Date:** October 21, 2013 (For meeting of November 4, 2013)

**Project Manager:** Michael Mosher, Planner III

**Applicant/Owner:** Lou Glisan, Breck Ltd., LLC

**Address:** Silver Queen Drive

**Legal Description:** Lot 4, Peak Ten Bluffs - A resubdivision of Lots 57A and 57B, Warriors Mark Townhomes, Filing 5 (“Peak Ten Bluffs” when the subdivision is approved)

**Land Use District:** 30.6 – Residential; Warriors Mark Townhomes #5 Lots 57A and 57B: 8 units

**Site Area:** Lot 4 = 0.128 acres (5,595 sq. ft.); Overall site = 3.283 acres (142,987 sq. ft.)

**Site Conditions:** The property slopes down sharply from Silver Queen Drive at about 40 - 45%. A 5-foot wide utility easement exists at the base of the overall lot. There are two private drives constructed with large retaining walls accessing the property off Silver Queen Drive. These drives lay within a platted Private Access and Utility Easement. The large area of heavily wooded wetlands lies to the northeast and a 20-foot wide utility easement bisects the property from White Cloud Drive to the south. The property is heavily wooded with lodgepole pines. The wetlands area has healthy spruce trees.

Lot 5 is a footprint lot (pending approval of the subdivision) and will be accessed off the upper private drive. The lower portion of Lot 5 is located in an area that was previously disturbed. The upper portion has a slope of about 40% and has two existing Lodgepole pine trees.

**Adjacent Uses:** North: Multi family residential, White Cloud Drive  
East: Multi family residential  
South: Gold King Placer, Summit County  
West: Silver Queen Drive, Warriors Mark West

**Density:**

Lower Level:	1,146 sq. ft.
Main Level:	1,421 sq. ft.
Upper Level:	129 sq. ft.
Total	2,696 sq. ft.

**Mass:**

Lower Level:	1,146 sq. ft.
Main Level:	1,421 sq. ft.

Upper Level w/ garage:	717 sq. ft.
Total	3,284 sq. ft.

<b>Height:</b>	Recommended:	35-feet (overall)
	Proposed:	34-feet (overall)

<b>Parking:</b>	Required:	2 spaces
	Proposed:	2 spaces

**Snowstack Overall Site:**

Lower Road	Required:	1,902 sq. ft. (25%)
	Proposed:	1,962 sq. ft. (25%)

Upper Road	Required:	2,692 sq. ft. (25%)
	Proposed:	2,702 sq. ft. (25.1%)

<b>Setbacks:</b>	Front:	Within envelope
	Sides:	Within envelope
	Rear:	Within envelope

**Item History**

The Board of County Commissioners approved Angels Lookout Subdivision (within Warriors Mark Subdivision) on December 5, 2002. This approved subdivision created four duplex lots, each with a building envelope, with a total of eight units of density. The project was never completed although some infrastructure was installed. Since the approval of the subdivision, the Town of Breckenridge annexed all of the Warriors Mark subdivisions and is now responsible for the review of any development within Angels Lookout.

On the September 17th Planning Commission meeting, Staff heard general support for the overall preliminary Peak Ten Bluffs Master Plan review. There were no concerns with change in the housing type from eight duplex units to eight cluster-single-family homes. The overall circulation patterns match what was proposed with the original Angels Lookout development. The Commission expressed some concerns about the sizes and placement of the proposed landscaping, overall site buffering and the visual impacts of their pending building heights for each unit. These issues and details will be reviewed with the individual Class C Development permit applications (including this application).

**Staff Comments**

**Site and Environmental Design (7/R):** There will be several retaining walls constructed as the overall property is developed. Those retaining walls between the homes will be constructed with natural dry stacked stone as the homes are constructed. All of these retaining walls will allow plantings in between the walls. The existing and proposed concrete block retaining walls are for the site and private drive grading needs and are part of the subdivision improvements.

This is the first of eight cluster single family homes to be constructed. The neighboring houses do not yet exist so the grading surrounding Building D will be slightly different than what the Master Plan depicts. Instead of connecting the retaining walls building-to-building, the retaining walls will be constructed with the height of the wall reducing in height from the wall of the house down to grade

away from the house. Later, when a neighboring building is constructed, the wall will be completed and abut both houses. The design of the initial wall and the finished wall will be designed by a licensed structural engineer.

As the development of the entire property progresses, all the retaining walls, grading, and landscaping between buildings will be adjusted to accommodate the adjoining improvements. Staff has worked with the applicant to ensure all of the improvements associated with this home (and future homes) are provided and also abide with the related policies in the Development Code (similar to the construction patterns of the Wellington Neighborhood). We have included a Condition of Approval stating *Applicant shall revegetate and irrigate all disturbed areas where revegetation is called for, with a minimum of 3 inches topsoil, seed and mulch. These areas will be irrigated a minimum of two years and be kept free of noxious weed until completion of the project.*

**Ridgeline and Hillside Development (8/R):** Per this policy:

*Development on a ridgeline or a hillside is prohibited, except when all of the following findings are made by the planning commission:*

- (1) There are no site development alternatives which avoid ridgeline or hillside development; and*
- (2) The proposed development will not have significant adverse impacts because the application includes all reasonable steps necessary to minimize the visual impacts of the development as viewed from an area of concern.*

Site Grading/Cut and Fill/Retaining Walls: The property is accessed from the upper portion allowing better opportunity for preservation the tree buffer below. None of the home sites are being “benched” and the proposed masses and roof forms are stepping down the hillside. The large retaining walls, both existing and proposed, for the overall development are constructed of a brick colored split face concrete. All the smaller retaining walls between the units will be constructed of stacked stone.

Design Of Structures: The forms and massing of each home are respecting the slope of this very steep lot. The massing and roof forms step down with the hillside. Portions of each floor and foundation are incorporated below grade and into the hillside. Dark non-reflective colors that should blend into the background are proposed. As noted above, efforts have been made to break up the massing and to keep the overall building height under 35-feet.

Exterior Lighting: The proposed exterior light fixtures abide with the Town’s exterior lighting policy. They are full cut-off and located at the allowed heights (see attached cut-sheet).

Landscaping: Extensive landscaping is proposed to mitigate the impacts of the development and to repair the damage from the previous owner. Larger sizes in a variety of species are planned.

Staff reminds the Commission that this property was annexed into the Town with its density entitlements. This site is particularly difficult to development in that the slope is very steep and a significant landscaping plan would help mitigate the visual impacts.

However, treed landscaping closer than 15-feet to a structure is in conflict with a sound fire wise design. See the discussion below regarding the landscaping for this building.

**Placement Of Structures (9/A & 9/R):** All of the proposed buildings for Peak Ten Bluffs are to be placed inside the platted footprint lots, pending subdivision approval.

**Snow Removal And Storage (13/R):** As designed, there is adequate overall snow storage for the private drives and for each of the planned houses. As depicted on sheet L-1 of the Landscape Plans, there is adequate and functional snow storage adjacent to the driveway for Unit D. Staff has no concerns.

**Access / Circulation (16/A & 16/R; 17/A & 17/R):** Currently Silver Queen Drive is unpaved. It will be re-graded and paved as part of the proposed subdivision improvements (separate application). The two private drives that access the development areas have pullouts for extra parking and improve circulation. These will be paved and graded to meet engineering standards. This plan has been reviewed and approved by the Red, White, and Blue Fire District.

The garage is offset from the private drive enough to allow extra parking without encroaching into the private drive. We have no concerns.

**Parking (18/A & 18/R):** There are two parking spaces inside the garage. There is also additional space for two more cars in the driveway in front of the garage. Staff has no concern with the parking as designed.

**Landscaping (22/A & 22/R):** Per this section of the Code:  
*C. Required Wildfire Mitigation:*

*(1) The creation of defensible space around structures is required for all new construction and for major remodels that affect the exterior of a structure and/or a structures footprint.*

Based on past precedent and this policy, Staff has established three zones for wildfire mitigation with new developments. The first zone is established 15-feet from the edge of the house or deck. Deciduous trees have been allowed at the outside edge of this first zone. The second zone is established 30-feet from the edge of the house or the deck. Conifers may be planted at the edge of this zone and deciduous trees between the 15 to 30-foot areas. Currently, the attached plans are showing this design concept. The property is next to national forest and on a steep slope. This is a high risk area. Staff believes that implementing the required fire mitigation is important in this subdivision.

As this overall development moves forward, the applicant is planning on installing landscaping for each unit and installing landscaping that will be in common areas surrounding the lot (as depicted on the Master Plan). See Sheet L-2 for the landscaping associated with this application. (The pedestrian trail and associated landscaping will be installed following the construction of both Units D and E.)

The plantings associated with this proposal show planting inside this lot and outside in common area (as part of the subdivision improvements). There are 37 deciduous trees shown as 2-1/2 inch caliper with 50% being multi-stem. They include Thin-Leaf Alder, Quaking Aspen, Narrow leaf Cottonwood, and Mountain Birch.

There will be a total of 22 evergreen trees. There will range in height from nine @ 6 to 8 feet, eleven @ 8 to 10 feet, and two @ 10 to 12 feet in height. Larger conifers are shown at the 30-foot zone to help shield the building. Staff has no concerns with the proposed landscaping.

**Utilities Infrastructure (26/A & 26/R; 28/A):** The main utilities and infrastructure have been placed off of White Cloud Drive up the site to the development areas. Deep utilities to each building site will be placed upon approval of the Subdivision Plan (separate application). The Engineering Department has reviewed the infrastructure and utilities plans and had no concerns.

**Drainage (27/A & 27/R):** Both Engineering and Planning staff have extensively studied the drainage issues for this site. The applicant has responded to all of the issued identified by staff. After careful review and some revisions, we have no concern with the drainage for the property.

**Point Analysis (Section: 9-1-17-3):** At this preliminary review, Staff is finding the application passes all Absolute Policies and has not incurred any points related to Relative Policies.

### **Staff Recommendation / Decision**

This is the first of 10 homes to be reviewed under the Class C application review process. The remaining nine homes will be similar in nature and design. The site conditions will be unique to each but will have to follow the overall master plan concept.

Staff has approved Peak Ten Bluffs Building 'D' Cluster Single Family Home, PC#2013094, with the attached Findings and Conditions.



## TOWN OF BRECKENRIDGE

Peak Ten Bluffs Building 'D' Cluster Single Family Home  
Lot 4, Peak Ten Bluffs  
Address TBD  
PC#2013094

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 21, 2013**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 4, 2013** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **May 12, 2015**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Applicant shall field locate utility service lines to avoid existing trees.

7. **Applicant shall revegetate and irrigate all disturbed areas where revegetation is called for, with a minimum of 3 inches topsoil, seed and mulch. These areas will be irrigated a minimum of two years and be kept free of noxious weed until completion of the project.**
8. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
9. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
10. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

11. Applicant shall submit proof of ownership of the project site.
12. **Applicant shall submit and obtain approval of the Peak Ten Bluffs Master Plan (PC#2013066) and the Peak Ten Bluffs Subdivision (PC#2013067).**
13. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
14. **Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.**
15. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
16. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
17. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
18. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
19. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town's water system, including hydrants, prior to any construction with wood. In the event the water system is installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.

20. Applicant shall install construction fencing and erosion control measures at the 25-foot no-disturbance setback to streams and wetlands in a manner acceptable to the Town Engineer.
21. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
22. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

**PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

23. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
24. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
25. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
26. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
27. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
28. Applicant shall screen all utilities.
29. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
30. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
31. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
32. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions

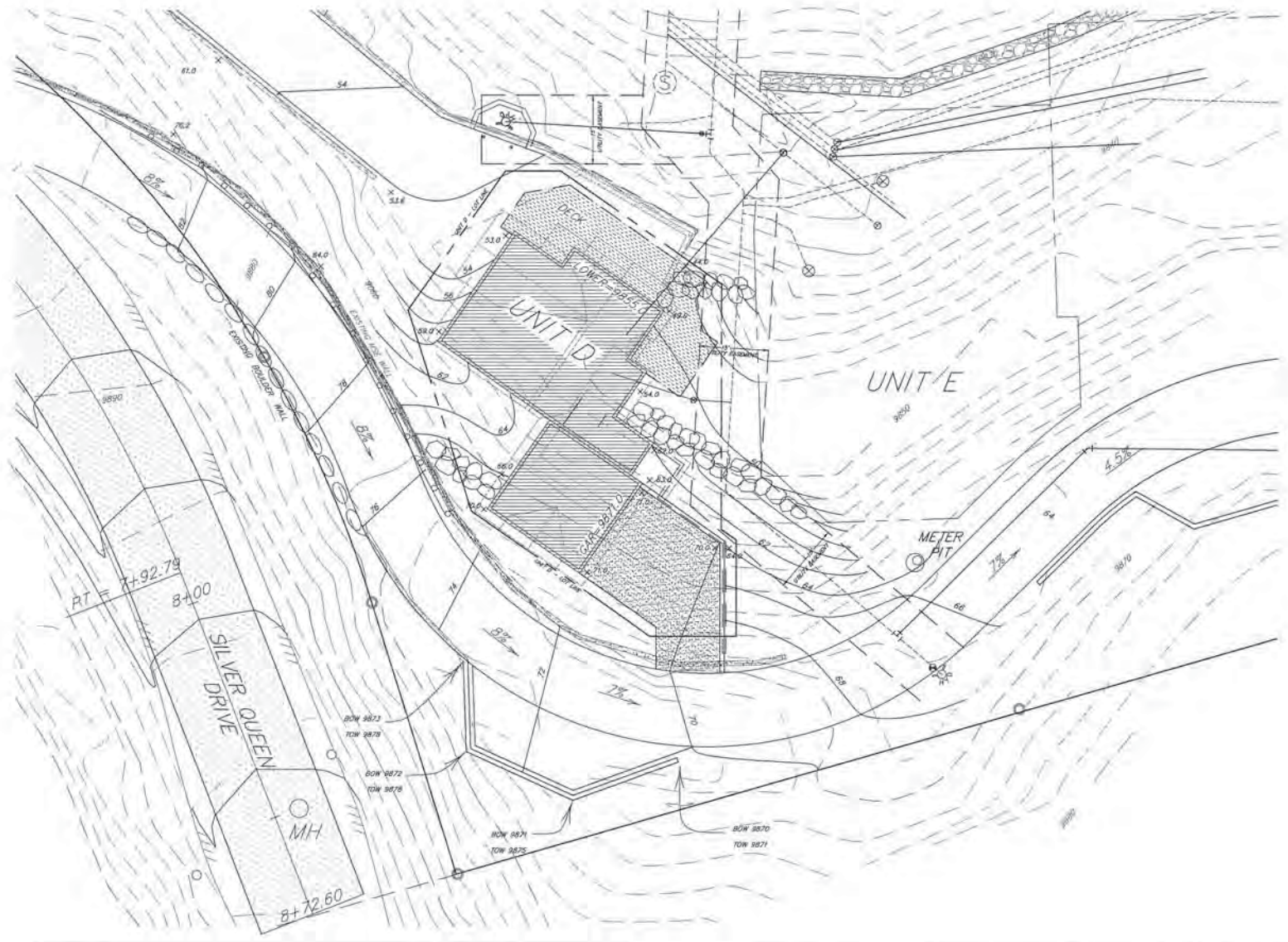
of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

33. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
34. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

\_\_\_\_\_  
(Initial Here)



SCALE: 1" = 10'



No. 100  
 Proposed  
 Date: 10-25-13  
 Drawing: 16873-DWG  
 Description: Unit D  
 Approved: [Signature]  
 Checked: [Signature]  
 Drawn: [Signature]  
 R-A-N-G-E W-E-S-T INC.  
 Consulting Engineers - Land Surveyors - Construction Managers  
 P.O. Box 283, Silverthorn, CO 80498 Phone 303-688-8281 Denver Office 303-742-6216

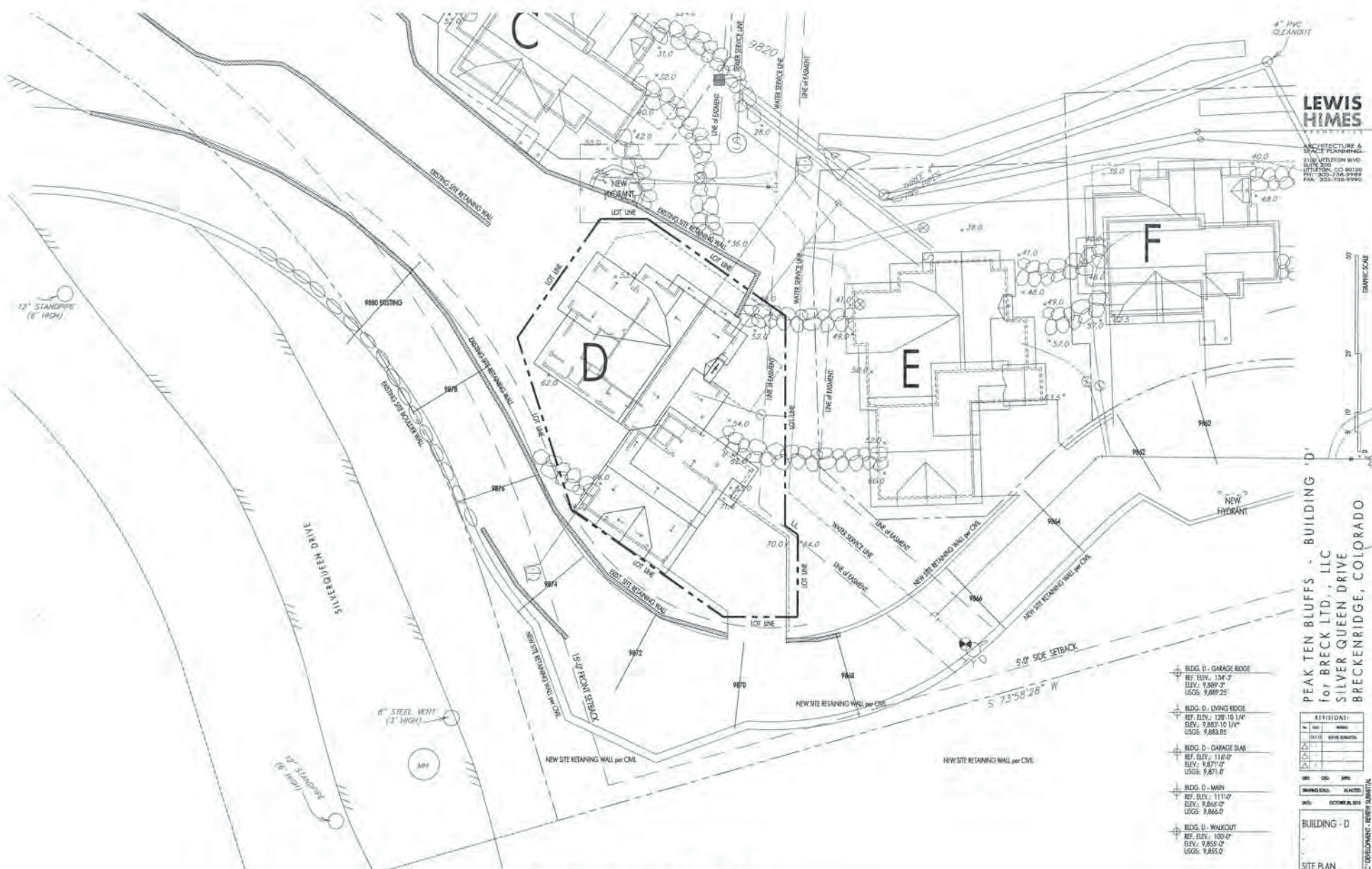
LEU OLSEN  
 555 CASTLE PINCE PARKWAY  
 CASTLE ROCK, COLORADO 80516  
 PEAK TEN BLUFFS  
 LOT 524 & 529 WARDENS MOUNTAIN TOWNSHIP  
 TOWN OF WINDSORVILLE, COLORADO

UNIT D  
EXHIBIT MAP

Sheet: 1 OF 1

D

Proj. No.: 16873



**LEWIS HIMES**  
 ARCHITECTURE & SPACE PLANNING  
 2110 WILSON BLVD  
 SUITE 200 CO 80130  
 DENVER, CO  
 PH: 303.734.9989  
 FAX: 303.738.9990



PEAK TEN BLUFFS - BUILDING 'D'  
 for BRECK LTD., LLC  
 SILVER QUEEN DRIVE  
 BRECKENRIDGE, COLORADO

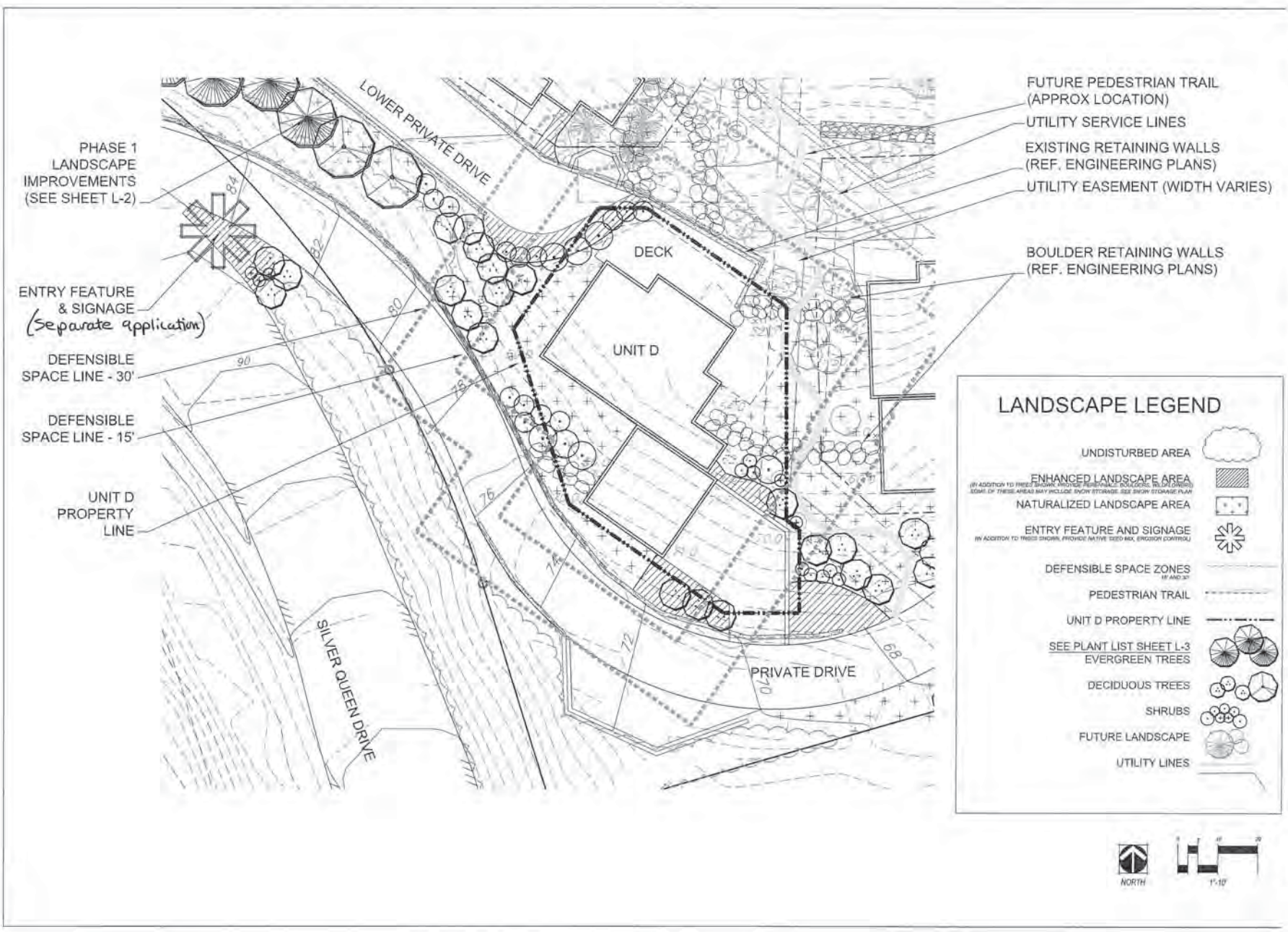
- BLDG. D - GARAGE RIDGE  
 REF. ELEV. 134'-0"  
 ELEV. 9,889'-0"  
 USGS. 9,889.25
- BLDG. D - LIVING RIDGE  
 REF. ELEV. 128'-10 1/4"  
 ELEV. 9,885'-10 1/4"  
 USGS. 9,883.85
- BLDG. D - GARAGE SLAB  
 REF. ELEV. 118'-0"  
 ELEV. 9,871'-0"  
 USGS. 9,871.0
- BLDG. D - MAIN  
 REF. ELEV. 111'-0"  
 ELEV. 9,865'-0"  
 USGS. 9,866.0
- BLDG. D - WALKOUT  
 REF. ELEV. 100'-0"  
 ELEV. 9,855'-0"  
 USGS. 9,855.0

REVISIONS:	
NO.	DESCRIPTION

PREP: [ ]  
 CHECKED: [ ]  
 DATE: OCTOBER, 2011  
**BUILDING - D**  
 SITE PLAN  
 DRAWING No. A1.1  
 CLASS 'C' DEVELOPMENT - REVIEW SUBMITTAL

**BUILDING 'D' - SITE PLAN**  
 SCALE: 1" = 10'-0"

CLASS 'C' DEVELOPMENT  
 REVIEW DRAWING ONLY  
 NOT FOR CONSTRUCTION



PHASE 1  
LANDSCAPE  
IMPROVEMENTS  
(SEE SHEET L-2)

ENTRY FEATURE  
& SIGNAGE  
(Separate application)

DEFENSIBLE  
SPACE LINE - 30'

DEFENSIBLE  
SPACE LINE - 15'

UNIT D  
PROPERTY  
LINE

LOWER PRIVATE DRIVE

SILVER QUEEN DRIVE

DECK

UNIT D

PRIVATE DRIVE

FUTURE PEDESTRIAN TRAIL  
(APPROX LOCATION)

UTILITY SERVICE LINES

EXISTING RETAINING WALLS  
(REF. ENGINEERING PLANS)

UTILITY EASEMENT (WIDTH VARIES)

BOULDER RETAINING WALLS  
(REF. ENGINEERING PLANS)

**LANDSCAPE LEGEND**

UNDISTURBED AREA

ENHANCED LANDSCAPE AREA  
(IN ADDITION TO TREES SHOW, INCLUDE PERENNIALS, BULBS, BLOOMERS)  
SOME OF THESE AREAS MAY INCLUDE SNOW STORAGE. SEE SNOW STORAGE PLAN

NATURALIZED LANDSCAPE AREA

ENTRY FEATURE AND SIGNAGE  
(IN ADDITION TO TREES SHOW, PROVIDE NATIVE TREE MIX, EROSION CONTROL)

DEFENSIBLE SPACE ZONES  
15' AND 30'

PEDESTRIAN TRAIL

UNIT D PROPERTY LINE

SEE PLANT LIST SHEET L-3  
EVERGREEN TREES

DECIDUOUS TREES

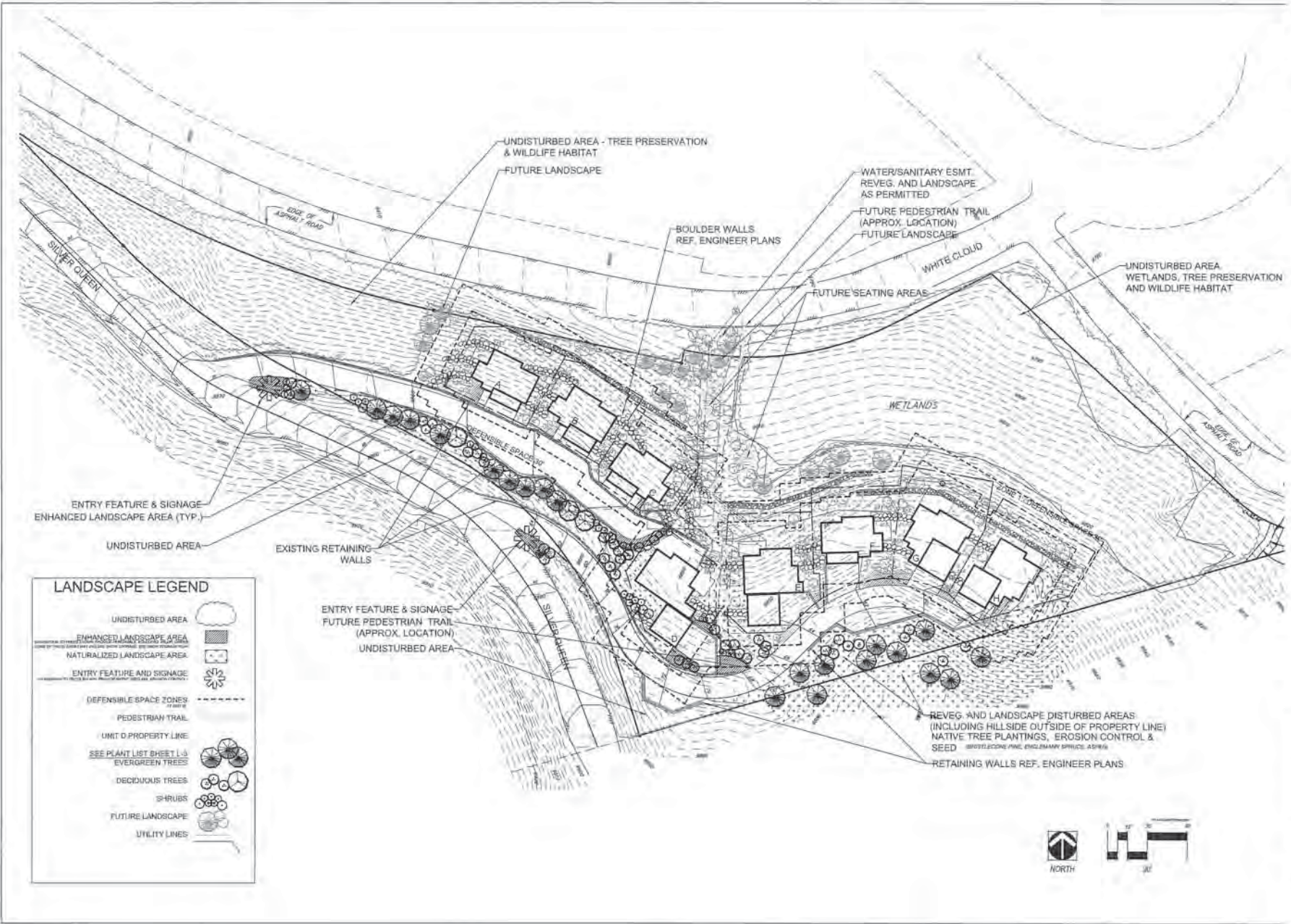
SHRUBS

FUTURE LANDSCAPE

UTILITY LINES







LANDSCAPE PLANT LIST - UNIT D & PHASE 1 LANDSCAPE

WATER USE	SYM.	COMMON NAME	BOTANICAL NAME	FIREWISE	SIZE & COND.
<b>DECIDUOUS TREES - 37 TOTAL</b> (UNLESS OTHERWISE NOTED)					
* MODERATE	TLA	THIN-LEAF ALDER	ALNUS TENUIFOLIA	FW	MULTI-STEM CLUMP, B&B
* MODERATE	ASP	QUAKING ASPEN	POPULUS TREMULOIDES	FW	2 1/2" CAL. B&B
MODERATE	NAR	NARROW-LEAF COTTONWOOD	POPULUS ANGUSTIFOLIA	FW	2 1/2" CAL. B&B
MODERATE	MNB	MOUNTAIN BIRCH	BETULA OCCIDENTALIS	FW	2 1/2" CAL. B&B
<b>EVERGREEN TREES - 22 TOTAL</b>					
MODERATE	COS	COLORADO SPRUCE	PICEA PUNGENS	NO	<b>PHASE 1 EVERGREEN TREES:</b> 5 TREES AT 6'-8' HEIGHT (SPECIMEN) 11 TREES AT 8'-10' HEIGHT (SPECIMEN) 2 TREES AT 10'-12' HEIGHT (SPECIMEN)
* MODERATE	EGL	ENGELMANN SPRUCE	PICEA ENGELMANNI	NO	
* LOW	BRI	BRISTLECOCK PINE	PINUS ARISTATA	NO	
<b>DECIDUOUS SHRUBS- 2'-5' SPREAD - 31 TOTAL</b>					
MODERATE	BOG	BOG BIRCH	BETULA GLANDULOSA	FW	5 GAL. CONT.
* LOW	TBH	TWINBERRY HONEYSUCKLE	LONICERA INVOLUCRATA	FW	5 GAL. CONT.
LOW	ALP	ALPINE CURRANT	RIBES ALPINUM	FW	5 GAL. CONT.
* LOW	POT	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	NO	5 GAL. CONT.
<b>DECIDUOUS SHRUBS- 7'-9' SPREAD - 11 TOTAL</b>					
MODERATE	YMW	YELLOW MOUNTAIN WILLOW	SALIX MONTICOLA	FW	5 GAL. CONT.
* LOW	RBE	RED-BERRIED ELDER	SAMBUCUS PUBENS	FW	5 GAL. CONT.
LOW	CHD	CHOKEBERRY	PRUNUS VIRGINIANA	FW	5 GAL. CONT.
<b>EVERGREEN SHRUBS- 2'-5' SPREAD - 5 TOTAL</b>					
MODERATE	GSR	GLOBE SPRUCE	PICEA PUNGENS 'GLOUCEA GLOBOSA'	NO	5 GAL. CONT.
<b>PERENNIALS / FORBES</b>					
* LOW	YAY	YARROW	ACHILLEA SPP.	NO	1 GAL. CONT.
* LOW	CLR	COLUMBINE	AGUIEGIA SPP.	FW	1 GAL. CONT.
* MODERATE	COM	LARKSPUR	DELPHINIUM SPP.	FW	1 GAL. CONT.
* LOW	FWW	FIREWEED	EPILOBIUM SPP.	NO	1 GAL. CONT.
* LOW	RMJ	ROCKY MOUNTAIN IRIS	IRIS MISSOURIENSIS	FW	1 GAL. CONT.
* MODERATE	LVP	LUPINE	LUPINUS SPP.	FW	1 GAL. CONT.
* MODERATE	PLO	PHLOX	PHLOX SPP.	FW	1 GAL. CONT.
* MODERATE	HDL	HOLLY-GRAPE	MAHONIA REPENS	FW	1 GAL. CONT.
* LOW	BLU	BLUEBELLS	MERTENSIA SPP.	FW	1 GAL. CONT.
* LOW	PEN	PENSTEMON	PENSTEMON SPP.	NO	1 GAL. CONT.
* LOW	POT	POTENTILLA	POTENTILLA VERNA	NO	1 GAL. CONT.
* LOW	STO	STONECROP	SEDUM SPP.	FW	1 GAL. CONT.
LOW	SHD	SHASTA DAISSY	CRYSANTHEMUM MAXIMUM	NO	1 GAL. CONT.
* LOW	DLP	DELPHINIUM	DELPHINIUM ELIATUM	FW	1 GAL. CONT.
* MODERATE	GAP	CALIFORNIA POPPY	ESCHOTZIA SPP.	NO	1 GAL. CONT.
LOW	BES	BLACKKEYED SUSAN	RUBRICOCA VULGARIS	NO	1 GAL. CONT.

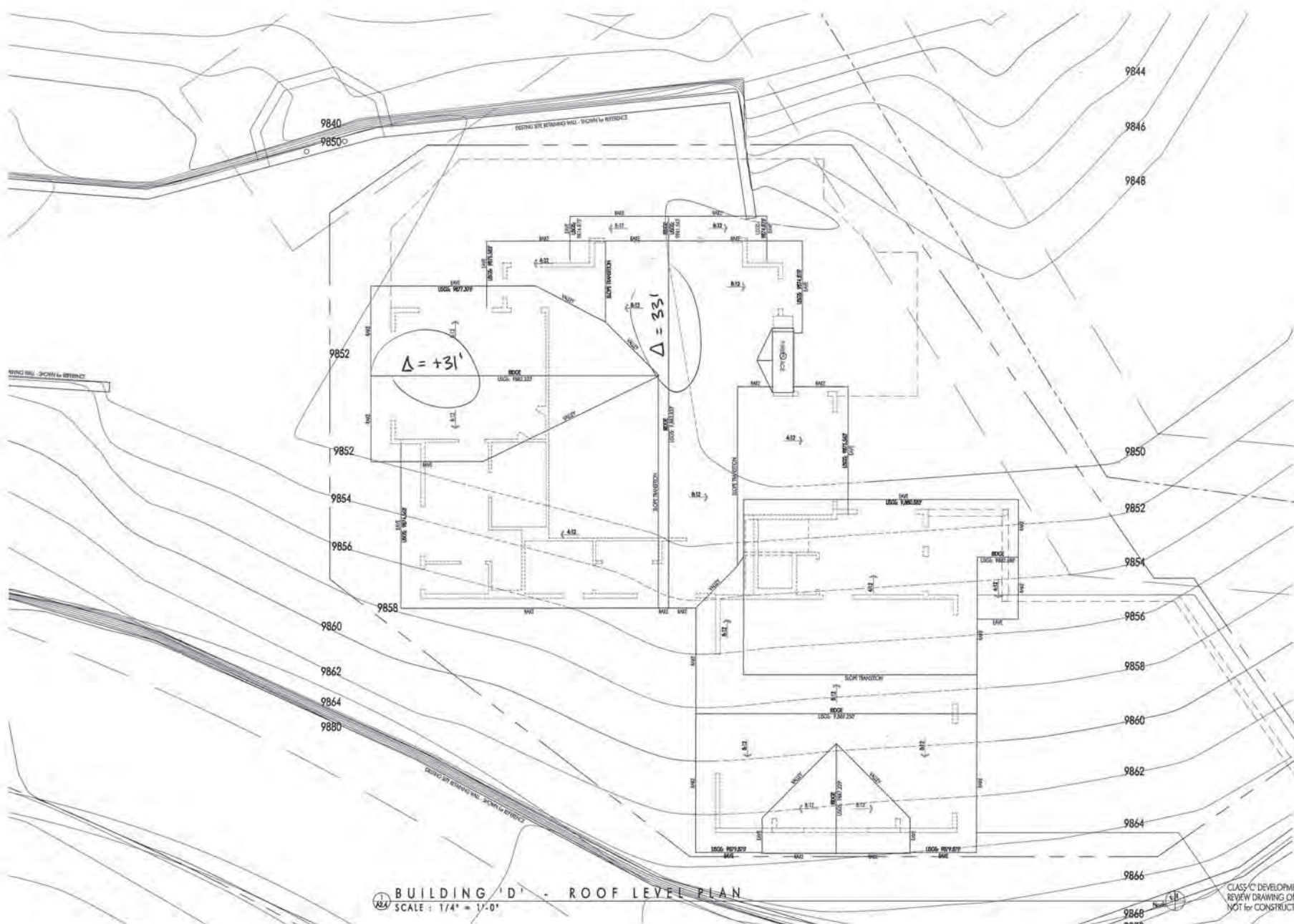
\* NATIVE TO BRECKENRIDGE

LANDSCAPE NOTES

1. AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL NEW LANDSCAPING
2. ALL LOCATIONS FOR PLANTS, GATEWAYS, TRAILS AND OTHER AMENITIES ARE PRELIMINARY AND SUBJECT TO FINAL APPROVAL WITH CLASS C PERMITS FROM THE TOWN OF BRECKENRIDGE.
3. THE GEO-TECHNICAL REPORT SHOULD BE CONSULTED TO DETERMINE THE APPROPRIATE DISTANCE FOR IRRIGATION SYSTEMS TO BE INSTALLED ADJACENT TO PROPOSED BUILDING FOUNDATIONS AND RETAINING WALLS. THE PLANT LOCATIONS SHOWN IN THIS MASTER PLAN ARE CONCEPTUAL AND SUBJECT TO FINAL LOCATIONS DEPENDENT UPON GEO-TECHNICAL REPORT AND FINAL BUILDING LOCATIONS.
4. AMENITIES SHOWN WITHIN THE SANITARY SEWER AND WATER UTILITY EASEMENT ARE SUBJECT TO APPROVAL BY THE RESPECTIVE DISTRICTS.
5. LANDSCAPING SHOWN OUTSIDE OF THE PROPERTY LINE IS SUBJECT TO ENCROACHMENT AGREEMENT WITH THE TOWN OF BRECKENRIDGE.
6. ALL PLANT MATERIAL WILL MEET HIGH QUALITY NURSERY STANDARDS.
7. TOPSOIL WILL BE PROVIDED FOR LANDSCAPE AREAS.
8. LANDSCAPE WILL BE COORDINATED WITH SNOW STACKING PLAN.

LANDSCAPE PHASING NOTES

1. LANDSCAPE AREAS WILL BE PHASED.
2. THE FIRST UNIT TO BE CONSTRUCTED WILL BE UNIT D, ALONG WITH ROADWAY IMPROVEMENTS FOR THE PRIVATE DRIVES AND SILVER QUEEN DRIVE. LANDSCAPE AREAS TO BE INSTALLED IN SUMMER 2014 FOLLOWING CONSTRUCTION OF THESE ROAD IMPROVEMENTS INCLUDE:
  - LANDSCAPE ALONG SILVER QUEEN DRIVE
  - TREE PLANTING AND RE-VEGETATION OF DISTURBED AREA SOUTH OF THE SOUTH PROPERTY LINE HILLSIDE THAT WAS IMPACTED BY PREVIOUS SITE DEVELOPMENT
  - LANDSCAPE AROUND UNIT D
3. LANDSCAPE AROUND EACH UNIT WILL BE INSTALLED AS THEY ARE CONSTRUCTED. INSTALLATION OF LANDSCAPE MAY NOT COINCIDE IMMEDIATELY WITH CONSTRUCTION OF A UNIT. LANDSCAPE WILL BE INSTALLED DURING THE MONTHS OF MAY - SEPTEMBER FOLLOWING BUILDING AND OTHER SITE WORK.
4. PEDESTRIAN TRAIL AND ASSOCIATED LANDSCAPING WILL BE INSTALLED FOLLOWING THE CONSTRUCTION OF BOTH UNITS D AND E.



**BUILDING 'D' - ROOF LEVEL PLAN**  
 SCALE: 1/4" = 1'-0"

**LEWIS HIMES**  
 ASSOCIATES

ARCHITECTURE & SPACE PLANNING  
 2148 BRITTON BLVD.  
 SUITE 200  
 STURTON, CO 80138  
 PH: 303.735.9999  
 FAX: 303.735.9999

PEAK TEN BLUFFS - BUILDING 'D'  
 for BRECK LTD, LLC  
 SILVER QUEEN DRIVE  
 BRECKENRIDGE, COLORADO

REVISIONS:	
1	ISSUE FOR PERMIT
2	ISSUE FOR CONSTRUCTION
3	
4	

DATE	BY	REVISION
08/14/2014	AMH	ISSUE FOR PERMIT
08/14/2014	AMH	ISSUE FOR CONSTRUCTION

**BUILDING - D**  
**ROOF LEVEL PLAN**

CLASS 'C' DEVELOPMENT  
 REVIEW DRAWING ONLY  
 NOT FOR CONSTRUCTION

BLDG. D - GARAGE RIDGE  
REF. ELEV. 124'-0"  
ELEV. 9,889'-9"  
USGS: 9,889.25'

BLDG. D - LIVING RIDGE  
REF. ELEV. 128'-10 1/4"  
ELEV. 9,893'-10 1/4"  
USGS: 9,893.85'

BLDG. D - GARAGE  
REF. ELEV. 116'-0"  
ELEV. 9,871'-0"  
USGS: 9,871.0'








BLDG. D - MAIN  
REF. ELEV. 111'-0"  
ELEV. 9,866'-0"  
USGS: 9,866.0'

BLDG. D - WALKOUT  
REF. ELEV. 100'-0"  
ELEV. 9,855'-0"  
USGS: 9,855.0'



**BUILDING 'D' - WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**BUILDING 'D' EXTERIOR MATERIALS PALETTE:**

-  BUILDING 'D' PRIMARY ROOFING:  
CLAS C 40 YEAR ASPH/FLT (CONDO/STR SINGLE ROOMS)
-  BUILDING 'D' ACCENT ROOFING:  
FLTS/ST CLR TRV STRL PANEL ROOFING
-  BUILDING 'D' PRIMARY SIDING:  
WHITE EDGE 1/4" SA x 10 SIDING
-  BUILDING 'D' SECONDARY SIDING:  
1" x 10 VERTICAL with 1" x 4 GATINGS
-  BUILDING 'D' ACCENT SIDING:  
CEDAR SINGLE SIDING (SPRUCED & BARKED WATER)
-  BUILDING 'D' PRIMARY MSU:  
ADORNATIC EDGE (MSU) SHALL BE RESTRICTED FROM THE FOLLOWING:  
• MOSS ROCK  
• TULLOCH LOGS
-  BUILDING 'D' ACCENT MSU:  
4" x 4" BUSHY 2" X 2" SQUARE METAL FINISHES with LIMITED SELECTION  
of ALUMINUM-ACID BY ACCESSORY HEAVY DUTY RATED HARDW. 1.12" METAL SIDING  
shall be APPLIED 4" x 4" VERTICAL with HORIZONTAL

BLDG. D - GARAGE RIDGE  
REF. ELEV. 124'-0"  
ELEV. 9,889'-9"  
USGS: 9,889.25'

BLDG. D - LIVING RIDGE  
REF. ELEV. 128'-10 1/4"  
ELEV. 9,893'-10 1/4"  
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ELEV. 9,866'-0"  
USGS: 9,866.0'

BLDG. D - WALKOUT  
REF. ELEV. 100'-0"  
ELEV. 9,855'-0"  
USGS: 9,855.0'



**BUILDING 'D' - SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

PEAK TEN BLUFFS - BUILDING 'D'  
for BRECK LTD., LLC  
SILVER QUEEN DRIVE  
BRECKENRIDGE, COLORADO

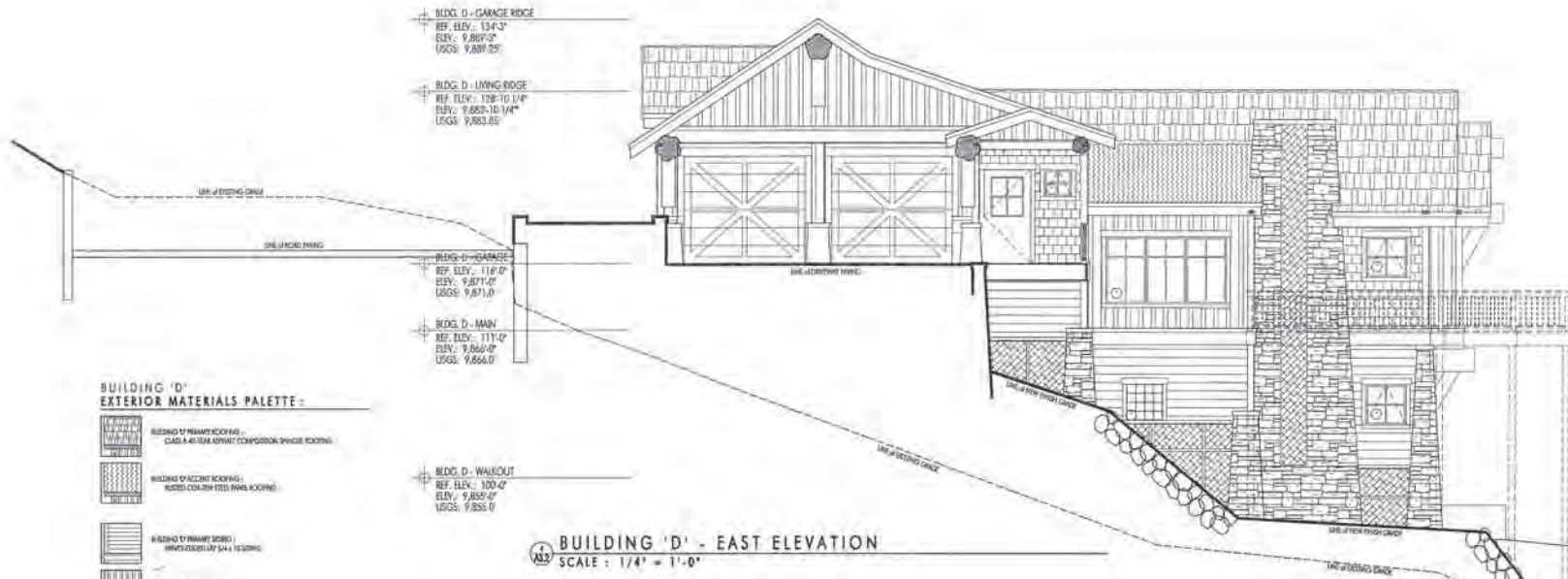
REVISIONS	
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS

DATE	BY	APP'D
08/20/2024	AL	AL
08/20/2024	AL	AL

**BUILDING - D**  
SOUTH & WEST  
EXTERIOR  
ELEVATIONS

CLASS 'C' DEVELOPMENT  
REVIEW DRAWING ONLY  
NOT FOR CONSTRUCTION

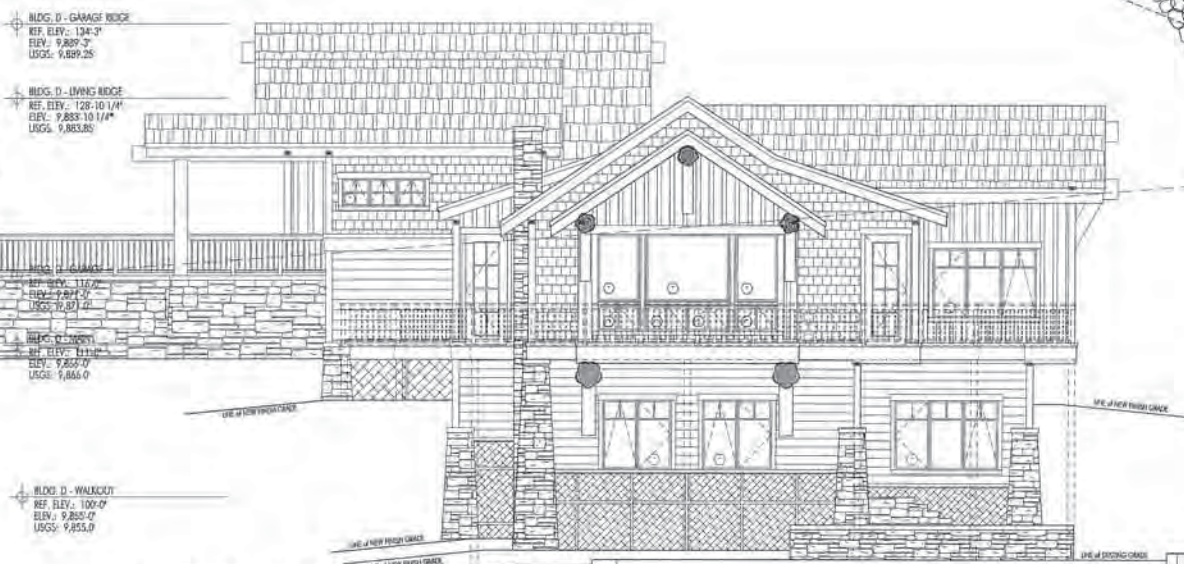
CLASS 'C' DEVELOPMENT - REVIEW SUBMITTAL  
DRAWING No. A3.1  
DATE: 8/20/24



**BUILDING 'D' - EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**BUILDING 'D'**  
**EXTERIOR MATERIALS PALETTE:**

- BUILDING 'D' PRIMARY ROOFING: CLASS A 45 YEAR ASPHALT COMPOSITION SHINGLE ROOFING
- BUILDING 'D' ACCENT ROOFING: REDDED COLOR SHINGLE PAWLA ROOFING
- BUILDING 'D' PRIMARY SIDING: HORIZONTAL CEDAR SH44 SIDING
- BUILDING 'D' SECONDARY SIDING: 1 x 10 VERTICAL with 1 x 4 BRACKET
- BUILDING 'D' ACCENT SIDING: CEDAR SHINGLE SIDING APPLIED IN HANGING BATTERY
- BUILDING 'D' PRIMARY STONE: ARTISANAL STONE VENEER SHALL BE SELECTED FROM THE FOLLOWING:
  - ROCKFACE
  - TOLLAND GOLD
- BUILDING 'D' ACCENT STONE: 4" x 8" SLABS OF 20 GAUGE METAL FINISH WITH FINISHED POLYURETHANE FINISHING. 4" x 8" SLABS SHALL BE APPLIED VERTICALLY AND HORIZONTALLY.



**BUILDING 'D' - NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

PEAK TEN BLUFFS - BUILDING 'D'  
 FOR BRECK LTD., LLC  
 SILVER QUEEN DRIVE  
 BRECKENRIDGE, COLORADO

REVISIONS	
NO.	DESCRIPTION

DATE	DESCRIPTION
02/20/20	ISSUED FOR PERMITS
02/20/20	ISSUED FOR PERMITS
02/20/20	ISSUED FOR PERMITS

PROJECT	BUILDING - D NORTH & EAST EXTERIOR ELEVATIONS
DATE	02/20/20
SCALE	AS SHOWN
DESIGNER	LEWIS HIMES ARCHITECTS
DRAWN BY	
CHECKED BY	

CLASS 'C' DEVELOPMENT  
REVIEW DRAWING ONLY  
NOT FOR CONSTRUCTION



Balcony Rail Sample



Stone Sample



Rusted Cortin Roofing Sample



Asphalt Shingle Sample



Board and Batt Siding Sample



Cedar Siding Sample



Rusted Metal Siding Sample



Wavy Edge Lap Siding Sample



B2362CR



Incandescent Dark Sky Compliant

EXTERIOR WALL SCONCE <M>

Aluminum

CR (Centennial Rust) Finish

10.5"W 16"H 12"P 4.25"TCD

1-100W Med Base

P = Projection, TCD = Top to Center Dimension



TROY LIGHTING

Est. 1963

14508 Nelson Avenue, City of Industry, CA, USA (91744) Phone: 626-336-4511 Fax: 626-330-4266 [www.troy-lighting.com](http://www.troy-lighting.com)



**Class C Development Review Check List**

**Proposal:** Construct a new single family home

**Project Name/PC#:** Breckenridge Lands Custom Home PC#2013098

**Project Manager:** Shane Greenburg

**Date of Report:** October 29, 2013 For the November 5, 2013 Planning Commission Meeting

**Applicant/Owner:** Tom Bagley, Breckenridge Lands

**Agent:** Allen-Guerra Architecture

**Proposed Use:** Single Family Residence

**Address:** 682 Fairways Drive

**Legal Description:** Lot 10, Crescent

**Site Area:** 22,099 sq. ft. 0.51 acres

**Land Use District (2A/2R):** LUD 6; Subject to the Delaware Flats Master Plan & Highlands Park Plat

**Existing Site Conditions:** The lot is heavily treed with medium sized to mature lodgepole pines. A drainage easement runs through the western section of the property and contains a deep drainage ditch. Slopes on the property vary from near 15% within the disturbance envelope to approximately 50% along the drainage ditch.

**Density (3A/3R):** Allowed: 3,500 sq. ft. per plat Proposed: 2,977 sq. ft.

**Mass (4R):** Allowed: 4,200 sq. ft. Proposed: 3,558 sq. ft.

**F.A.R.** 1:6.21 FAR

**Areas:** Proposed

Lower Level: 1,346 sq. ft.

Main Level: 1,631 sq. ft.

Garage: 581 sq. ft.

Total: 3,558 sq. ft.

**Bedrooms:** 3

**Bathrooms:** 3.5

**Height (6A/6R):** 30 feet overall

(Max 35' per town code)

**Lot Coverage/Open Space (21R):**

Building / non-Permeable: 3,177 sq. ft.	14.38%
Hard Surface/Non-Permeable: 899 sq. ft.	4.07%
Open Space / Permeable: 18,023 sq. ft.	81.56%

**Parking (18A/18/R):**

Required: 2 spaces

Proposed: 2 spaces

**Snowstack (13A/13R):**

Required: 225 sq. ft. (25% of paved surfaces)

Proposed: 225 sq. ft. (25.03% of paved surfaces)



**Fireplaces (30A/30R):** 3 gas

**Building/Disturbance Envelope?** Disturbance Envelope

**Setbacks (9A/9R):** Within the disturbance envelope  
Within the disturbance envelope  
Within the disturbance envelope  
Within the disturbance envelope

**Architectural Compatibility (5/A & 5/R):** The proposed residence will be architecturally compatible with the neighborhood.

**Exterior Materials:** Horizontal Siding - 1x10 Cedar Lap Siding: Superdeck Mixture "Faded Denim"; Vertical Siding - 1x6 Cedar Board & Board: Cabot Semi-Transparent "Spruce Blue" or similar; Window & Door Sierra Pacific Aluminum Clad: "Black"; Stone Base - Gallegos "Angel Blue"

**Roof:** Asphalt Shingle - "Cool Weatheredwood"; Cold Rold Steel

**Garage:** Wood - Stained with Superdeck "Teak"

**Landscaping (22A/22R):**

Planting Type	Quantity	Size
Colorado Spruce	6	3 @ 8', 3 @ 10'
Aspen	14	14 @ 1.5" caliper
Shrubs (Currant & Rose)	12	5 Gal.

**Defensible Space:** Complies- will field verify

**Drainage (27A/27R):** Positive drainage away from the structure.

**Driveway Slope:** 6 %

**Point Analysis (Sec. 9-1-17-3):** Staff conducted an informal point analysis and found no reason to warrant positive or negative points. The application meets all Absolute and Relative Policies of the Development Code

**Staff Action:** The Community Development Department has approved the Breckenridge Lands, LLC Custom Home, Lot 10, Crescent Subdivision, PC#2013098, with the attached Standard Findings and Conditions.

## TOWN OF BRECKENRIDGE

Breckenridge Lands Custom Home  
Lot 10, Crescent Subdivision  
682 Fairways Drive  
PC#2013098

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 29, 2013**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013**, as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **May 12, 2015** unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.

7. Applicant shall field locate utility service lines to avoid existing trees.
8. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed **35'** at any location.
9. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
10. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

- 11. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.**
12. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
13. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
14. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
15. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
16. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
- 17. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
18. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

## PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

19. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
20. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
21. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
22. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping for all existing trees.
- 23. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.**
24. Applicant shall screen all utilities.
- 25. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
26. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
27. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
- 28. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.****

29. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
  
30. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)



PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	12	PICEA ALBERTANA & KOTSCHYANA	ALPINE CEDAR & WAICHOE ROSE	5 GAL
	14	POPULUS TREMULOIDES	ASPEN	(1) 1' 5" CAL
	6	PICEA MARIANA	COLORADO SPRUCE	(3) 1' (2) 1.0'
		ALL DISTURBED LOCATIONS	NAIVE TREE MIX (SEE LANDSCAPE NOTES)	

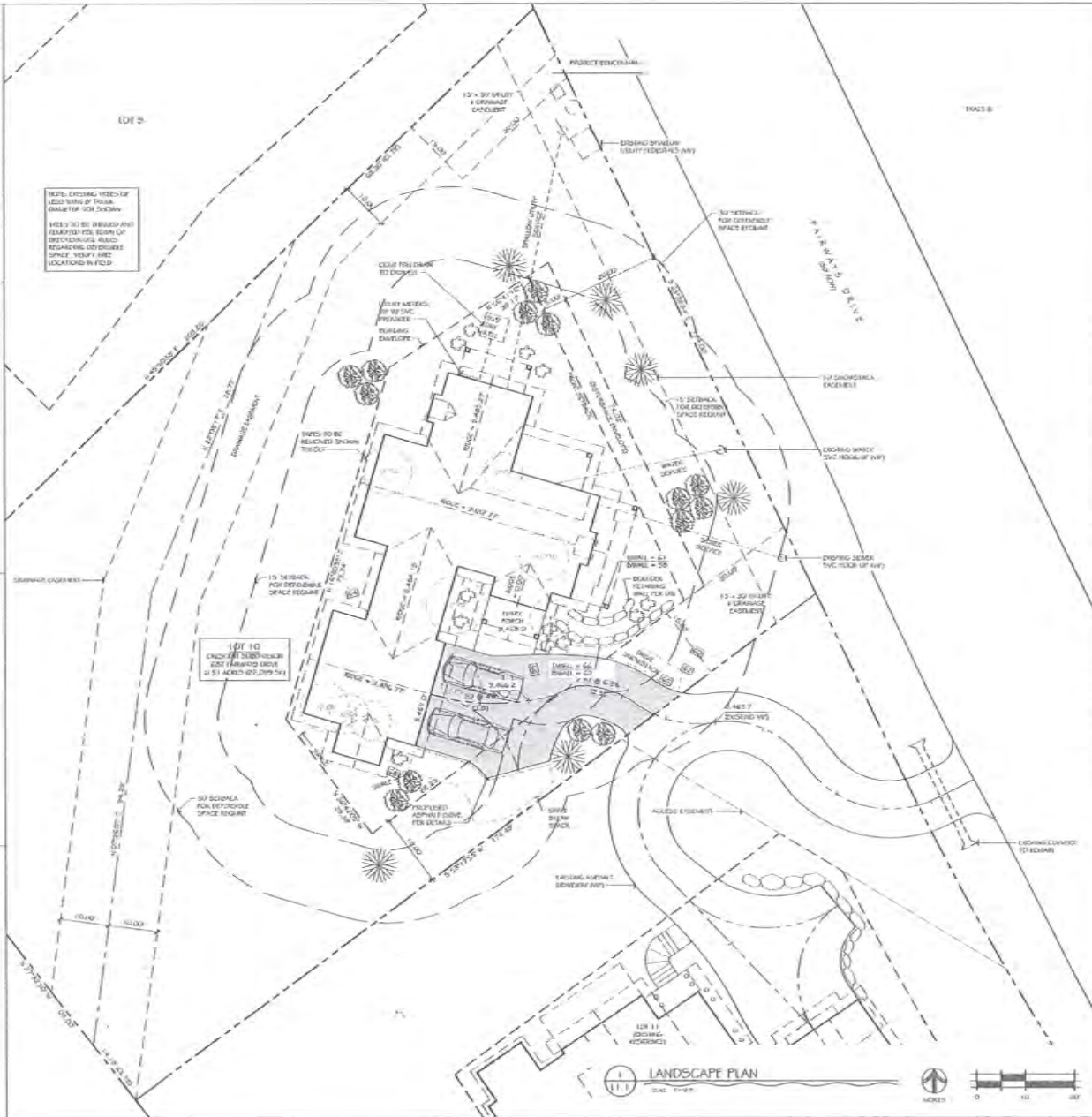
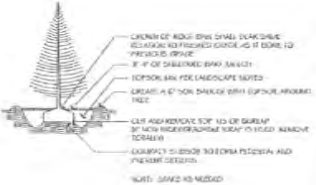
LANDSCAPE NOTES

1. CHECK LOCAL AGENCIES BEFORE ANY REMOVAL OF TREES OR CONSTRUCTION OF ANY OTHER FEATURES TO BE INSTALLED. CHECK WITH LOCAL AGENCIES FOR ANY SPECIAL PERMITS OR APPROVALS REQUIRED.
2. ALL EXISTING TREES TO BE REMOVED SHALL BE IDENTIFIED AND REMOVED TO MAINTAIN PROPER VISIBILITY AND SAFETY. ALL REMOVALS SHALL BE DONE IN ACCORDANCE WITH LOCAL ORDINANCES.
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9. ALL EXISTING TREES TO BE REMOVED SHALL BE IDENTIFIED AND REMOVED TO MAINTAIN PROPER VISIBILITY AND SAFETY. ALL REMOVALS SHALL BE DONE IN ACCORDANCE WITH LOCAL ORDINANCES.

DECIDUOUS TREE PLANTING



CONIFEROUS TREE PLANTING



PRELIMINARY - NOT FOR CONSTRUCTION



ALLEN GUERRA ARCHITECTURE  
1111 AIRWAY DRIVE  
DENVER, COLORADO 80202  
TEL: (303) 733-1111  
WWW.ALLENGUERRA.COM

CRESCENT LOT 10  
662 AIRWAY DRIVE  
DENVER, COLORADO  
LANDSCAPE PLAN

DATE: 2.10.2013	DATE:
PLANNED:	
PROJECT # 101	
L.I.	







1 NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTHEAST ELEVATION  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



ALLEN GUERRA ARCHITECTURE  
2024 10th Ave  
Breckenridge, Colorado 80424  
PH: 970.469.1111  
WWW.AGARCHITECTURE.COM

CRESCENT LOT 10  
662 FAIRWAY DRIVE  
BRECKENRIDGE, COLORADO  
THE EXTERIOR ELEVATIONS

CONSULT AS AN INDICATIVE GUIDE. THIS IS A PRELIMINARY DRAWING. SUBJECT TO REVISIONS WITHOUT NOTICE.

DATE	REVISION

A3.2

682 FAIRWAYS DRIVE . LOT 10 . CRESCENT SUBDIVISION  
 EXTERIOR MATERIALS SCHEDULE  
 DATE: 2 OCT 2013

LABEL	ITEM	COLOR	DESCRIPTION
M1	ROOF		ELK PRESTIQUE COOL COLOR 40 YEAR ASPHALT SHINGLE "COOL WEATHEREDWOOD"
M2	ROOF		COLD ROLLED STEEL
M3	FASCIA		2x RS CEDAR TO BE STAINED W/ SUPERDECK "TEAK"
M4	SOFFIT		RS 1x4 TIG CEDAR: STAIN W/ SUPERDECK "FADED DENIM"
M5	VERTICAL SIDING		1x4 CEDAR BOARD & BOARD STAIN W/ CABOT SEMI-TRANSPARENT "SPRUCE BLUE" OR SIMILAR
M6	METAL WAINSCOT		COLD ROLLED STEEL
M7	HORIZONTAL SIDING -EXT CORNER TRIM -HORIZ SIDING		1x10 CEDAR LAP SIDING: STAIN W/ SUPERDECK MIXTURE "FADED DENIM"
M8	DOORS/WINDOWS		SIERRA PACIFIC ALUMINUM CLAD - "BLACK"



NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO: FLASHING, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC... SHALL BE CHARCOAL GRAY

RECEIVED  
 OCT 03 2013

TOWN OF BRECKENRIDGE  
 PLANNING DEPT



682 FAIRWAYS DRIVE . LOT 10 . CRESCENT SUBDIVISION  
 EXTERIOR MATERIALS SCHEDULE  
 DATE: 2 OCT 2013

LABEL	ITEM	COLOR	DESCRIPTION
M9	DOOR/WINDOW TRIM		2x RS CEDAR PER DETAILS; STAIN W/ SUPERDECK "TEAK"
M10	STONE VENEER		GALLEGOS CORPORATION "ANGEL BLUE" (66)
M11	PATIOS		2"-3" FLAGSTONE & BROOM FINISH CONCRETE PER PLANS
M12	CHIMNEY CAP		FLAT STEEL - BRONZE
M13	EXPOSED POSTS/BEAMS		DF TIMBERS PER PLANS; STAIN W/ SUPERDECK "TEAK"
M14	GARAGE DOORS		SIDING PER DETAILS/ELEVATIONS STAINED W/ SUPERDECK "TEAK" • RAILS & STILES OF DOOR CABOT "SPRUCE BLUE" • VERTICAL PANEL & FLAT STEEL
M15	FLASHING, GUTTERS & DOWNSPOUTS		ALL EXPOSED METAL FLASHING, GUTTERS & DOWNSPOUTS TO BE BRONZE

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO: FLASHING, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC... SHALL BE CHARCOAL GRAY





**Class C Development Review Check List**

**Proposal:** Construct a new single family home

**Project Name/PC#:** Parks Residence PC#2013099

**Project Manager:** Shane Greenburg

**Date of Report:** October 29, 2013 For the November 5, 2013 Planning Commission Meeting

**Applicant/Owner:** BHH Partners / Steve and Suzanne Parks

**Agent:** BHH Partners

**Proposed Use:** Single Family Residence

**Address:** 0396 Lake Edge Drive

**Legal Description:** Lot 74, Highlands Park

**Site Area:** 40,508 sq. ft. 0.93 acres

**Land Use District (2A/2R):** LUD 6; Subject to the Delaware Flats Master Plan & Highlands Park Plat

**Existing Site Conditions:** The lot is vegetated with sagebrush and a few medium sized trees. A designated wetland lies on the western section of the property. The property is bordered by the golf course to the north. Slopes range from 4% near the center of the property to 15% on the southeast and northwest corners of the property.

**Density (3A/3R): Per Plat** Allowed: 7,000 sq. ft. Proposed: 4,186 sq. ft.

**Mass (4R): Per Plat** Allowed: 7,000 sq. ft. Proposed: 5,185 sq. ft.

**F.A.R.** 1:7.81 FAR

**Areas:** Proposed

Lower Level: 1,805 sq. ft.

Main Level: 2,381 sq. ft.

Upper Level:

Garage: 999 sq. ft.

Total: 5,185 sq. ft.

**Bedrooms:** 4

**Bathrooms:** 5.5

**Height (6A/6R):** 30 feet overall

(Max 30' per Highlands Park Plat Note #21)

**Lot Coverage/Open Space (21R):**

Building / non-Permeable: 5,024 sq. ft.	12.40%
Hard Surface/Non-Permeable: 2,821 sq. ft.	6.96%
Open Space / Permeable: 32,663 sq. ft.	80.63%

**Parking (18A/18/R):**

Required: 2 spaces

Proposed: 3 spaces

**Snowstack (13A/13R):**

Required: 705 sq. ft.	(25% of paved surfaces)
Proposed: 1,220 sq. ft.	(43.25% of paved surfaces)

**Fireplaces (30A/30R):** 2 gas

**Building/Disturbance Envelope?** Disturbance Envelope

**Setbacks (9A/9R):** Within the disturbance envelope  
 Within the disturbance envelope  
 Within the disturbance envelope  
 Within the disturbance envelope

**Architectural Compatibility (5/A & 5/R):** The proposed residence will be architecturally compatible with the neighborhood.

**Exterior Materials:** Vertical Siding - Reclaimed Barnwood (Browns/Grays); Horizontal Siding - Sherwin Williams Banyan Brown SW3522; Fascia & Trim - Penofin Verde Ebony; Stone Base - Gallego's Corp Cabinet Gore Ledge #33

**Roof:** Asphalt Shingle - Certaineed Landmark TL (Max Def Moire Black); Metal Roofing (Berrindge Dark Bronze)

**Garage:** Wood

**Landscaping (22A/22R):**

Planting Type	Quantity	Size
Colorado or Englemann Spruce	10	6-8' tall
Aspen	26	2.5" minimum caliper, 50% multistem
Cottonwood	2	8-10' tall
Shrubs (Juniper, Currant, Potentilla, Buffaloberry, Cotoneaster)	40	5 Gal.

**Defensible Space:** Complies- will field verify

**Drainage (27A/27R):** Positive drainage away from the structure.

**Driveway Slope:** 2 %

**Point Analysis (Sec. 9-1-17-3):** Staff finds that negative one(-1) point is warranted under Policy 6R *Building Height* for roof ridge length over 50' and positive one (+1) point under Policy 33R *Energy Conservation* for obtaining a HERS rating. This results in a passing point analysis of zero (0) points.

**Staff Action:** The Community Development Department has approved the Parks Residence, Lot 74, Highlands Park Subdivision, PC#2013099, with the attached Standard Findings and Conditions.

**Comments:** Applicant has proposed to remove the cupola in order to remain below the 30' building height maximum per the Highlands Park Subdivision Plat note #21. This has been added as a Condition of Approval.

**Additional Conditions of Approval:** Applicant shall submit and obtain approval from the Town revised drawings showing removal of the cupola (in order to meet the building height maximum of 30' per the Highlands Park Subdivision Plat Note #21). Applicant shall obtain a HERS index from a certified HERS rater and submit the report to Town Planning Department.

<b>Final Hearing Impact Analysis</b>				
Project:	Highlands Park L74 - Parks Residence	<b>Positive Points</b>	<b>+1</b>	
PC#:	2013099			
Date:	10/29/2013	<b>Negative Points</b>	<b>- 1</b>	
Staff:	Shane Greenburg			
		<b>Total Allocation:</b>	<b>0</b>	
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)	- 1	One roof ridgeline is over the 50' limit
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x (-2/+2)		

18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	Complies		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1	+1	Will obtain a HERS index prior to the issuance of a Certificate of Occupancy
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		

42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		



## TOWN OF BRECKENRIDGE

Parks Residence  
Lot 74, Highlands Park Subdivision  
0396 Lake Edge Drive  
PC#2013099

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 29, 2013**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013**, as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **May 12, 2015** unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.

7. Applicant shall field locate utility service lines to avoid existing trees.
- 8. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 30' at any location.**
9. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
10. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

- 11. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.**
- 12. Applicant shall submit and obtain approval from the Town revised drawings showing removal of the cupola (in order to meet the building height maximum of 30' per the Highlands Park Subdivision Plat Note #21).**
13. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
14. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
15. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
16. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
17. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
- 18. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
19. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department

staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

### **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

- 20. Applicant shall obtain a HERS index from a certified HERS rater and submit the report to Town Planning Department.**
21. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
22. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
23. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
24. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping for all existing trees.
- 25. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.**
26. Applicant shall screen all utilities.
- 27. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
28. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
29. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
30. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the

estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

31. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
32. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

---

(Initial Here)

**SITE NOTES**

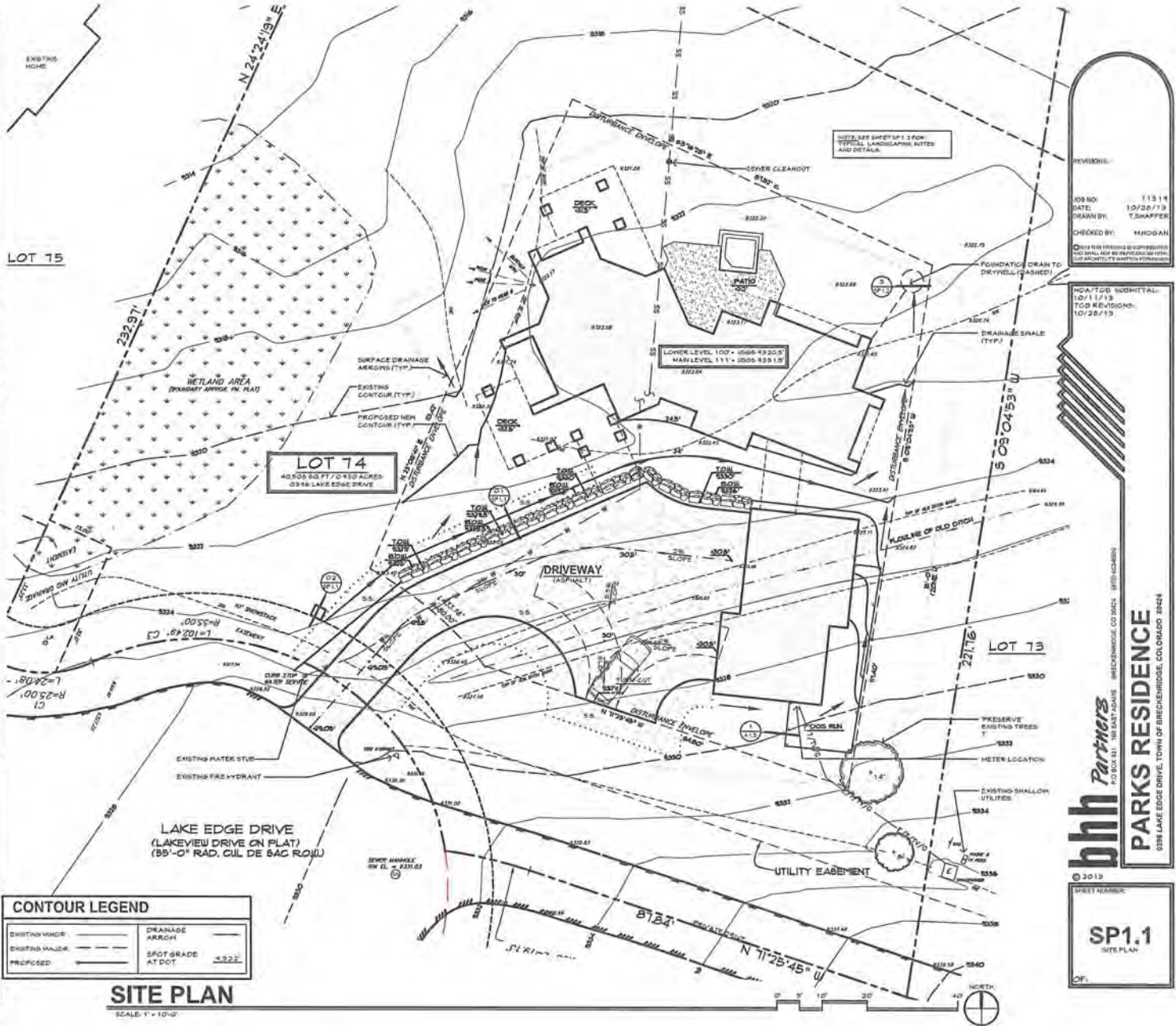
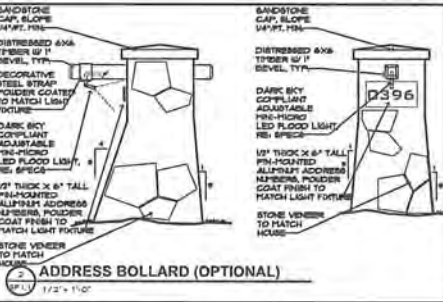
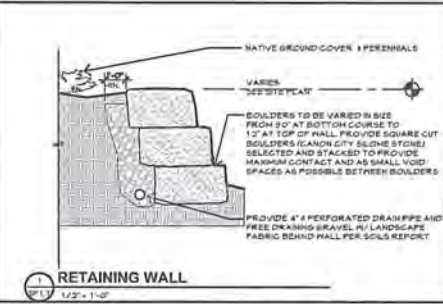
1. ELECTRIC, CABLE TV, AND TELEPHONE WIRE AS FOUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE COVERED
3. TOPOGRAHY INFORMATION OBTAINED FROM BLANKET TEST ENGINEERS (SURVEYORS, INC., 2094 W. 118TH)
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. PLANT ALL TREES FOR OWNER PRIOR TO TISSING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SACK FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE OR RAMP OVER REED BARRIER FABRIC AT TREES AND VALLEY DRAIN LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BEFORE TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBMITTAL CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. DRIVEWAY SHOWN AS HAVING 3.25% SLOPE FOR FIRST 30' FROM ROAD EDGE OF PAVEMENT OR AS REQUIRED

**LOT COVERAGE**

	SQ. FT.	PERCENTAGE
BUILDING (INCLUDES COVERINGS AND DECKS)	5024 SF.	12%
HARDSCAPE (PATIO, WALKS & DRIVEWAY)	2821 SF.	7%
OPEN SPACE	32865 SF.	81%
TOTAL LOT AREA	40908 SF.	100%

**REQUIRED SNOWSTACK**

	SQ. FT.	PERCENTAGE
HARDSCAPE (PATIO, WALKS & DRIVEWAY)	2821 SF.	100%
REQUIRED SNOW STACK (25% OF HARDSCAPE)	705 SF.	25%
TOTAL SNOW STACK PROVIDED	1220 SF.	45%



REVISIONS:

ISS NO: 11314  
DATE: 10/26/13  
DRAWN BY: T. SKAFFER  
CHECKED BY: HINDGAN

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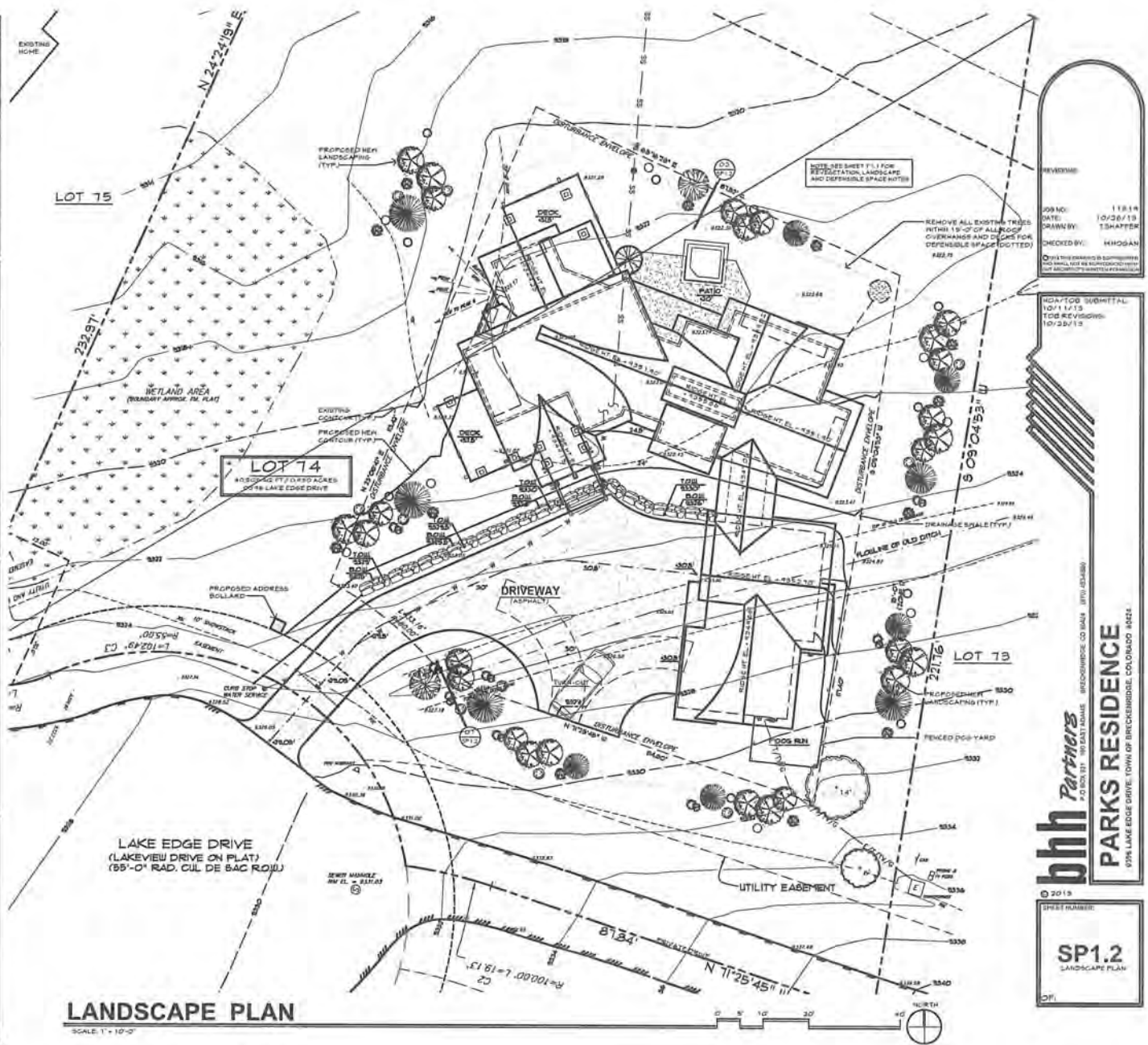
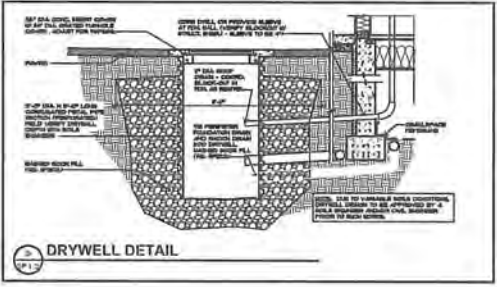
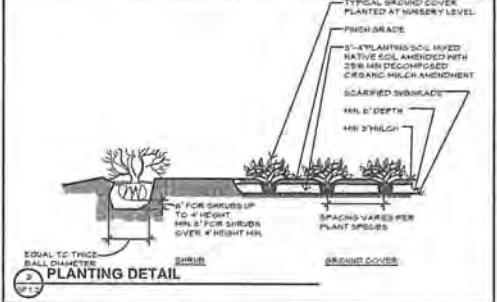
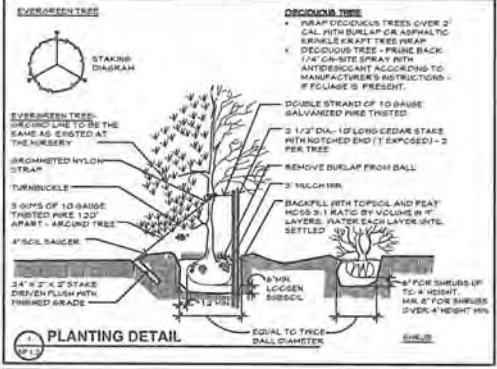
HCA/TGS SUBMITTAL: 10/11/13  
TCB REVISIONS: 10/26/13

**bhh Partners**  
700 E. 31st St., Suite 100, Broomfield, CO 80020  
303.440.0000

**PARKS RESIDENCE**  
0316 LAKE EDGE DRIVE, TOWN OF BRECKENRIDGE, COLORADO 80424

© 2013  
SHEET NUMBER:  
**SP1.1**  
SITE PLAN

PLANTING LIST					
KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
<b>DECIDUOUS TREES</b>					
1	ENDING	VARIES	--	SEE SITE PLAN	
<b>EVERGREEN TREES</b>					
2	VARIES	VARIES	--	SEE SITE PLAN	
<b>SHRUBS</b>					
3	COLONNADO SPICE	COLA. SPICE	10	10' TALL	
4	AMPHI	TRICH. SPICE	25	12' HIG. CAS. 10' H. WILD STW.	
5	POTENTIAL	POPULUS POLIFLORA	2	8'-10' TALL	
6	BUFFALO JAMPER	FRUITCOSEA	2	8' B&L	NEEDS 20' FALL, 4'-0" WIDE
7	SILVER	SARALIA	10	8' B&L	NEEDS 10' FALL, 4'-0" WIDE
8	BUFFALO BERRY	SHOPHORA ARBorea	15	8' B&L	GROWS TO 6'-10' TALL
9	FRINGE	COLEOSTER	10	8' B&L	GROWS TO 6'-10' TALL
10	ALMOND CURRANT	ALMOND CURRANT	2	8' B&L	GROWS TO 6'-10' TALL
11	NATIVE BROWN COVER AND PERENNIALS	FRONTIER BUSH	15	1' PLANT	GROWS TO 3'-4' TALL



REVISIONS:

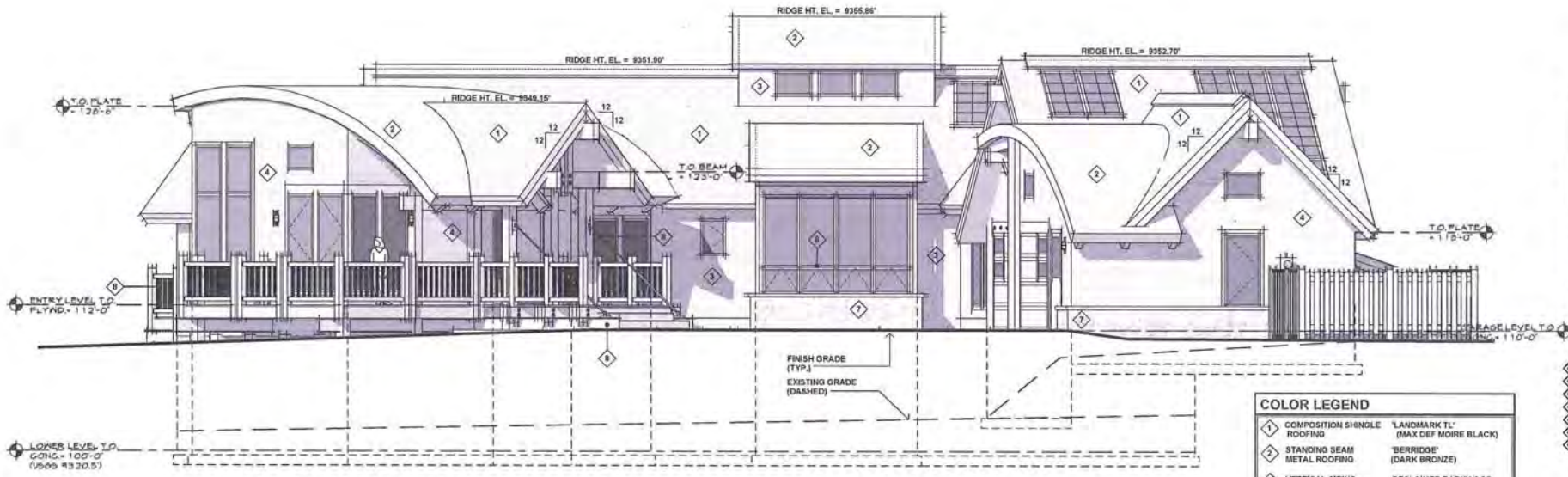
ISS NO: 11814  
 DATE: 10/28/18  
 DRAWN BY: TSHATTER  
 CHECKED BY: KHOGAN  
 DATE: 10/28/18

NO. 100 SUBMITAL  
 10/11/18  
 TO: REVISOR:  
 10/28/18

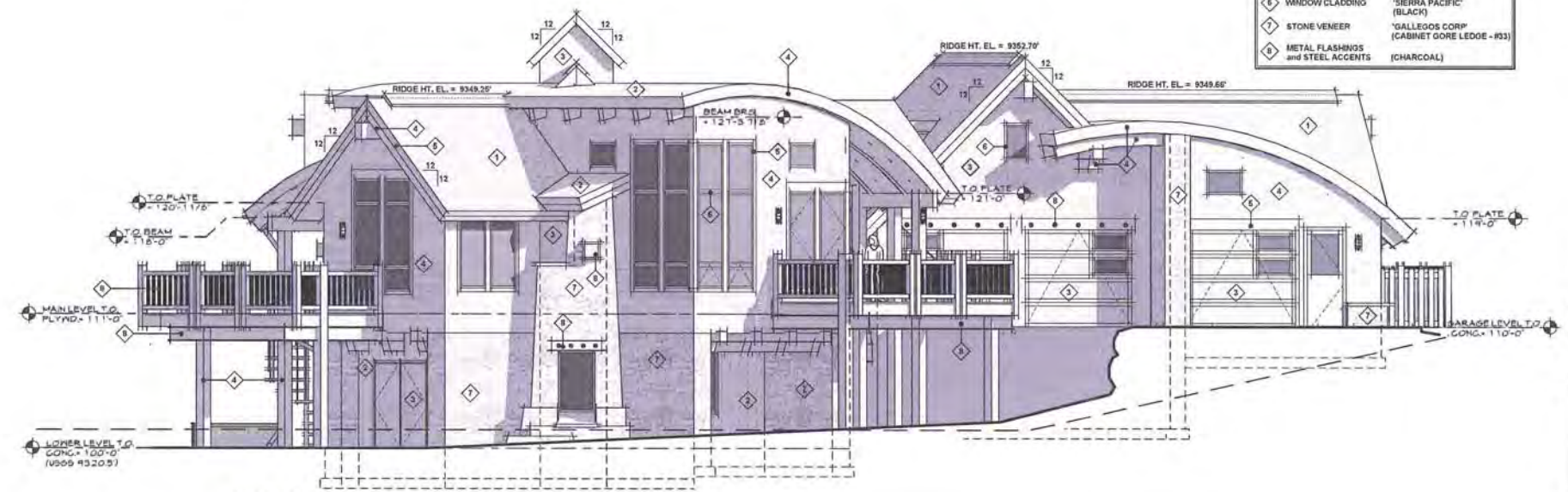
**bhh Partners**  
 70 BOX 317, 760 EAST MAIN, BRIDGEWIDE, CO 80401 (303) 453-8800

**PARKS RESIDENCE**  
 60% LAKE EDGE DRIVE, TOWN OF BRIDGEWIDE, COLORADO 80424

© 2018  
 SHEET NUMBER:  
**SP1.2**  
 LANDSCAPE PLAN



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**COLOR LEGEND**

1	COMPOSITION SHINGLE ROOFING	LANDMARK TL (MAX DEF MOIRE BLACK)
2	STANDING SEAM METAL ROOFING	'BERRIDGE' (DARK BRONZE)
3	VERTICAL SIDING -1X5	RECLAIMED BARNWOOD (BROWNS, GRAYS)
4	HORIZONTAL SIDING -RANDOM WIDTH and BEAMS/COLUMNS	'SHERMAN WILLIAMS' (BANYAN BROWN -SWJ522)
5	FASCIA and TRIM	'PENOFIN VERDE' (EBONY)
6	WINDOW CLADDING	'SIERRA PACIFIC' (BLACK)
7	STONE VENEER	'GALLEGOS CORP' (CABINET GORE LEDGE - #3)
8	METAL FLASHINGS and STEEL ACCENTS	(CHARCOAL)

**REVISIONS**

JOB NO.	11319
DATE	10/28/13
DRAWN BY	T. SHAFFER
CHECKED BY	M. MOGAN

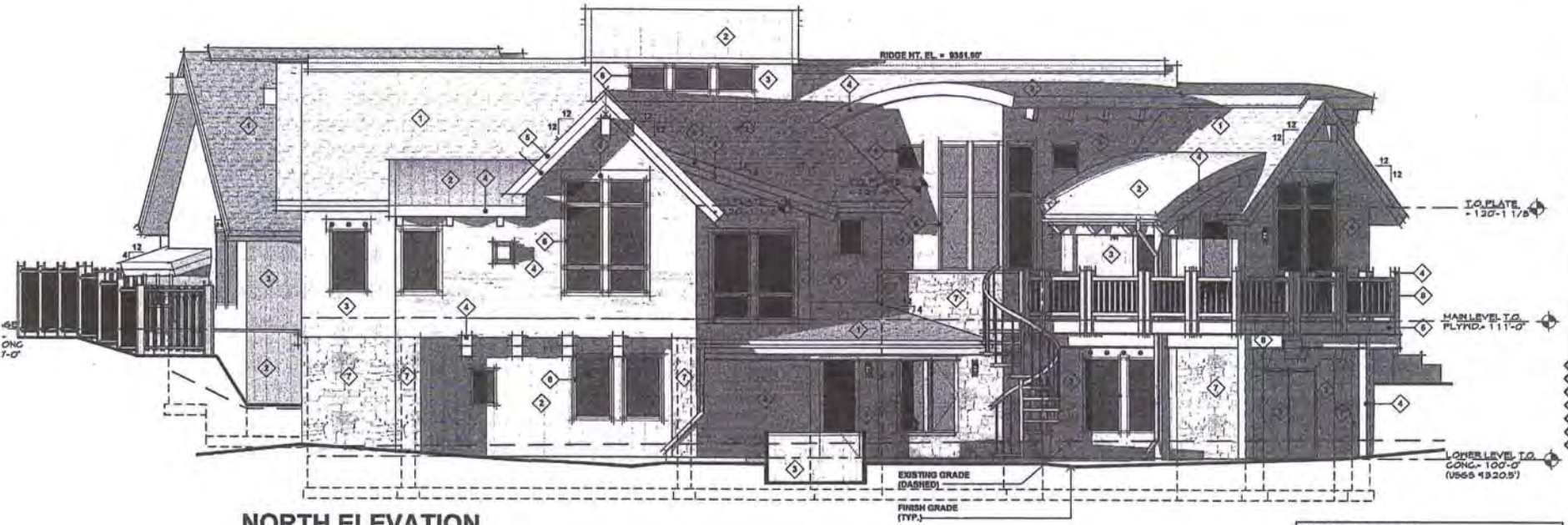
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PLANNING SUBMITTAL  
301113  
FOR REVISIONS  
10/29/13

**bhh Partners**  
P.O. BOX 911 - 140 CALSAVAS BRECKENRIDGE, CO 80424 (303) 854-8800

**PARKS RESIDENCE**  
6282 PEARLESS DRIVE, LOT 22, SHOCK HILL SUBDIVISION, BRECKENRIDGE, COLORADO 80424

**A2.1**  
BUILDING ELEVATIONS



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISIONS:

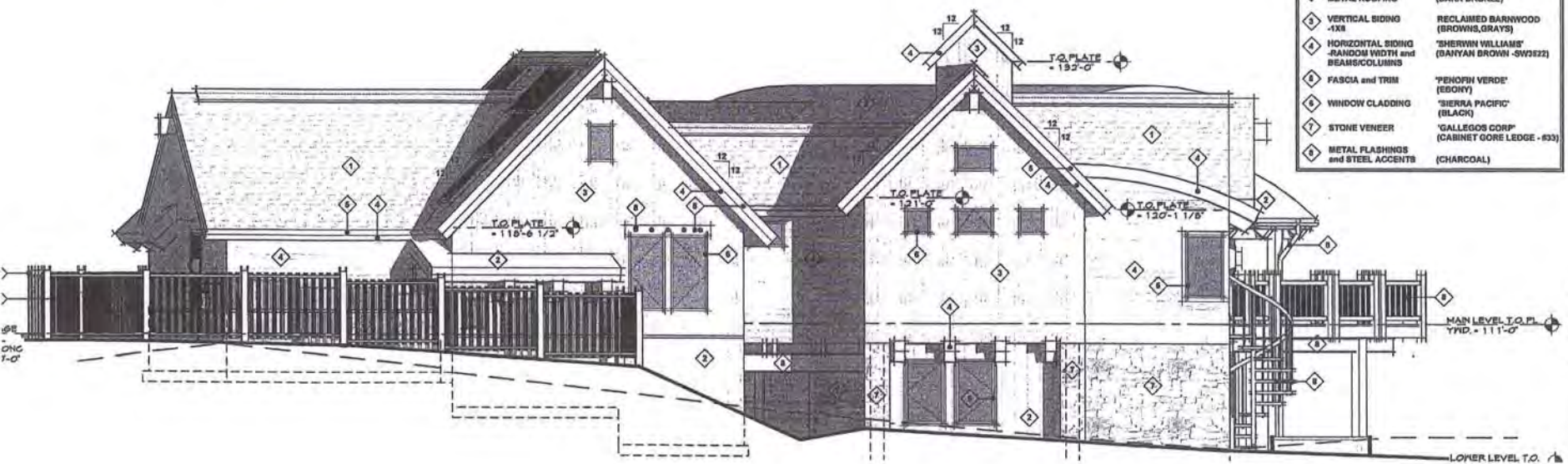
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DATE: 10/1/13  
DRAWN BY: T. SHAFER  
CHECKED BY: M. MOGAN

THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

PROGRESS SET: 100/113

EXISTING GRADE (DASHED)  
FINISH GRADE (TYP.)

LOWER LEVEL T.O. CONC. 100'-0" (US65 4320.5)



**COLOR LEGEND**

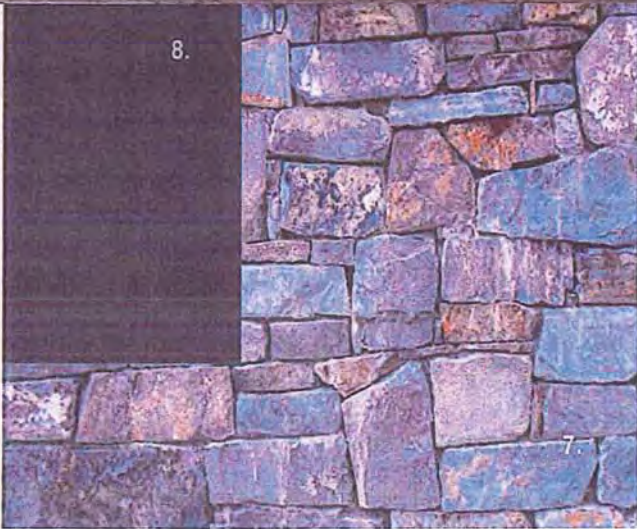
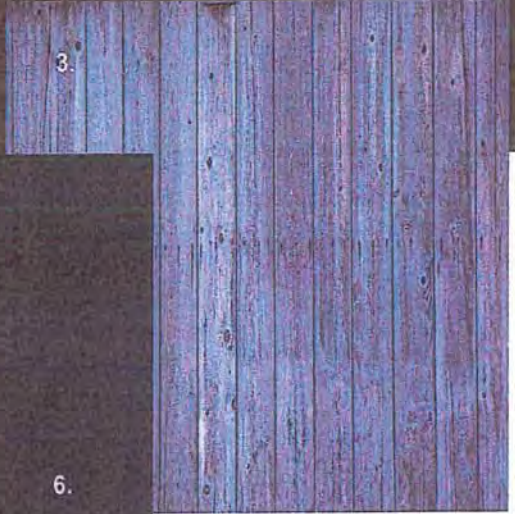
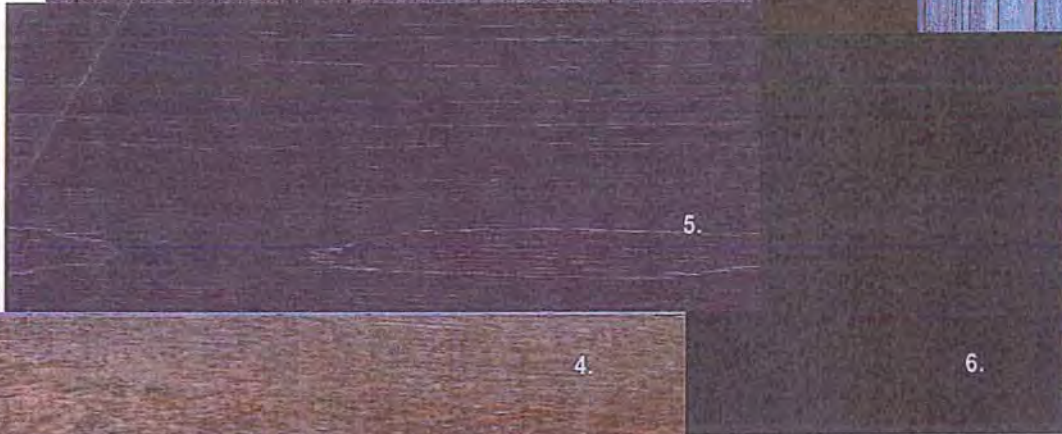
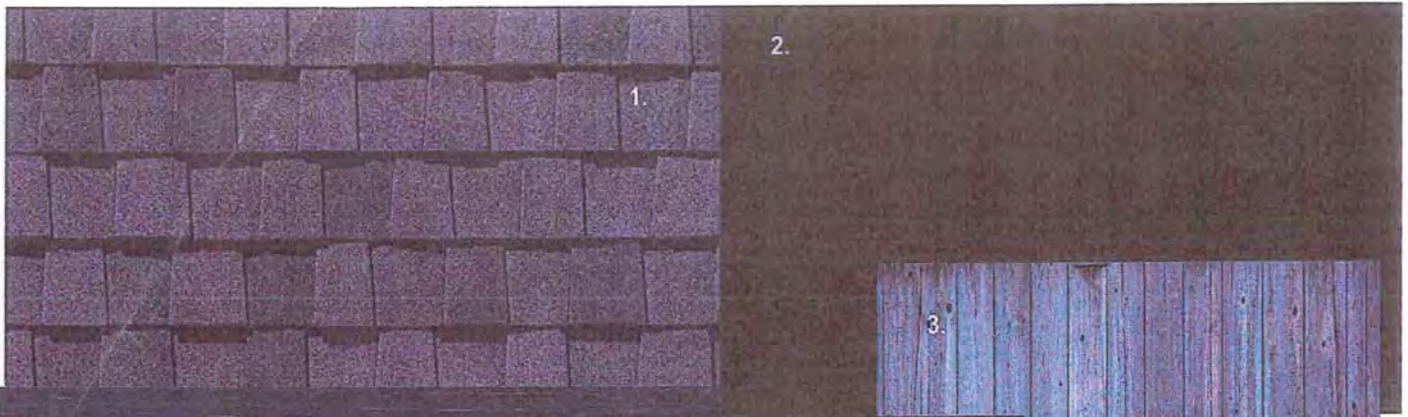
◊	COMPOSITION SHINGLE ROOFING	"LANDMARK TL" (MAX DEF MOIRE BLACK)
◊	STANDING SEAM METAL ROOFING	"BERRIDGE" (DARK BRONZE)
◊	VERTICAL SIDING -1X8	RECLAIMED BARNWOOD (BROWNS, GRAYS)
◊	HORIZONTAL SIDING -RANDOM WIDTH and BEAMS/COLUMNS	"SHERWIN WILLIAMS" (BANYAN BROWN -SW2822)
◊	FASCIA and TRIM	"PENORF VERDE" (EGONY)
◊	WINDOW CLADDING	"SIERRA PACIFIC" (BLACK)
◊	STONE VENEER	"GALLEGOS CORP" (CABINET GORE LEDGE - 833)
◊	METAL FLASHINGS and STEEL ACCENTS	(CHARCOAL)

**bhh Partners**  
P.O. BOX 181 185 EAST AURORA  
BREECHERIDGE, CO. 80014 (303) 453-8885

**PARKS RESIDENCE**  
8282 PEPPERLESS DRIVE, LOT 22, BRICK HILL SUBDIVISION, BREECHERIDGE, COLORADO 80424

**A2.2**  
BUILDING ELEVATIONS

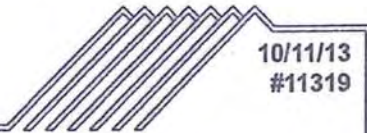




- |   |  |
|---|--|
| <p>1. COMP. ROOFING</p> <p>2. STANDING SEAM METAL ROOFING</p> <p>3. VERTICAL SIDING 1X6</p> <p>4. HORIZONTAL SIDING RANDOM WIDTH T&amp;G and BEAMS/COLUMNS</p> <p>5. FASCIA and TRIM</p> <p>6. WINDOW CLADDING</p> <p>7. STONE VENEER BASE</p> <p>8. STEEL BEAMS, HEADERS, BOLTS, BALLUSTERS, FLASHING and CABLES</p> | <p>- CERTAINTED LANDMARK TL (MAX DEF MOIRE BLACK)</p> <p>- BERRIDGE (DARK BRONZE)</p> <p>- RECLAIMED BARNWOOD (BROWNS, GRAYS')</p> <p>- SHERWIN WILLIAMS (BANYAN BROWN SW3522)</p> <p>- PENOFIN VERDE (EBONY)</p> <p>- SIERRA PACIFIC (BLACK)</p> <p>- GALLEGO'S CORP. (CABINET GORE LEDGE #33)</p> <p>- SHERWIN WILLIAMS (CHARCOAL)</p> |
|---|--|

**bhh** Partners

P.O. BOX 931, 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880  
 P.O. BOX 2113, 560 ADAMS AVENUE SILVERTHORNE, CO 80498 (970) 513-1000



**PARKS RESIDENCE**



**Class C Development Review Check List**

**Proposal:** Addition and remodel of Lot 3, Sunrise Point. Changes include finishing 953 sf of basement, and enclosing an existing breezeway and deck.

**Project Name/PC#:** Lot 3, Sunrise Point  
Addition PC#2013100

**Project Manager:** Chris Kulick, AICP

**Date of Report:** October 25, 2013 For the November 5, 2013 Planning Commission Meeting

**Applicant/Owner:** Through the Woods, LLC

**Agent:** Joe Curiazza

**Proposed Use:** Single-Family Residential Addition

**Address:** 15 Sunrise Point

**Legal Description:** Lot 3, Sunrise Point

**Site Area:** 15,682 sq. ft. 0.36 acres

**Land Use District (2A/2R):** 30.1: Residential

**Existing Site Conditions:** Presently a 4,920 SF single-family home is situated on Lot 3. The applicants are proposing to add an additional 1,096 SF of living space to the existing residence by finishing a basement, and enclosing an existing deck and breezeway. The lot slopes downhill from northwest to southeast at an average of 24%.

**Density (3A/3R):** Allowed: Unlimited Proposed New: 6,016 (1,096 sq. ft. new)

**Mass (4A):** 1:2 or 6,500 sq. ft. Proposed New: 6,016 (1,096 sq. ft. new)

**F.A.R.:** 1:2.61 F.A.R.

**Areas:**

**Lower Level Addition:** 953 sq. ft.

**Mid Level Addition:** 79 sq. ft.

**Main Level Addition:** 64 sq. ft.

**Accessory Apartment:**

**Total:** 1,096 sq. ft.

**Bedrooms:** 4 Total- no change

**Bathrooms:** 5 Total-no change

**Height (6A/6R):** No Change to existing height of structure

**Lot Coverage/Open Space (21R):** No change to building footprint. The proposed additions fill in an existing breezeway (79 sf), a portion of an existing deck (64 sf) and finish an existing crawl space (953 sf).

**Parking (18A/18/R):** No Change  
Required: 2 spaces  
Proposed: 4 spaces

**Fireplaces (30A/30R):** No new fireplaces

**Accessory Apartment:** None

**Setbacks (9A/9R):** No change to existing building footprint.

Front: 5 ft. (Garage) No setback required for garages.  
Side: 7.5 ft. 7.5 ft. Required  
Side: 7.5 ft. 7.5 ft. Required  
Rear: 84 ft. 75 ft. Required

**Architectural Compatibility (5/A & 5/R):** The residence will be compatible with the land use district and surrounding residences.

**Exterior Materials:** Proposed exterior materials for the addition will match materials from existing residence. Stucco and Rock Wainscoting.

**Roof:** No changes to roof structure or materials. Two new flush mounted skylights on the south facing roof.

**Landscaping (22A/22R):** No new landscaping is proposed with this application.

**Defensible Space:** No change

**Drainage (27A/27R):** No change

**Driveway Slope:** No change

**Point Analysis (Sec. 9-1-17-3):** Staff conducted an informal point analysis of this residence and found no reason to warrant positive or negative points.

**Staff Action:** Staff has approved the Lot 3 Sunrise Point Addition, PC#2013100, located at 15 Sunrise Point Drive, Lot 3, Sunrise Point Subdivision, with the standard findings and conditions.

**TOWN OF BRECKENRIDGE**

**Lot 3, Sunrise Point Addition  
Lot 3, Sunrise Point  
15 Sunrise Point Drive  
PC#2013100**

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

**FINDINGS**

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 25, 2013**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013**, as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are recorded.

**CONDITIONS**

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **May 12, 2015** unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Applicant shall field locate utility service lines to avoid existing trees.
7. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.

### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

8. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
9. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
10. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
11. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
12. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
13. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
- 14. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
15. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

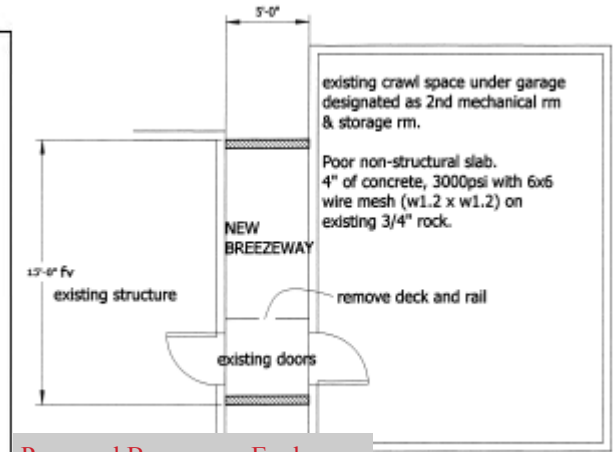
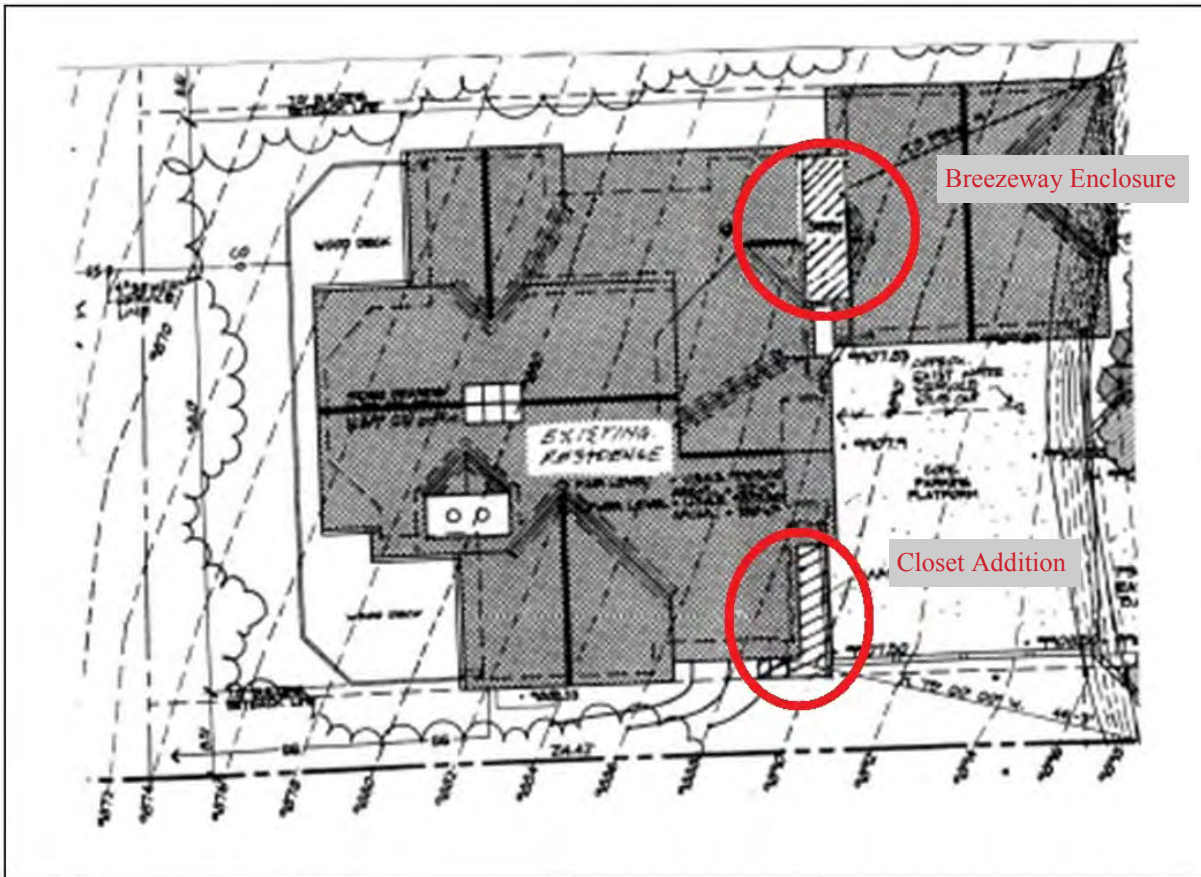
### **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

16. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
17. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
18. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
19. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping for all existing trees.
20. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
21. Applicant shall screen all utilities.

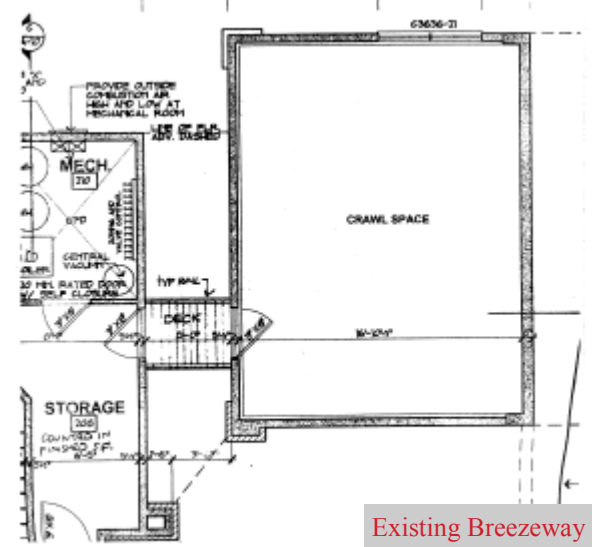
22. **All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
23. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
24. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
25. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
26. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
27. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)



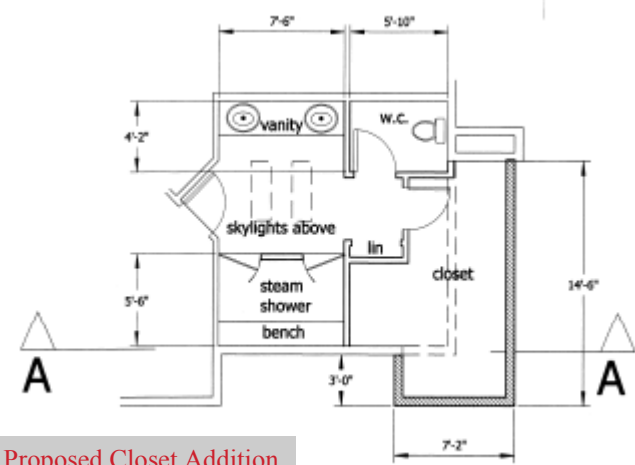
Proposed Breezeway Enclosure



Existing Breezeway

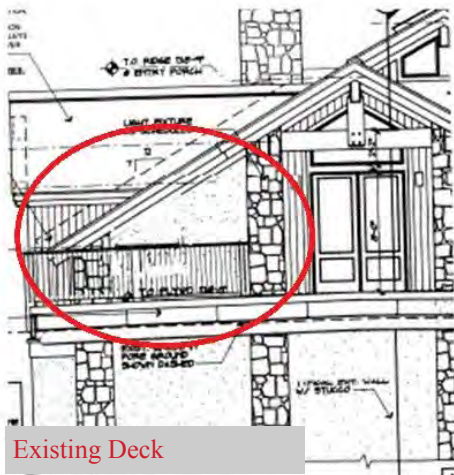
**AREA CALCULATIONS**

	existing	new	total
lower	613 sf	953 sf	1566 sf
mid	1647 sf	79 sf	1726 sf
main	2660	64 sf	2724 sf
total	4920 sf	1107 sf	6016 sf

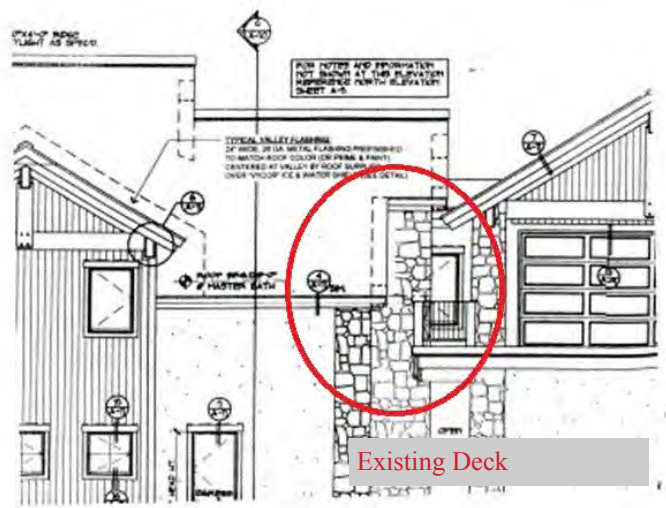


Proposed Closet Addition

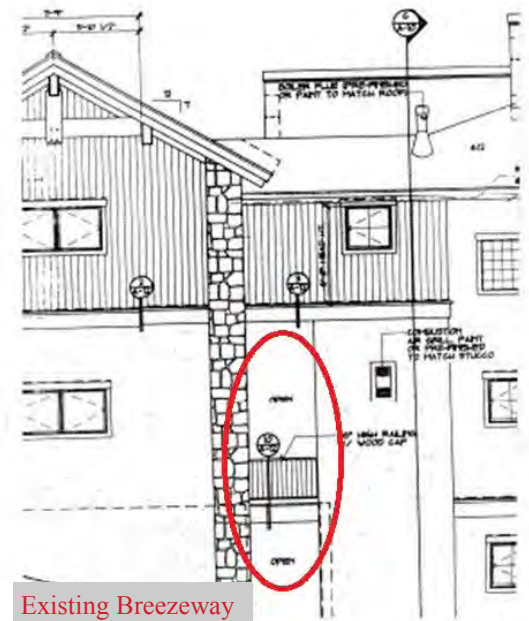
**Lot 3, Sunrise Point Addition  
15 Sunrise Point Drive  
PC# 2013100**



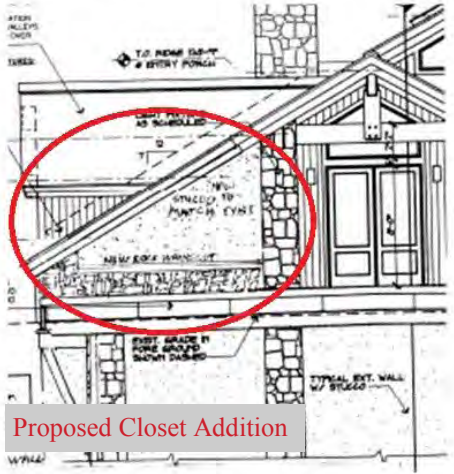
Existing Deck



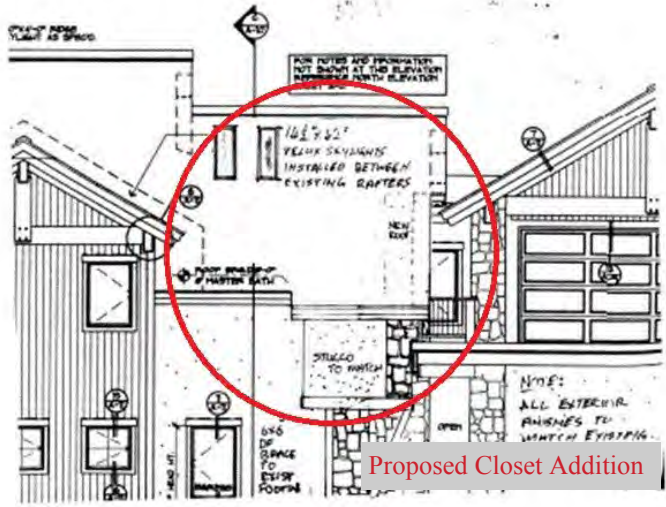
Existing Deck



Existing Breezeway



Proposed Closet Addition



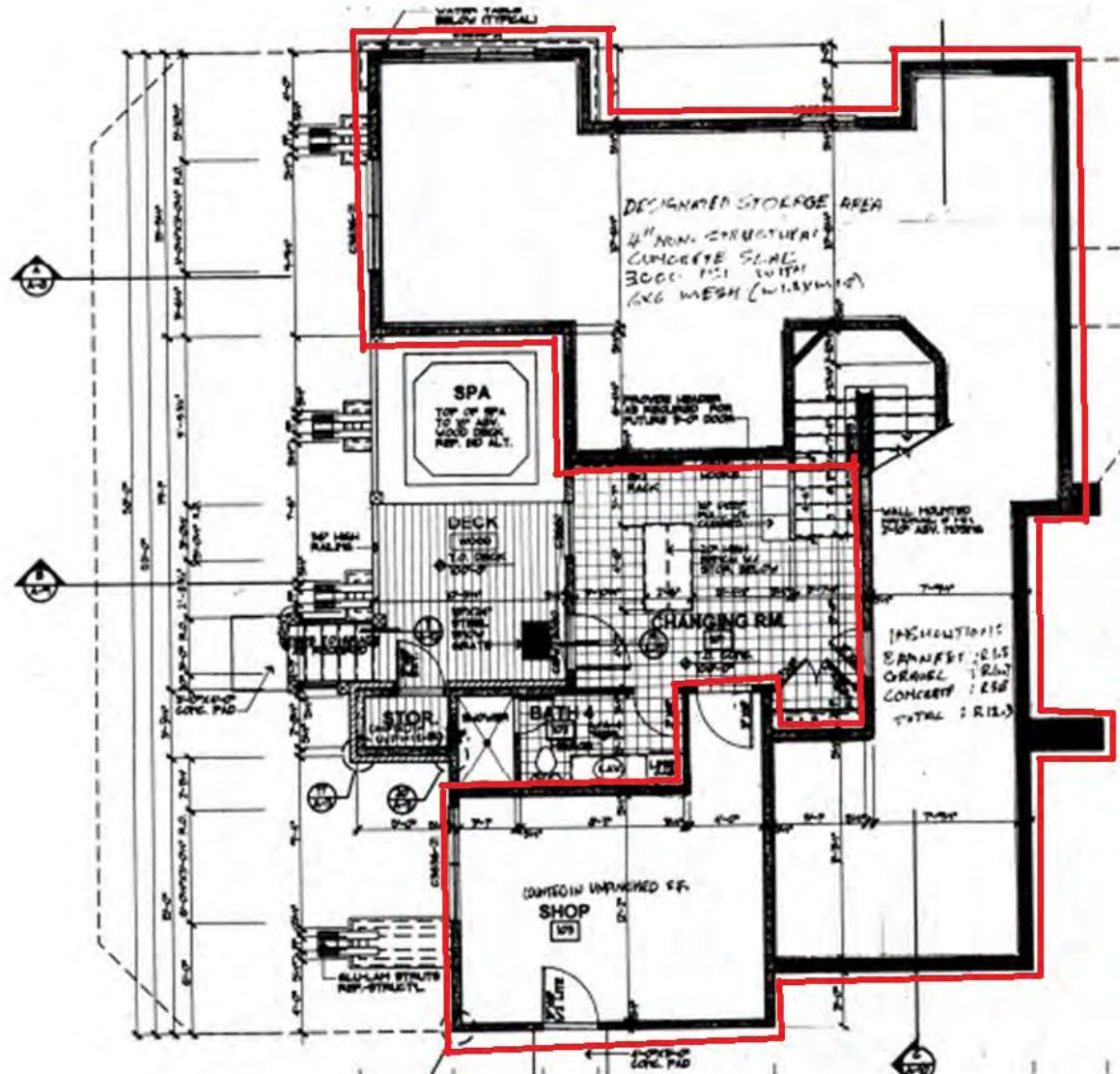
Proposed Closet Addition



Proposed Breezeway Enclosure

Lot 3, Sunrise Point Addition  
 15 Sunrise Point Drive  
 PC# 2013100





Lot 3, Sunrise Point Addition  
 15 Sunrise Point Drive  
 PC# 2013100

Proposed Basement Finish



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## MEMORANDUM

**TO: Planning Commission**

**FROM: Julia Puester, AICP, Senior Planner**

**DATE: October 31, 2013 for meeting of November 5, 2013**

**SUBJECT: Top Three List Items Worksession**

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The purpose of this memo is to prepare and allow the Commission to discuss these items in more detail prior to the Joint Planning Commission/Town Council meeting on November 12. These items include the top three items from the Top Ten list, Town Project Process, and general Top Ten list (see list attached).

The three top items from the Planning Commission's Top Ten list for 2013 are:

1. Condo-Hotels
2. Airlock Entries density exemption
3. Attainable housing positive points for annexed properties

### **Condo-Hotels**

The Planning Commission Retreat held October 25 included condo-hotel site visits to review the issues between small and large condo-hotels.

Condo-hotel definition:

*Condominium/Hotel: A multi-unit structure in which units may be individually owned and which provides on the site of the development a centralized management structure incorporating the following features: a) a twenty four (24) hour front desk check in operation, b) a central phone system to individual rental units, c) meeting rooms or recreation and leisure amenities, and d) food services.*

- Should there be a different definition for large versus small condo-hotels? (eg. 24 hour front desk, centralized phone system, food services functional in a small condo-hotel?)
- Should there be a different definition and/or density multiplier for timeshares?

Policy 24 (Absolute) Social Community:

A. *Meeting And Conference Rooms: All condominium/hotels, hotels, lodges, and inns shall provide meeting areas or recreation and leisure amenities, at a ratio of one square foot of meeting or recreation and leisure amenity area for every thirty five (35) square feet of gross dwelling area.*

*Policy 24 (Relative) Social Community:*

*3x(0/+2) Meeting And Conference Rooms Or Recreation And Leisure Amenities: The provision of meeting and conference facilities or recreation and leisure amenities, over and above that required in subsection A of this section is strongly encouraged. (These facilities, when provided over and above that required in subsection A of this section, shall not be assessed against the density and mass of a project when the facilities are legally guaranteed to remain as meeting and conference facilities or recreation and leisure amenities, and they do not equal more than 200 percent of the area required under subsection A of this section.)*

- What is the purpose of the 25% amenity bonus? If the purpose is to provide for “hot beds”, is that being achieved by the small condo-hotels? Is the amenity bonus still relevant for the small condo-hotel?
- Do we want to require the amenities at a 1:35 ratio on smaller condo-hotels?
- Would the Commission be amenable to allowing older vacated amenity space, which clearly cannot be used for its intended purpose, to be converted to certain other uses (e.g., deed-restricted employee housing)?

### **Airlock Entries**

Airlock entries are beneficial for energy conservation and patrons in our cold climate.

- Should a density allowance be given for airlocks added to existing structures outside and/or within the Conservation District?
- In the Conservation District under what circumstances should airlock density bonuses be allowed?
- Some potential issues with the placement or appearance of airlock entries for discussion: Historic design character, Architectural compatibility, Size, and Types of structures.

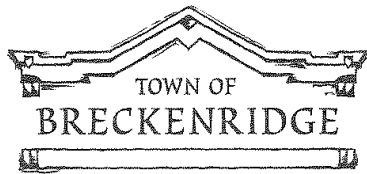
### **Attainable Housing Points for Annexed Properties**

Both the Council and the Planning Commission have expressed interest in discussing the process to clarify the roles and responsibilities of the Planning Commission and the Town Council, and to clarify and understand concerns with point allocation for attainable housing projects on annexed properties. A memo from Laurie Best, Long Range Planner, is attached which provides some background on the Town's housing policies and outlines issues to be discussed.

### **Town Project Process**

The Town Project Process is not a Top Ten list item. However, Staff has included this as a topic to discuss with the Council November 12 as there were concerns raised by the Commission during the Pence Miller Village review on October 15.

The goal of this worksession is to prepare these topics for discussion with the Town Council. Are there any other issues or concerns that the Planning Commission feels need to be discussed or vetted prior to the joint meeting?



## MEMORANDUM

**TO: Planning Commission**

**FROM: Laurie Best-Community Development Department**

**DATE: October 24, 2013 for meeting of November 5, 2013**

**SUBJECT: Housing/Annexation Policies Worksession**

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The purpose of this memo is to provide the Planning Commission with background information regarding affordable housing policies and procedures, and to solicit input from the Commission regarding points under Policy 24R with regard to annexed properties. This memo and Planning Commission worksession are intended to help prepare for the upcoming joint meeting with Town Council.

### Strategies

The policies that have been adopted by the Town to guide development of affordable housing are outlined in the Affordable Housing Strategy. The Strategy was adopted in May of 2000 and the key recommendations were:

- Land Banking
- Employer Programs
- Down Payment Assistance and Mortgage Assistance
- Dedicated Housing Fund
- Density Waivers
- Annexation Policies
- Buy Downs
- Preservation and Replacement in Redevelopment Activities

With the exception of a preservation/replacement program, which has not been implemented, the Town has used all of the strategies to significantly add affordable units in the community. When the Strategy was adopted in 2000 there were about 220 affordable housing units in the Upper Blue Basin, but most had very loose, if any, occupancy standards and no assurance of long term affordability. Today there are approximately 868 units built or under construction in the Upper Blue Basin and several sites have been acquired for additional units. Since 2000 only 11 units dispersed throughout the community have been added as a direct result of Town exactions in the development review process (Policy 24R). The majority of the units have been developed as a result of annexation policies

(Wellington Neighborhood, Vista Point, Gibson Heights, Vic's Landing), out of Town water service policies (Monarch Townhomes, Farmers Grove), and Town projects (Pinewood Village Apartments, Valley Brook Neighborhood). Each project is negotiated based on a variety of issues that impact the cost of the project and the financial feasibility of the project. Even with incentives that include fee waivers, land donations, and density, the gap per deed restricted unit, which is the difference in the cost to build and the revenue, is estimated in the \$40,000-\$50,000 range, and up to \$75,000 for lower income households (80%). The Town's annexation policies have been very effective because they enable a developer to offset the cost of the affordable units with the proceeds from market units. The annexation policy suggests an 80/20 split of deed restricted to market units, but the Council has been flexible, particularly if a project includes lower price points for lower income households. The most recent examples include Vic's Landing with a 65/35 split and Maggie Placer with a 50/50 split.

### Needs Assessment

Despite these accomplishments, the recently completed Housing Needs Assessment forecasts that over the next 5 years the need for additional housing will be greater in the Upper Blue Basin than in any other Summit County basin. The projected 5-year Countywide need is between 1,035 and 1,785 additional units, of which 375 to 650 will be needed in the Upper Blue. Note that the range is due to different job growth projections with the higher estimate based on the State Demographers estimate of job growth and the lower estimate based on much slower job growth. In either case, it is important to note that contrary to previous needs assessments, the bulk of the future need will not be based on new jobs. Instead, over the next 5 years the demand will be driven more by retiring workers who sell their market unit and by an increase in out of Town buyers, seasonal residents, and seniors. Only a relatively small percent of the demand is expected to be associated with new jobs. Approximately 45% of the future need is ownership units priced below 120% AMI and 65% of the future need is rental units affordable at 80% and below. A chart is included in your packets to show existing inventory and anticipated projects that may help close some of the gap.

### Policy 24R

Both the Council and the Planning Commission have expressed interest in discussing how Policy 24R should be applied to future affordable housing projects. In the past annexations and Town projects have been eligible for points pursuant to Policy 24R, but some concerns have been raised about compromised design so Staff has included this topic on the upcoming joint worksession. We look forward to your feedback regarding:

- Should any positive points under Policy 24R be available in cases of annexations where the Town Council is requiring the affordable housing, as a public benefit, in return for annexation?
- If positive points are allowed under Policy 24R should the maximum of 10 points be allowed only for projects that address the 100% AMI at an 80/20 split with a sliding scale for lower AMI or a different ratio? (ie Maggie Placer)

The goal of the Town is to provide reasonable incentives (and/or subsidies) to achieve financially feasible projects that meet the Town's expectations for quality, affordability, amenities, energy efficiency, and marketability. Each project and each negotiation is unique as costs and needs change over time. The following chart illustrates how positive points have been important to the projects. Note that the chart does not show all of the positive and negative points assigned to each project, but gives an overview of the Policy 24R points and

the most significant negative points assigned to each project.

<b>Project</b>	<b>24 R points</b>	<b>Ratio</b>	<b>AMI</b>	<b>Negative Points</b>	<b>Final</b>
<u>Wellington 2</u>	<u>+10</u>	<u>80/20</u>	<u>Average 100%</u>	<u>-9-Setbacks</u>	<u>+4</u>
<u>Vic's Landing</u>	<u>+10</u>	<u>65/35</u>	<u>Average 85%</u>	<u>-4 Buffers</u>	<u>+10</u>
<u>Stan Miller</u>	<u>+10</u>	<u>65/35</u>	<u>Average 117%</u>	<u>-9 Setbacks</u>	<u>+5</u>
<u>Maggie Placer</u>	<u>+6</u>	<u>50/50</u>	<u>Average 95%</u>	<u>-4 Buffers</u>	<u>+4</u>
<u>Valley Brook</u>	<u>+10</u>	<u>100%</u>	<u>Average 89%</u>	<u>-12 Material, Grading, Wall</u>	<u>+9</u>

- In cases of annexations, should the 80/20 split be applied to the square footage of deed restricted and market units as well as the unit count?

To date the annexations have been reviewed based on the unit count, but staff does support a change to the policies under which the 80/20 split would be applied to the square footage as well.

The goal of this worksession is to prepare for the discussion with the Town Council and we look forward to your input on these issues.

Property	Avg AMI	pre-1999	2000 Units	2001 Units	2002 Units	2003 Units	2004 Units	2005 Units	2006 Units	2007 Units	2008 Units	2009 Units	2010 Units	2011 Units	2012 Units	2013 Units	Total Existing Units	Future Units	Total Units
Dispersed in Upper Blue	None	99	2	6		1	1					1				-2	108		108
Buy downs sold											1				1		2		2
Wellington 1	99%		14	20	17	15	17	8	7								98		98
Wellington 2	110%								11	18	14	5	4	7	3	5	67	61	128
Gibson Heights	71%			1	34	5											40		40
Vista Point	113%				8	5	5										18		18
Kenington Place	None	36															36		36
Farmers Grove	None				2	4	7	2									15		15
Monarch Townhomes	90%		3	4		1	4	1									13		13
Breck Terrace	90%		20		11	5			15		4		46				101	79	180
Pinewood Village	83%			74													74		74
Vic Landing	86%										16	6	2				24		24
Valley Brook	80%-105%													32	9		41		41
Annual New DR Units			39	105	72	36	34	11	33	18	35	12	52	39	13	3			
Annual New DR w/o Breck Terrace			19	105	61	31	34	11	18	18	31	12	6	39	13	3			
Dispersed Units in unincorporated Summit County															92		92		91
<b>TOTAL DR UNITS</b>		135	174	279	351	387	421	432	465	483	518	530	582	621	726	729	729	140	868

note:includes all 180 Breck Terrace Units

	Additional Demand thru 2018	375-650*
Maggie Placer	80-100%	9
Stan Miller	117%	100
Pence Miller	TBD	81
Block 11	TBD	180-350
City Market Redev.?	TBD	10
<b>TOTAL UNITS (existing inventory and 375-650 additional units)</b>		<b>1243-1518**</b>

\*2013 Needs Assessment Demand is 375-650 (45% ownership/65% rental)

with currently planned/anticipated developments the Town may be up to 200 units short of meeting all of the projected demand

\*\*deed restricted units at buildout previously estimated at 1651



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## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Julia Puester, AICP, Senior Planner  
**DATE:** October 31, 2013 for meeting of November 5, 2013  
**SUBJECT:** Top Ten List

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The following list is the Planning Commission's Top Ten Priority list that Staff will include in the packet for the upcoming joint worksession with Town Council on November 12.

This is the Top Ten list the Planning Commission approved on September 17. The changes made since that meeting are the deletion of Water PIFS for Snack Bar/Delis and the addition of points for Public Art.

### Top Ten Priorities

The Planning Commission and Staff recommend the following priority items for the Top Ten list (in no particular order):

1. Planning Classification Class A-D modifications
2. Condo Hotels Update (Amenity Bonus, Check-In Desks, Shuttles)
3. Mass Policy: Airlock Entries and other mass consuming energy conservation features
4. Employee housing annexation positive point allocations
5. Transition Standards Near Carter Park
6. Wildlife Policy
7. Public Art (off site improvements)
8. Wireless Communication Towers/Antennas
9. Parking: Residential parking in garages (positive points)
10. Water conservation practices
11. Temporary Structures



## Planning Commission Staff Report

**Subject:** Peak Ten Bluffs Master Plan  
(Class A, Final Hearing; PC#2013066)

**Proposal:** To master plan the property previously known as Angel's Lookout for the development of eight cluster single-family homes on eight individual lots. Two existing private driveways will access the properties. A Development Permit application for a subdivision is being reviewed separately.

**Date:** October 21, 2013 (For meeting of November 5, 2013)

**Project Manager:** Michael Mosher, Planner III

**Applicant/Owner:** Breck Limited, LLC

**Agent:** Lou Glisan, Breck Ltd., LLC

**Address:** Silver Queen Drive

**Legal Description:** Peak Ten Bluffs Subdivision, a resubdivision of Lots 57A and 57B, Warriors Mark Townhomes, Filing 5

**Land Use District:** 30.6 – Residential; Warriors Mark Townhouse #5 Lots 57A and 57B: 8 units

**Site Area:** 3.283 acres (142,987 sq. ft.)

**Site Conditions:** The property slopes down sharply from Silver Queen Drive at about 40 to 45%. A 5-foot wide utility easement exists at the base of the lot. There are two private drives constructed with large retaining walls accessing the property off Silver Queen Drive. These drives lay within a platted Private Access and Utility Easement. The large area of heavily wooded wetlands lies to the northeast and a 20-foot wide utility easement bisects the property from White Cloud Drive to the south. The property is heavily wooded with Lodgepole pines. The wetlands area has healthy spruce trees.

**Adjacent Uses:** North: Multi family residential, White Cloud Drive  
East: Multi family residential  
South: Gold King Placer, Summit County  
West: Silver Queen Drive, Warriors Mark West

**Density:** Allowed per subdivision: 8 units in duplex  
Proposed density: 8 units in cluster single-family

**Height:** Recommended: 35-feet (overall)  
Proposed: 35-feet (overall)

**Lot Coverage:** Open Space / Permeable Area: Approximately 42% of the site

<b>Parking:</b>	Required:	16 spaces
	Proposed:	20 spaces
<b>Snowstack:</b>		
	Lower Road	
	Required:	1,902 sq. ft. (25%)
	Proposed:	1,962 sq. ft. (25%)
Upper Road	Required:	2,692 sq. ft. (25%)
	Proposed:	2,702 sq. ft. (25.1%)
<b>Setbacks:</b>	Allowed:	
	Front:	15 ft.
	Sides:	5 ft.
	Rear:	15 ft.
	Proposed:	
	Front:	15 ft.
	Sides:	5 ft.
	Rear:	15 ft.

### **Item History**

The Board of County Commissioners approved Angels Lookout Subdivision (within Warriors Mark Subdivision) on December 5, 2002. This approved subdivision created four duplex lots, each with a building envelope, with a total of eight units of density. The project was never completed although some infrastructure was installed. Since the approval of the subdivision, the Town of Breckenridge annexed all of the Warriors Mark subdivisions and is now responsible for the review of any development within Angels Lookout.

The Planning Commission held a preliminary hearing on the Peak Ten Bluffs Master Plan September 17, 2013 and was generally supportive of the plan as presented. The Commission did express concerns at that meeting about some of the architectural details associated with each unit. There was overall support of changing the master plan from duplexes to cluster single-family homes. Staff did point out that review of the architecture for each individual building would happen during the Class C Development review process.

### **Staff Comments**

Those Development Code policies that were reviewed at the last hearing and had no concerns from the Planning Commission will not be discussed in this report. These include:

1. Land Use (Policies 2/A & 2/R)
2. Density/Intensity (3/A & 3/R)/Mass (4/R)
3. Architectural Compatibility (5/A & 5/R)
4. Building Height (6/A & 6/R)
5. Placement Of Structures (9/A & 9/R)
6. Access / Circulation (16/A & 16/R; 17/A & 17/R)
7. Parking (18/A & 18/R)

**Site and Environmental Design (7/R):** Since the last review, the applicant has been working closely with Planning and Engineering staff. The detail and design of all the retaining walls (detailed on the subdivision application) will meet all applicable codes. None of the improvements on this property are being placed on areas that have been benched or show extensive cut and fill. Staff has no concerns.

**Ridgeline and Hillside Development (8/A):** Per this policy:

*Development on a ridgeline or a hillside is prohibited, except when all of the following findings are made by the planning commission:*

- (1) There are no site development alternatives which avoid ridgeline or hillside development; and*
- (2) The proposed development will not have significant adverse impacts because the application includes all reasonable steps necessary to minimize the visual impacts of the development as viewed from an area of concern.*

Since the last review, the overall landscaping plan has been revised to meet required wildfire mitigation per Policy 22 (Absolute). The new plan is defining the defensible space surrounding the development at 15 feet and 30 feet. Subsequently, the landscaping immediately adjacent to any of the structures will be “fire wise” species as required. Deciduous trees may be within the 15-30 foot range while conifers are at the 30-foot and beyond range. The balance of the landscaping consists of the existing mature trees and the newly planted landscaping below the development.

**Landscaping (22/A & 22/R):** The Master Landscape Plan plant list is showing a total of 153 deciduous trees, 38 evergreen trees, a variety of deciduous shrubs, evergreen shrubs, and a variety of perennials. All of the existing landscaping outside the development footprints and the placement of utility lines are to be preserved. Staff notes that the placement of the individual water lines and sewer lines for each unit fall along the 30 foot defensible space boundary. The Subdivision Declarations will have the Peak Ten Bluff’s HOA maintaining all landscaping in common areas.

**Exterior Lighting (Chapter 12, Breckenridge Development Code):** *All exterior lighting shall be designed to minimize off site visibility and glare.* All lighting criteria described in this policy will be adhered to in the design of each home as they are reviewed with the Planning Commission as Class C applications

**Snow Removal And Storage (13/R):** As depicted on the landscaping plan, snow storage is adequate for the overall development. However, staff will have closer review as each individual home comes in for review under a Class C Development review process. There will be the ability to adjust the location of landscaping and snow storage with these reviews. Staff has no concerns.

**Utilities Infrastructure (26/A & 26/R; 28/A):** The Engineering Department has reviewed the utility plans and has no concerns. As noted above, all utilities are to be placed in areas that have been previously disturbed or lie along the 30-foot defensible space zone. There should be no existing trees removed in areas outside the defensible space zone.

**Point Analysis (Section: 9-1-17-3):** At this final review, Staff is finding the application passes all Absolute Policies and has not incurred any points related to Relative Policies.

### **Staff Recommendation / Decision**

The applicant has listened to the Commission's concerns and worked closely with Town staff to present a well thought out Master Plan. We have no concerns and welcome any Commissioner comments.

Staff is recommending the Planning Commission approve the final Point Analysis for the Peak Ten Bluffs Master Plan PC#2013066.

Staff also recommends the Planning Commission approve the Peak Ten Bluffs Master Plan PC#2013066 along with the attached Findings and Conditions.

<b>Final Hearing Impact Analysis</b>				
Project:	Peak Ten Bluffs Master Plan	<b>Positive</b>	<b>Points</b>	<b>0</b>
PC#:	2013066			
Date:	10/21/2013	<b>Negative</b>	<b>Points</b>	<b>0</b>
Staff:	Michael Mosher, Planner III			
		<b>Total</b>	<b>Allocation:</b>	<b>0</b>
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)	0	Conforms to suggested uses in Land Use District 30.6
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)	0	8 units of density of cluster single-family use unlimited square feet per SFE
4/R	Mass	5x (-2>-20)		
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies	0	All buildings shall be no taller than 35 feet
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)	0	All development integrated into the steep slope. Reforms step with the slope, retaining walls step and allow landscaping in between, and none of the sites are benched.
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)	0	Existing trees are to be preserved to greatest extent possible and new landscaping will abide with Absolute Policy 22 fire mitigation.
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)	0	Concrete block retaining walls are colored to blend with the background all other retaining walls are natural stone.
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)	0	Access and circulation to the property and each individual home are to be taken from the uphill side of the site preserving the buffer below.
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)	0	All site improvements are outside the wetlands boundary and 25 foot setback.
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)	0	Adequate and functional snow storage shown on plan.
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		

13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)	0	25% of paved areas shown for snow storage.
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	<b>Internal Circulation</b>	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)	0	All residential parking is within garages. Extra parking shown along private drive.
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)	0	The Master Landscape Plan plant list is showing a total of 153 deciduous trees, 38 evergreen trees, a variety of deciduous shrubs, evergreen shrubs, and a variety of perennials. All of the existing landscaping outside the development footprints and the placement of utility lines are to be preserved. Staff notes that the placement of the individual water lines and sewer lines for each unit fall along the 30 foot defensible space boundary end will not impact the site any greater than what is required by Absolute Policy 22.
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	Complies		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		

	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37/R	Cucumber Gulch/Setbacks	2x(0/+2)		
37/R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		

## TOWN OF BRECKENRIDGE

**Peak Ten Bluffs Master Plan**  
**Peak Ten Bluffs Subdivision, a resubdivision of Lots 57A and 57B, Warriors Mark Townhomes, Filing 5**  
**PERMIT #2013066**

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**STAFF RECOMMENDATION:** Staff recommends the Planning Commission approve this application with the following findings and conditions.

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### FINDINGS

1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 21, 2013** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. The vested period for this master plan expires three (3) years from the date of Town Council approval, on **November 12, 2016**, in accordance with the vesting provisions of Policy 39 of the Development Code. In addition, if this permit is not signed and returned to the Town within thirty (30) days of the permit mailing date, the permit shall only be valid for eighteen (18) months, rather than three (3) years.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of compliance for the project covered by this permit. The determination of whether a certificate of compliance



should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

6. This Master Plan is entered into pursuant to Policy 39 (Absolute) of the Breckenridge Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code). Uses specifically approved in this Master Plan shall supersede the Town's Land Use Guidelines and shall serve as an absolute development policy under the Development Code during the vesting period of this Master Plan. The provisions and procedures of the Development Code (including the requirement for a point analysis) shall govern any future site specific development of the property subject to this Master Plan.
7. Approval of a Master Plan is limited to the general acceptability of the land uses proposed and their interrelationships, and shall not be construed to endorse the precise location of uses or engineering feasibility.
8. Concurrently with the issuance of a Development Permit, applicant shall submit a 24"x36" mylar document of the final master plan, including all maps and text, as approved by Planning Commission at the final hearing, and reflecting any changes required. The name of the architect, and signature block signed by property owner of record or agent with power of attorney shall appear on the mylar:

*MASTER PLAN CERTIFICATE AND AGREEMENT*

*A master plan is governed by and is subject to Policy 39 (Absolute) of the Breckenridge Development Code, Chapter 1 of Title 9 of the Breckenridge Town Code, as amended from time to time. Although a master plan is a site specific plan as that term is defined by law, a master plan is only a general, conceptual plan for the future development of the subject property. The approval of a master plan is not the Town's final approval for the development of the subject property. Approval to actually develop the subject property requires one or more further site specific approvals from the Town in the form of additional development permit(s) issued pursuant to the Town's Development Code, as well as the issuance of any required permits under the Town's building and technical codes.*

*Upon the issuance of a development permit by the Town approving this master plan, this master plan is binding upon the permittee, and all subsequent owners of the property that is subject to the master plan in accordance with and subject to the terms and conditions of the Town of Breckenridge Development Code.*

*Interested parties should check with the Town of Breckenridge Department of Community Development to determine the duration of the vested property rights for the approved master plan, as well as the duration of the approved master plan.*

*This master plan may be amended, abandoned, or withdrawn only in accordance with the applicable provisions of the Town of Breckenridge Development Code.*

*APPROVAL OF THIS MASTER PLAN IS NO ASSURANCE THAT THE SUBJECT PROPERTY WILL ULTIMATELY BE DEVELOPED IN THE MANNER DESCRIBED IN THE APPROVED MASTER PLAN. INTERESTED PERSONS SHOULD OBTAIN AND REVIEW COPIES OF ALL FUTURE SITE SPECIFIC DEVELOPMENT PERMITS, SUBDIVISION PLATS, OTHER TOWN-ISSUED LAND USE APPROVALS, AND APPLICABLE TITLE INFORMATION FOR THE SUBJECT PROPERTY BEFORE DECIDING TO PURCHASE OR INVEST IN ANY OF THE REAL PROPERTY THAT IS SUBJECT TO THE APPROVED MASTER PLAN.*

*Owner Signature:* \_\_\_\_\_

*Owner Name (please print)* \_\_\_\_\_

*Architect Signature:* \_\_\_\_\_

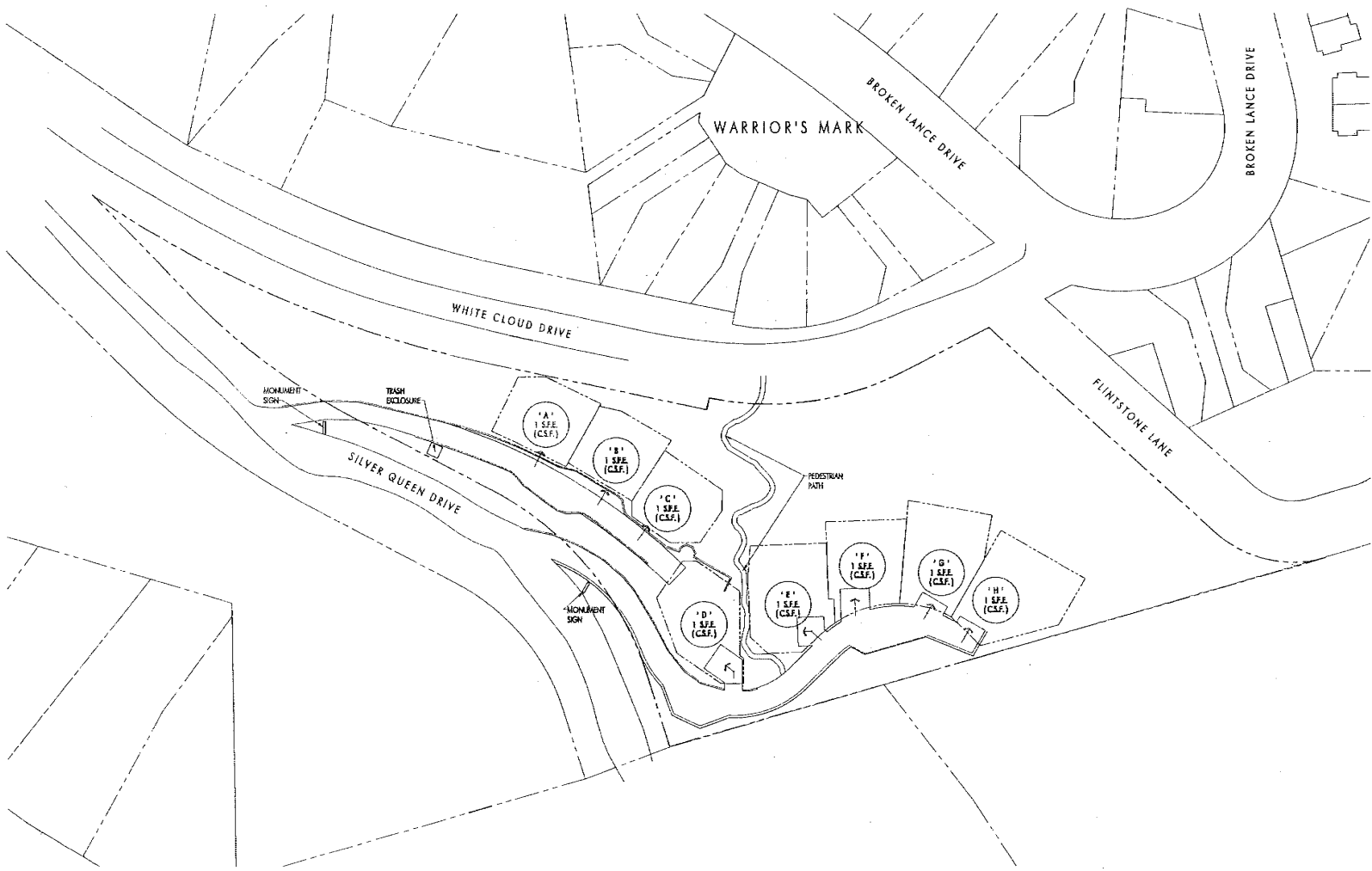
*Director of Community Development:* \_\_\_\_\_

9. Applicant shall record with the Summit County Clerk and Recorder a written notice of the approval of the Master Plan Amendment, in a form acceptable to the Town attorney, in order to give notice thereof to all interested parties.



# PEAK TEN BLUFFS MASTER PLAN

**LEWIS  
HIMES**  
ASSOCIATES  
ARCHITECTURE &  
SPACE PLANNING  
2100 ITEXTON ROAD,  
SUITE 200  
LITTLETON, CO 80120  
TEL: 303-738-9989  
FAX: 303-738-9989



**MASTER PLAN SITE NOTES:**

- Silver Queen Drive shall be established by the Peak Ten Bluffs LDC.
- Large Monuments and Walls on the Right of Way
- All Excavation/Utility Agreements will be checked for all site improvements.
- Utilities
- An erosion control plan is on file at Town of Breckenridge Engineering Department.
- A landscape retaining structure will be provided, from street and D to White Cloud for the Peak Ten Bluffs Owners to ensure the retaining. There will be vegetated areas parallel along the retaining.
- The overall building height is limited to 25 feet as calculated by the Breckenridge Development code.
- The designated setback areas will remain unobstructed.

**PROJECT PHASING SCHEDULE:**

- July 2013 - Preliminary Submittal/Construction was initiated
- November 2013 - Final Model and O.C.
- November 2014 - August 2014 - complete construction and asphalt paving
- Balance of location to be completed as sales and contracts require.

PEAK TEN BLUFFS  
for BRECK LTD., LLC  
SILVER QUEEN DRIVE  
BRECKENRIDGE, COLORADO

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION

DRAWING SCALE: AS SHOWN  
DATE: OCTOBER 24, 2014

**MASTER PLAN  
and SITE NOTES**  
DRAWING No. MP-2  
SHEET No. 108

**PEAK TEN BLUFFS - MASTER PLAN**  
scale: 1" = 40'-0"



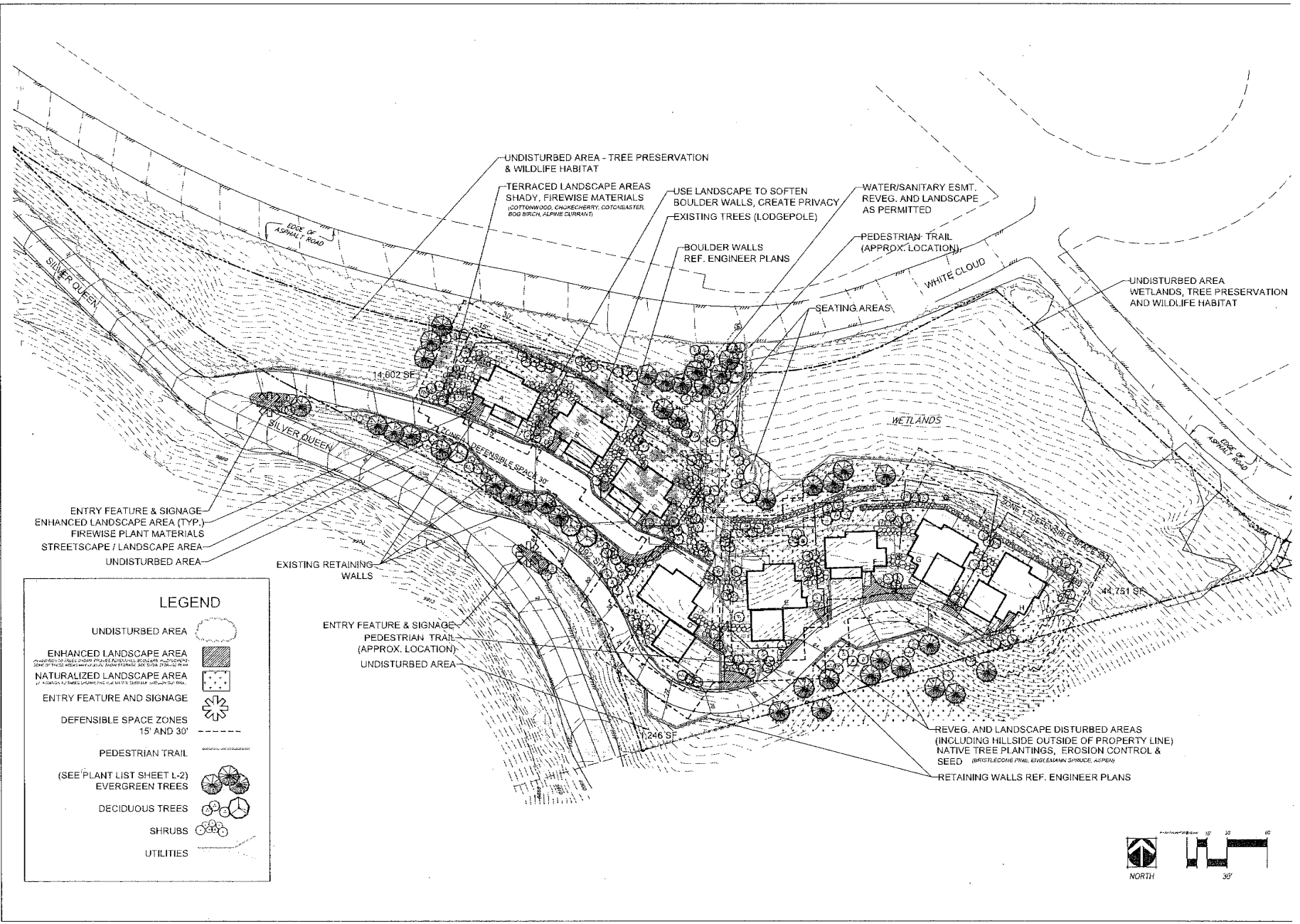
**PEAK TEN BLUFFS**  
 LANDSCAPE MASTER PLAN  
 Breckenridge, CO  
 Lou Gilman

OWNER:  
 Lou Gilman

DATE:  
 02/26/13 - PRELIMINARY  
 10/03/13 - MASTER PLAN  
 10/28/13 - MASTER PLAN

SHEET TITLE:  
 LANDSCAPE  
 MASTER PLAN  
 SHEET NUMBER:

L-1



**LEGEND**

- UNDISTURBED AREA
- ENHANCED LANDSCAPE AREA
- NATURALIZED LANDSCAPE AREA
- ENTRY FEATURE AND SIGNAGE
- DEFENSIBLE SPACE ZONES 15' AND 30'
- PEDESTRIAN TRAIL
- (SEE PLANT LIST SHEET L-2)
- EVERGREEN TREES
- DECIDUOUS TREES
- SHRUBS
- UTILITIES

CHECKED BY: ES  
 DRAWN BY: ES

MASTER LANDSCAPE PLAN PLANT LIST

WATERUSE	SYM.	COMMON NAME	BOTANICAL NAME	FIREWISE	SIZE & COND.
(UNLESS OTHERWISE NOTED)					
<b>DECIDUOUS TREES - 153 TOTAL</b>					
* MODERATE	TIA	THIN-LEAF ALDER	ALNUS TENUIFOLIA	FW	MULTI-STEM CLUMP, B&B
* MODERATE	ASP	QUAKING ASPEN	POPULUS TREMULOIDES	FW	2 1/2" CAL, B&B
MODERATE	NAR	NARROWLEAF COTTONWOOD	POPULUS ANGUSTIFOLIA	FW	2 1/2" CAL, B&B
MODERATE	MNB	MOUNTAIN BIRCH	BETULA OCCIDENTALIS	FW	2 1/2" CAL, B&B
<b>EVERGREEN TREES - 38 TOTAL</b>					
MODERATE	COS	COLORADO SPRUCE	PICEA PUNGENS	NO	13 TREES AT 6'-8' HEIGHT (SPECIMEN) 13 TREES AT 8'-10' HEIGHT (SPECIMEN) 12 TREES AT 10'-12' HEIGHT (SPECIMEN)
* MODERATE	EGL	ENGELMANN SPRUCE	PICEA ENGELMANNI	NO	
* LOW	BRI	BRISTLEcone PINE	PIRUS ARISTATA	NO	
<b>DECIDUOUS SHRUBS- 2'-5' SPREAD</b>					
MODERATE	BOG	BOG BIRCH	BETULA GLANDULOSA	FW	5 GAL. CONT.
* LOW	TBH	TWIMBERRY HONEYSUCKLE	LONICERA INVOLUCRATA	FW	5 GAL. CONT.
LOW	ALP	ALPINE CURRANT	RIBES ALPINUM	FW	5 GAL. CONT.
* LOW	POT	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	NO	5 GAL. CONT.
<b>DECIDUOUS SHRUBS- 7'-9' SPREAD</b>					
MODERATE	YMW	YELLOW MOUNTAIN WILLOW	SALIX MONTICOLA	FW	5 GAL. CONT.
* LOW	RBE	REDBERRIED ELDER	SAMBUCUS PUBENS	FW	5 GAL. CONT.
LOW	CHO	CHOCHEBERRY	PRUNUS VIRGINIANA	FW	5 GAL. CONT.
<b>EVERGREEN SHRUBS- 2'-5' SPREAD</b>					
MODERATE	GSR	GLOBE SPRUCE	PICEA PUNGENS 'GLAUCA GLOBOSA'	NO	5 GAL. CONT.
<b>PERENNIALS / FORBES</b>					
* LOW	YAY	YARROW	ACHILLEA SPP.	NO	1 GAL. CONT.
* LOW	CLR	COLUMBINE	AQUIEGIA SPP.	FW	1 GAL. CONT.
* MODERATE	COM	LARKSPUR	DELPHINIUM SPP.	FW	1 GAL. CONT.
* LOW	FWW	FIREWEED	EPILOBIUM SPP.	NO	1 GAL. CONT.
* LOW	RMJ	ROCKY MOUNTAIN IRIS	IRIS MISSOURIENSIS	FW	1 GAL. CONT.
* MODERATE	LUP	LUPINE	LUPINUS SPP.	FW	1 GAL. CONT.
* MODERATE	PLO	PHLOX	PHLOX SPP.	FW	1 GAL. CONT.
* MODERATE	HOL	HOLLY-GRAPE	MAHONIA REPENS	FW	1 GAL. CONT.
* LOW	BLU	BLUEBELLS	MERTENSIA SPP.	FW	1 GAL. CONT.
* LOW	PEN	PENSTEMON	PENSTEMON SPP.	NO	1 GAL. CONT.
* LOW	POT	POTENTILLA	POTENTILLA VERNA	NO	1 GAL. CONT.
* LOW	STO	STONECROP	SEDUM SPP.	FW	1 GAL. CONT.
LOW	SHD	SHASTA DAISY	CRYSANTHEMUM MAXIMUM	NO	1 GAL. CONT.
* LOW	DLP	DELPHINIUM	DELPHINIUM ELATUM	FW	1 GAL. CONT.
* MODERATE	CAP	CALIFORNIA POPPY	ESCHOTZIA SPP.	NO	1 GAL. CONT.
LOW	BES	BLACKEYED SUSAN	RUBBECKIA VULGARIS	NO	1 GAL. CONT.

\* NATIVE TO BRECKENRIDGE

LANDSCAPE NOTES

1. AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL NEW LANDSCAPING.
2. ALL LOCATIONS FOR PLANTS, GATEWAYS, TRAILS AND OTHER AMENITIES ARE PRELIMINARY AND SUBJECT TO FINAL APPROVAL WITH CLASS C PERMITS FROM THE TOWN OF BRECKENRIDGE.
3. THE GEO-TECHNICAL REPORT SHOULD BE CONSULTED TO DETERMINE THE APPROPRIATE DISTANCE FOR IRRIGATION SYSTEMS TO BE INSTALLED ADJACENT TO PROPOSED BUILDING FOUNDATIONS AND RETAINING WALLS. THE PLANT LOCATIONS SHOWN IN THIS MASTER PLAN ARE CONCEPTUAL AND SUBJECT TO FINAL LOCATIONS DEPENDENT UPON GEO-TECHNICAL REPORT AND FINAL BUILDING LOCATIONS.
4. AMENITIES SHOWN WITHIN THE SANITARY SEWER AND WATER UTILITY EASEMENT ARE SUBJECT TO APPROVAL BY THE RESPECTIVE DISTRICTS.
5. LANDSCAPING SHOWN OUTSIDE OF THE PROPERTY LINE IS SUBJECT TO ENCROACHMENT AGREEMENT WITH THE TOWN OF BRECKENRIDGE.
6. ALL PLANT MATERIAL WILL MEET HIGH QUALITY NURSERY STANDARDS.
7. TOPSOIL WILL BE PROVIDED FOR LANDSCAPE AREAS.
8. LANDSCAPE WILL BE COORDINATED WITH SNOW STACKING PLAN.

LANDSCAPE PHASING NOTES

1. LANDSCAPE AREAS WILL BE PHASED.
2. THE FIRST UNIT TO BE CONSTRUCTED WILL BE UNIT D, ALONG WITH ROADWAY IMPROVEMENTS FOR THE PRIVATE DRIVES AND SILVER QUEEN DRIVE. LANDSCAPE AREAS TO BE INSTALLED IN SUMMER 2014 FOLLOWING CONSTRUCTION OF THESE ROAD IMPROVEMENTS INCLUDE:
  - LANDSCAPE ALONG SILVER QUEEN DRIVE
  - TREE PLANTING AND RE-VEGETATION OF DISTURBED AREA SOUTH OF THE SOUTH PROPERTY LINE HILLSIDE THAT WAS IMPACTED BY PREVIOUS SITE DEVELOPMENT
  - LANDSCAPE AROUND UNIT D
3. LANDSCAPE AROUND EACH UNIT WILL BE INSTALLED AS THEY ARE CONSTRUCTED. INSTALLATION OF LANDSCAPE MAY NOT COINCIDE IMMEDIATELY WITH CONSTRUCTION OF A UNIT. LANDSCAPE WILL BE INSTALLED DURING THE MONTHS OF MAY - SEPTEMBER FOLLOWING BUILDING AND OTHER SITE WORK.
4. PEDESTRIAN TRAIL AND ASSOCIATED LANDSCAPING WILL BE INSTALLED FOLLOWING THE CONSTRUCTION OF BOTH UNITS D AND E.

APPROXIMATE UNDISTURBED AREAS

14,002 SF
44,751 SF
1,092 SF
1,246 SF
61,091 SF TOTAL, 1.40 AC, 42% OF SITE SUBJECT TO CHANGE; BASED ON PRELIMINARY GRADING

**NORRIS DESIGN**  
www.norris-design.com  
310 Main Street, Suite F  
PO Box 2320  
Frisco, CO 80443  
P 970-369-7088

**PEAK TEN BLUFFS**  
LANDSCAPE MASTER PLAN  
Breckenridge, CO  
Lori O'Brien

OWNER:  
Lori O'Brien

DATE:  
08/28/13 - PRELIMINARY  
10/08/13 - MASTER PLAN  
10/28/13 - MASTER PLAN

SHEET TITLE:  
LANDSCAPE  
NOTES  
SHEET NUMBER:

L-2

## Planning Commission Staff Report

**Subject:** Peak Ten Bluffs Subdivision  
(Class A, Final Hearing; PC#2013067)

**Proposal:** To re-subdivide the property previously known as Angels Lookout for the development of eight cluster single-family homes on eight individual lots. Two existing private driveways will access the properties. A Development Permit application for a master plan is being reviewed separately.

**Date:** October 21, 2013 (For meeting of November 5, 2013)

**Project Manager:** Michael Mosher, Planner III

**Applicant/Owner:** Breck Limited, LLC

**Agent:** Lou Glisan, Breck Ltd., LLC

**Address:** Silver Queen Drive

**Legal Description:** Peak Ten Bluff Subdivision, A resubdivision of Lots 57A and 57B, Warriors Mark Townhomes, Filing 5

**Land Use District:** 30.6 – Residential; Warriors Mark Townhouse #5 Lots 57A and 57B: 8 units

**Site Area:** 3.283 acres (142,987 sq. ft.)

**Site Conditions:** The property slopes down sharply from Silver Queen Drive at about 40-45%. A 5-foot wide utility easement exists at the base of the lot. This lot has improvements from a previous development approval (expired). There are two private drives constructed with large retaining walls accessing the property off Silver Queen Drive. These drives lay within a platted Private Access and Utility Easement. The large area of heavily wooded wetlands lies to the northeast and a 20-foot wide utility easement bisects the property from White Cloud Drive to the south. The property is heavily wooded with Lodgepole pines. The wetlands area has healthy spruce trees.

**Adjacent Uses:** North: Multi Family Residential, White Cloud Drive  
East: Multi Family Residential  
South: Gold King Placer, Summit County jurisdiction  
West: Silver Queen Drive, Warriors Mark West

**Density:** Allowed per subdivision: 8 units in duplex  
Proposed density: 8 units in cluster single family

**Lot Coverage:** Building / non-Permeable: (pending development review)  
Hard Surface / non-Permeable: (pending development review)  
Open Space / Permeable Area: Approximately 42% of the site

<b>Perimeter Setbacks:</b> Front:	15 ft.
Sides:	5 ft.
Rear:	15 ft.

**Item History**

The Board of County Commissioners approved Angels Lookout Subdivision (within Warriors Mark Subdivision) on December 5, 2002. This subdivision created four duplex lots, each with a building envelope, with a total of eight units of density. The project was never completed although some infrastructure was installed. Since the approval of the subdivision, the Town of Breckenridge annexed all of the Warriors Mark subdivisions and is now responsible for the review of any development within Angels Lookout.

On the September 17, 2013 meeting, the Planning Commission had no concerns with the preliminary subdivision review.

**Staff Comments**

**Design Compatible with Natural Features (9-2-4-2):** This provision of the Subdivision Standards encourages the design of subdivisions to respond to the natural limitations of the site, respect drainage patterns and to preserve natural features such as trees. In addition, it encourages the design to provide open space and adequate fire fighting capabilities.

The Town’s standard Condition of Approval for any development states: *“Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch”*, any portion of this site that is being graded or having fill brought in will be re-vegetated. In addition, we are adding a Condition of Approval that requires these areas are irrigated and free of noxious weeds until completion of the project.

Since the last review, the Town’s Engineering Department has worked with the applicant and his agents to resolve the grading design issues associated with the public right of way, the private drives and the retaining walls. We have no concerns.

**Drainage, Storm Sewers and Flood Prevention (9-2-4-3):** Efforts have been made to control erosion on the steep site and to protect the existing wetlands that lie below the development area. The grading and drainage plans identify details for silt fencing, infiltration trenches, and retaining walls. The Engineering Department has no concerns and supports the revised plans.

Staff notes that a small portion of one of the drainage? structures depicted on the drawings is located outside the setbacks, near Unit A. These drainage structures are gravel/cobble trenches and are at and below grade. Their location also coincides with the 30-foot defensible space area location.

The applicant has met with Engineering and Streets Departments and has agreed to obtain an Encroachment License Agreement for any off-site improvements. This has been added as a Condition of Approval.

The plat notes, as submitted, state on note number 3: *“Easement for snow storage provided as per architectural site plan”*. Discussing this with the applicant and Engineering Staff, we are suggesting that a general easement shown on the final plat 20-feet off the north side of each of the private drives to be delineated and noted as *“A 20-foot area on the down hill side, parallel with both Private Access Easements, is reserved for snow storage. Snow from the Private Access easement as well as snow from private*



*properties will be placed in this 20-foot area”*. This has been added as a Condition of Approval. We have no concerns.

**Lot Dimensions, Improvements and Configuration (9-2-4-5) and Dedication of Parks and Open Space (9-2-4-13):** Staff is suggesting, and the applicant has agreed, to add a plat note stating that all improvements to any property located within the subdivision are to be accessed from Silver Queen Drive and/or the private drives only. This is to restrict access from White Cloud Drive, in the future, and to prevent disturbance of the common areas below the properties. This has been added as a Condition of Approval.

**Pedestrian and Bicycle Circulation (9-2-4-7):** The applicant has proposed a private pedestrian trail connecting White Cloud Drive to the development above located along the existing water/sanitary easement. This will allow the residents of Peak Ten Bluffs to walk down the hill and catch the public bus at the intersection of White Cloud Drive and Broken Lance Drive. The plans are showing the trail meandering up the hill with landscaping to buffer the improvements and seating areas. The applicant has obtained approval from the sanitation District and the Town Water Department for these improvements. We have no concerns.

**Traffic Control Devices and Signs (9-2-4-9):** As mentioned above, Silver Queen Drive is now a public right of way within the Town limits. It will be maintained as a private drive where it crosses the Town boundary to the south. At the base of Silver Queen Drive the plans show that a new stop sign will be placed at the intersection with White Cloud Drive.

**Existing and Proposed Streets (9-2-4-11):** This policy requires that new streets tie into existing streets, and conform to the Breckenridge Master Plan. The submitted plans meet this policy. The private drive is shown at 22-feet wide and meets the minimum width for a private drive. Though Silver Queen Drive is a public right-of-way, it will be privately maintained by the Peak Ten Bluffs Homeowners Association. This was an agreement made with the Town’s Public Works Department during the annexation process and is noted as such on the plat.

### **Staff Recommendation**

Since last review, the applicant has worked closely with the Town Engineering Department to work out the details on site drainage, retaining walls and other structural concerns for the subdivision and have no concerns. We welcome any Commissioner comments.

Staff recommends the approval of the Peak Ten Bluffs Subdivision, PC#2013067, with the attached Findings and Conditions.

## TOWN OF BRECKENRIDGE

**Peak Ten Bluffs Subdivision**  
**Peak Ten Bluff Subdivision, A resubdivision of Lots 57A and 57B, Warriors Mark Townhomes, Filing 5**  
**PERMIT #2013067**

STAFF RECOMMENDATION: The staff recommends the Planning Commission approve this application with the following Findings and Conditions

### FINDINGS

1. The proposed project is in accord with the Subdivision Ordinance and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 21, 2013** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
  1. 5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.

### CONDITIONS

1. The Final Plat of this property may not be recorded unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, refuse to record the Final Plat, issue a stop order requiring the cessation of any work being performed under this permit, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit will expire three (3) years from the date of Town Council approval, on **November 12, 2016** unless the Plat has been filed. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. The applicant shall obtain Encroachment License Agreements with the Town of Breckenridge for all improvements shown outside the platted property line and within Town right-of-ways.

6. Applicant shall construct the subdivision according to the approved subdivision plan, and shall be responsible for and shall pay all costs of installation of public roads and all improvements including revegetation, retaining walls, and drainage system. All construction shall be in accordance with Town regulations.
7. This permit contains no agreement, consideration, or promise that a certificate of occupancy or certificate of compliance will be issued by the Town. A certificate of occupancy or certificate of compliance will be issued only in accordance with the Town's planning requirements/codes and building codes.
8. Applicant shall be required to install an address sign identifying all residences served by a private drive posted at the intersection with the primary roadway.
9. During the separate phases of construction, Applicant shall revegetate and irrigate all disturbed areas where revegetation is called for, with a minimum of 3 inches topsoil, seed and mulch. These areas will be irrigated a minimum of two years and be kept free of noxious weed until completion of the project.

**PRIOR TO RECORDATION OF FINAL PLAT**

10. Applicant shall submit and obtain approval from Town staff of a final plat that meets Town subdivision requirements and the terms of the subdivision plan approval.
11. Applicant shall submit and obtain approval from Town staff of a final plat note generally stating that all improvements to any property located within the subdivision are to be accessed from the public right of way and/or the private drives only.
12. Applicant shall submit and obtain approval from the Town Engineer of final grading, drainage, utility, erosion control and street lighting plans.
13. Applicant shall establish a name for the private drives and obtain final approval for the name from the Town of Breckenridge and Summit County. This name will be shown on the final plat mylar.
14. Applicant shall submit and obtain approval from the Town Attorney for any restrictive covenants and declarations for the property.
15. Applicant shall either install all public and private improvements shown on the subdivision plan, or a Subdivision Improvements Agreement satisfactory to the Town Attorney shall be drafted and executed specifying improvements to be constructed and including an engineer's estimate of improvement costs and construction schedule. In addition, a monetary guarantee in accordance with the estimate of costs shall be provided to cover said improvements.
16. Applicant shall submit and obtain approval from the Town Engineer of all traffic control signage and street lights which shall be installed at applicant's expense prior to acceptance of the streets by the Town.
17. The final plat shall include a statement specifying that with the exception of driveway and utility installations, no building, decks, grading, or construction disturbance may extend beyond the building envelope limits.
18. Per Section 9-2-3-5-B of the Subdivision Standards, the following supplemental information must be submitted to the Town for review and approval prior to recordation of the final plat: title report, errors of closure, any proposed restrictive covenants, any dedications through separate documents, and proof that all taxes and assessments have been paid.

**PRIOR TO ISSUANCE OF CERTIFICATE OF COMPLIANCE**

19. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.



**PEAK TEN BLUFFS**  
**A RESUBDIVISION OF ANGEL'S LOOKOUT**  
**A RESUBDIVISION OF LOTS 57A AND 57B, WARRIOR'S MARK TOWNHOUSES FILING NO. 5**  
 TOWN OF BRECKENRIDGE, SUMMIT COUNTY, COLORADO

VICINITY MAP



- LEGEND**
- FOUND REBAR & PLASTIC CAP (PLS 19447)
  - SET REBAR & PLASTIC CAP (PLS 20092)
  - MEASURED COURSE
  - PLATED COURSE
  - PRIVATE UTILITY EASEMENT

**BOUNDARY CURVE TABLE (PLATED)**

STATION	BEGINNING	END	BEARING	DISTANCE	CHORD BEARING	CHORD DISTANCE
1	0+00	0+00	N 120°19' E	10.00	P. 0.00	10.00
2	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90
3	0+00	0+00	N 120°19' E	10.00	P. 0.00	10.00
4	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90
5	0+00	0+00	N 120°19' E	10.00	P. 0.00	10.00
6	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90
7	0+00	0+00	N 120°19' E	10.00	P. 0.00	10.00
8	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90

**BOUNDARY CURVE TABLE (MEASURED)**

STATION	BEGINNING	END	BEARING	DISTANCE	CHORD BEARING	CHORD DISTANCE							
1	0+00	0+00	N 120°19' E	10.00	P. 0.00	10.00							
2	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90							
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6	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90							
7	0+00	0+00	N 120°19' E	10.00	P. 0.00	10.00 </tr <tr> <td>8</td> <td>0+00</td> <td>0+00</td> <td>S 77°50'28" E</td> <td>190.00</td> <td>P. 185.90</td> <td>185.90</td> </tr>	8	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90
8	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90							

**DEED NOTES**

- 1.1 PART OF ANGEL'S LOOKOUT RECEIVED UNDER RECEIPT NO. 20442
- 1.2 BUILDING 2' TALLS PER PLAN OF BRECKENRIDGE PLANNING DEPARTMENT
- 1.3 SET FRONT 2' HIGH CURB AND 4' HIGH SIDEWALK
- 1.4 SET FRONT AND SIDE YARD SETBACKS AS PER ARCHITECTURAL SET PLAN
- 1.5 SET WATER EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.6 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.7 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.8 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.9 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.10 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.11 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.12 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.13 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.14 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.15 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.16 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.17 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.18 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.19 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.20 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT

**DEED NOTES**

STATION	BEGINNING	END	BEARING	DISTANCE	CHORD BEARING	CHORD DISTANCE
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2	0+00	0+00	S 77°50'28" E	190.00	P. 185.90	185.90
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- 1.9 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.10 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.11 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.12 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.13 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.14 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.15 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.16 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.17 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.18 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.19 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT
- 1.20 SET 5' WIDE EASEMENT 5 FEET FROM CENTERLINE OF LOT

**OWNER'S CERTIFICATE:**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I HAVE EXAMINED THE PLAT AND THAT THE SAME ACCURATELY REPRESENTS THE TRUE AND CORRECT STATE OF THE MATTERS AND CIRCUMSTANCES PERTAINING TO THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_

OWNER'S SIGNATURE

**ACKNOWLEDGEMENT:**

STATE OF COLORADO  
 COUNTY OF SUMMIT

BEFORE ME, the undersigned authority, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

**TITLE COMPANY'S CERTIFICATE:**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I HAVE EXAMINED THE PLAT AND THAT THE SAME ACCURATELY REPRESENTS THE TRUE AND CORRECT STATE OF THE MATTERS AND CIRCUMSTANCES PERTAINING TO THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_

TITLE COMPANY'S SIGNATURE

**TOWN OF BRECKENRIDGE CERTIFICATE:**

THE PLAT IS APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

TOWN OF BRECKENRIDGE

BY: \_\_\_\_\_

PLANNING DEPARTMENT

**CERTIFICATE OF TAXES PAID:**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE ENTIRE AMOUNT OF ALL TAXES DUE AND PAYABLE AS TO THE PARCELS OF REAL ESTATE DESCRIBED ON THIS PLAT HAS BEEN PAID.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

TOWN CLERK'S SIGNATURE

**TOWN CLERK'S CERTIFICATE:**

STATE OF COLORADO  
 COUNTY OF SUMMIT  
 TOWN OF BRECKENRIDGE

I, HEREBY CERTIFY THAT THE INSTRUMENT HAS BEEN FILED IN MY OFFICE AT \_\_\_\_\_, COLORADO, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND IS DEPOSITED.

TOWN CLERK

**CLERK AND RECORDER'S CERTIFICATE:**

STATE OF COLORADO  
 COUNTY OF SUMMIT

I, HEREBY CERTIFY THAT THE INSTRUMENT HAS BEEN FILED IN MY OFFICE AT \_\_\_\_\_, COLORADO, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND IS DEPOSITED.

CLERK AND RECORDER

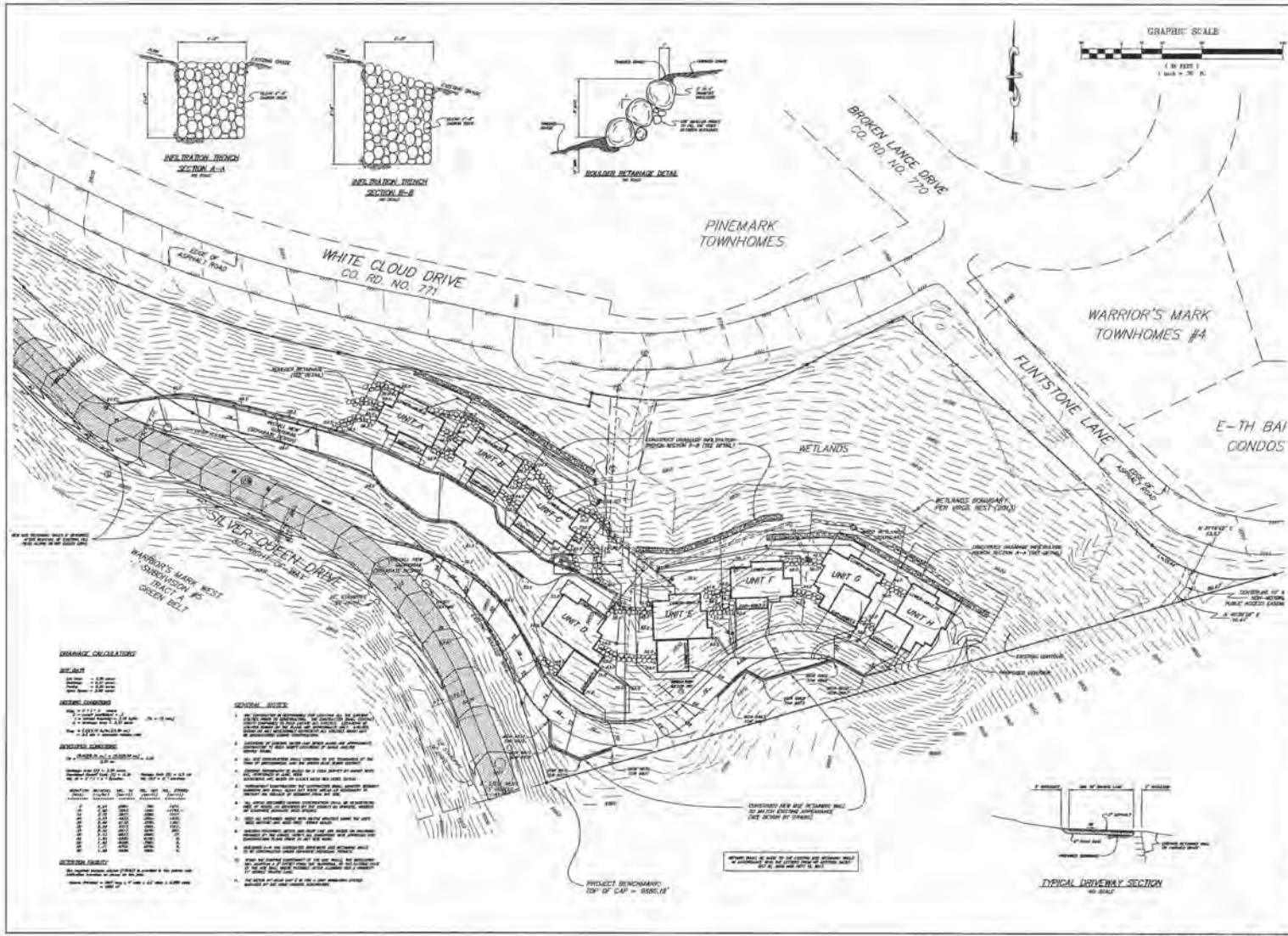
**SEAL OF THE COUNTY OF BRECKENRIDGE**

Summit County Clerk's Office

Division	Case No.	Filed
Division	Case No.	Filed

PLS File 502  
 Summit, CO 80440 370-440-5000





**DRAINAGE CALCULATIONS**

**RESULT**

Flow	0.00
Velocity	0.00
Time	0.00

**DESIGN CONDITIONS**

1. 100 YEAR RETURN PERIOD

2. 100 YEAR RETURN PERIOD

3. 100 YEAR RETURN PERIOD

**DESIGN PARAMETERS**

1. 100 YEAR RETURN PERIOD

2. 100 YEAR RETURN PERIOD

3. 100 YEAR RETURN PERIOD

**DESIGN RESULTS**

1. 100 YEAR RETURN PERIOD

2. 100 YEAR RETURN PERIOD

3. 100 YEAR RETURN PERIOD

- SECTION NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE U.S. DEPARTMENT OF AGRICULTURE'S "NATIONAL ENGINEERING CONSTRUCTION CODE" AND THE "NATIONAL ELECTRICAL CODE".
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE U.S. DEPARTMENT OF AGRICULTURE'S "NATIONAL ENGINEERING CONSTRUCTION CODE" AND THE "NATIONAL ELECTRICAL CODE".
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GRAPHIC SCALE  
1" = 20' FT.  
1" = 20' FT.

PINEMARK TOWNHOMES

WARRIOR'S MARK TOWNHOMES #4

E-TH BAI CONDOS

WETLANDS

SILVER QUEEN DRIVE

BROKEN LANCE DRIVE  
CO. RD. NO. 770

WHITE CLOUD DRIVE  
CO. RD. NO. 771

FUNSTONE LANE

UNIT A

UNIT B

UNIT C

UNIT D

UNIT E

UNIT F

UNIT G

UNIT H

WARRIOR'S MARK WEST SUBDIVISION #5 TRACT A GREEN BELT

PROJECT BENCHMARK: TOP OF C&P = 106' 5.41'

TYPICAL DRIVEWAY SECTION

C1

Sheet 1 of 2

Proj. No. 18873

R-A-N-G-E-W-E-S-T  
Consulting Engineers - Land Surveyors - Construction Managers, INC.  
P.O. Box 581, Thornton, CO 80229 Phone: 303-440-8731 Denver Office: 303-440-4428

SEE SHEET C1 FOR OVERALL PLAN

SCALE: 1" = 10'



R-A-N-G-E W-E-S-T INC.  
 Consulting Engineers - Land Surveyors - Construction Managers  
 P.O. Box 589, Southlake, TX 75086, Phone 972-484-8281, Fax 972-484-2426

(BY) GIBBY  
 DATE: 08/11/05  
 PROJECT: PEAK TEN BLUFFS  
 SHEET: GRADING AND DRAINAGE PLAN

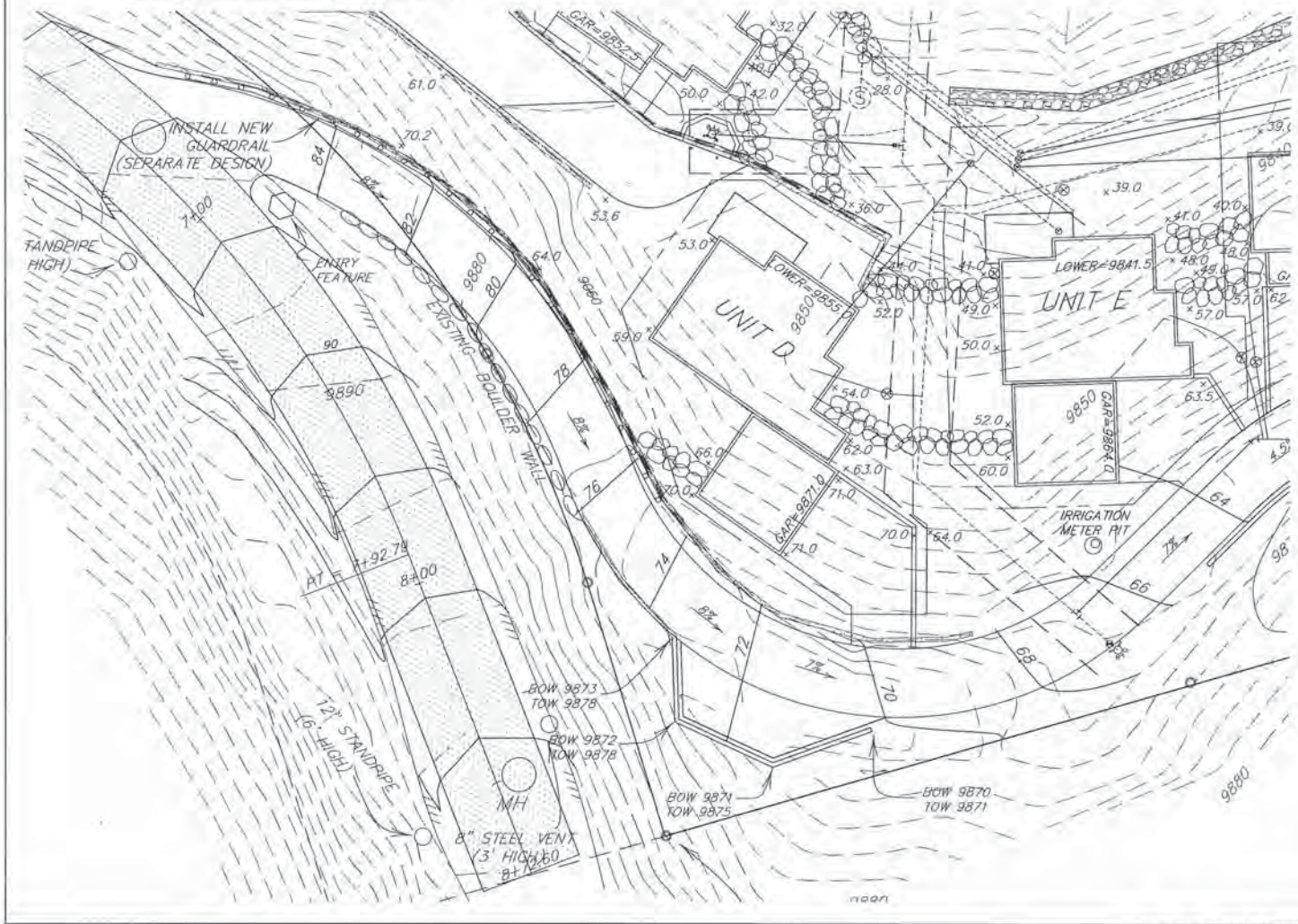
GRADING AND DRAINAGE PLAN

Sheet: 1a of 4  
**C1a**  
 Proj. No.: 16673

PEAK TEN BLUFFS - GRADING AND DRAINAGE PLAN - FILE 21 / 1613 / DRAWING / SHEET 1 OF 4

SEE SHEET C1 FOR OVERALL PLAN

SCALE: 1" = 10'



R-A-N-G-E-W-E-S-T  
 Consulting Engineers - Land Surveyors - Construction Managers, INC.  
 P.O. Box 359, Silverthorn, CO 80488 Phone 303 482-5284 Email 303-418-4104

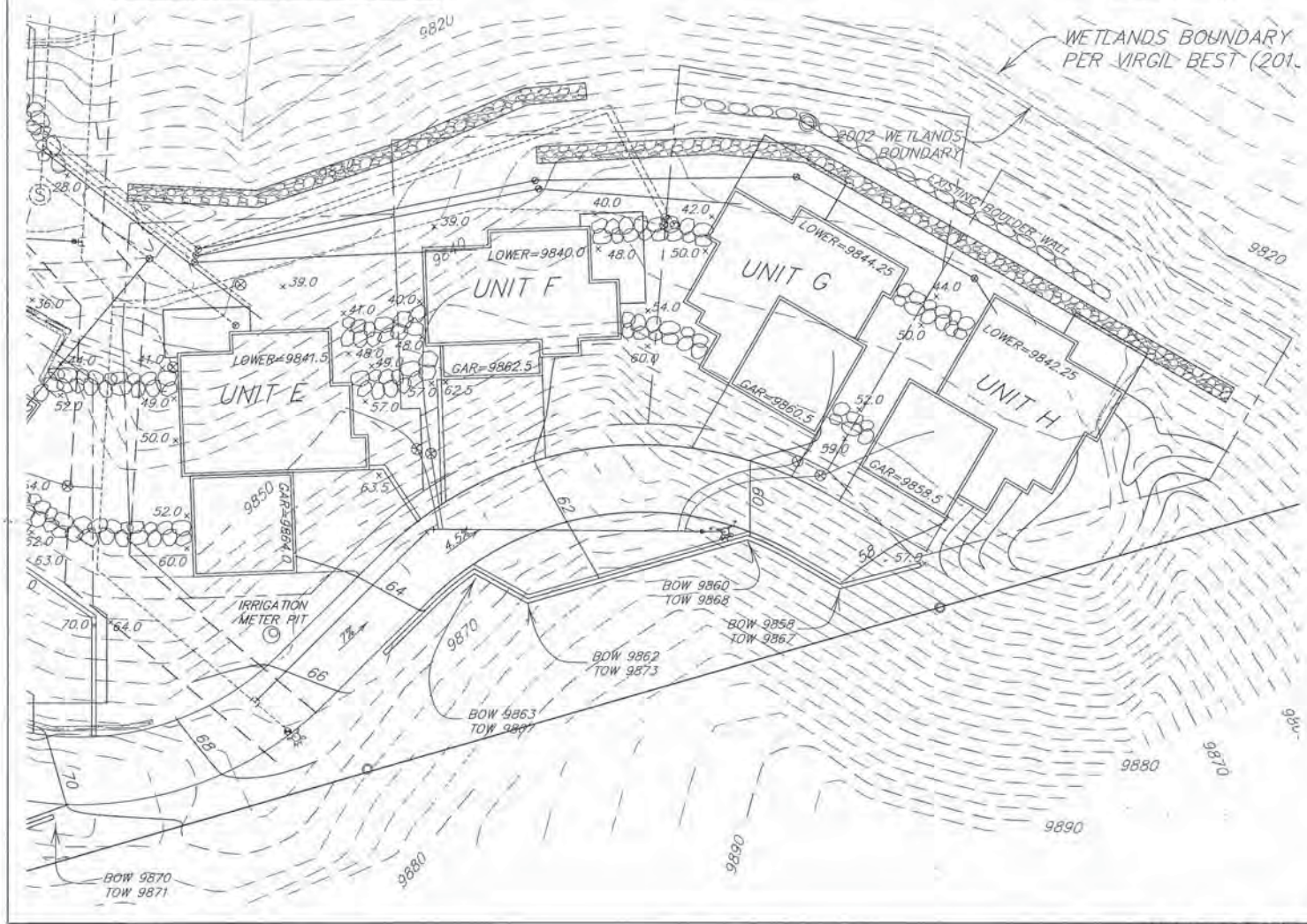
LEAD DESIGNER: [Signature]  
 CHECKED: [Signature]  
 DATE: 10/12/10

GRADING AND DRAINAGE PLAN  
 PEAK TEN BLUFFS  
 (SEE PLAN FOR METRO/STANDARD, COLORADO)

Sheet 1b of 4  
**C1b**  
 Proj. No.: 16873

SEE SHEET C1 FOR OVERALL PLAN

SCALE: 1" = 10'



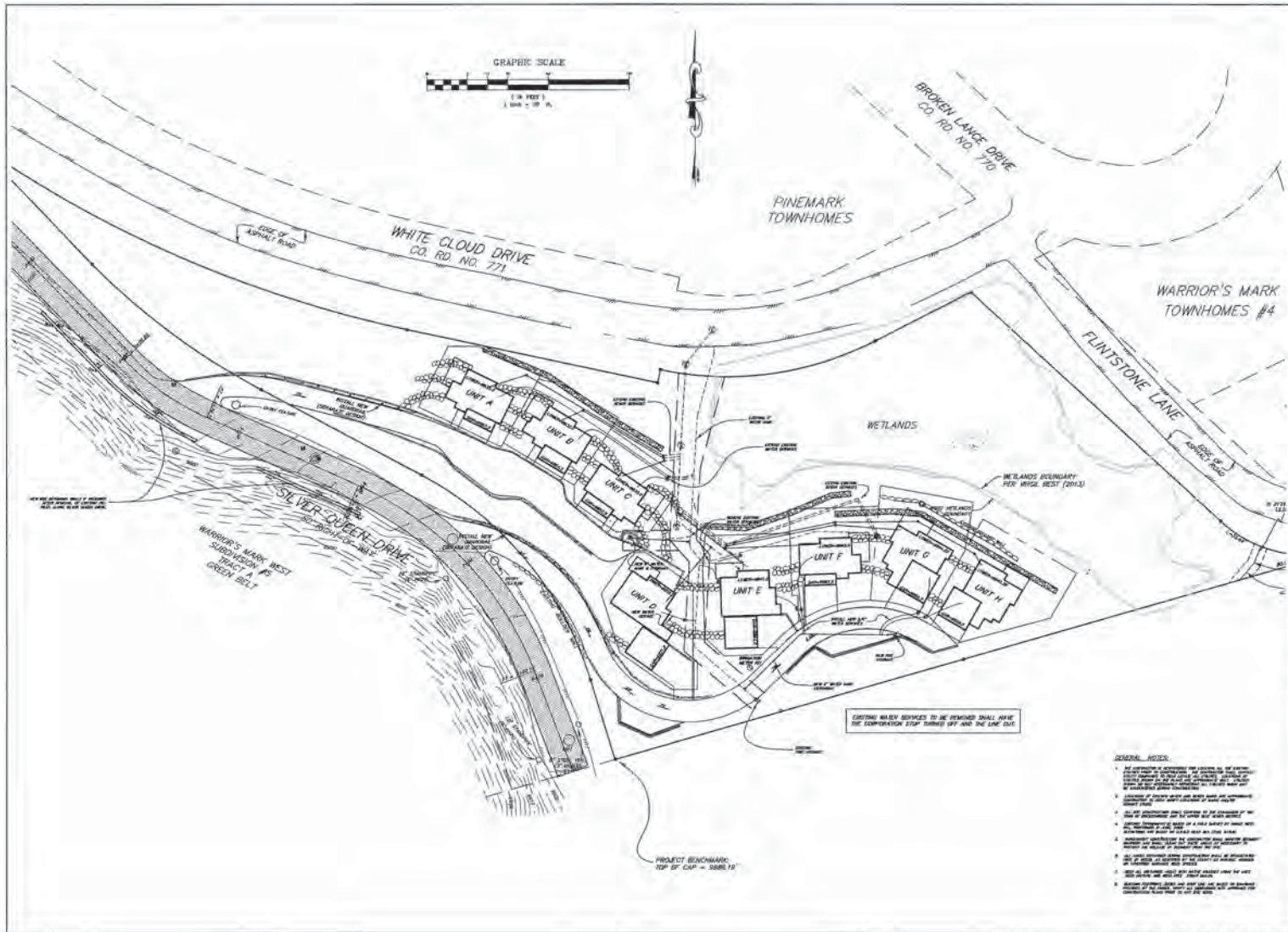
RAIN-G-E-W-E-S-T INC.  
 Consulting Engineers - Land Surveyors - Construction Managers  
 P.O. Box 281, Stroudsburg, CO 80828 Phone 370-868-0381 Fax 370-868-0381

LEG: (GREEN) SEE CASEY PRINT MANUAL FOR FILL, HATCHES, ETC.  
 PEAK TEN BLUFFS 407 W. 10TH AVENUE STRAUBER, COLORADO

GRADING AND DRAINAGE PLAN

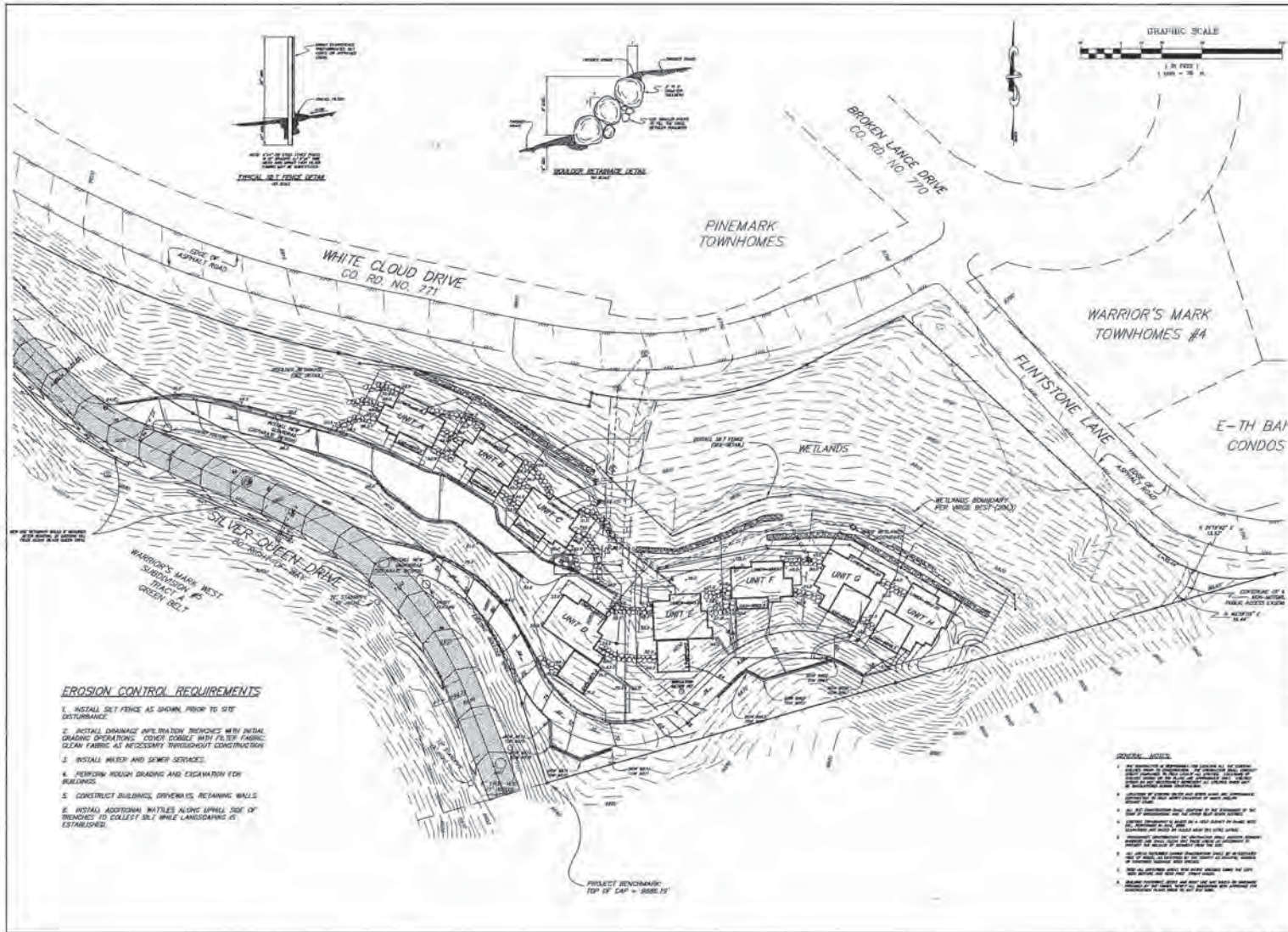
Sheet 1c of 4  
**C1c**  
 Proj. No.: 16671





PEAK TEN BLUFFS - WATER AND SEWER PLAN - THE 21 / 2013 / 2 SHEET 2 OF 2 DATE 1

PROJECT NO. 18672 SHEET NO. 2 OF 2 DATE 11/21/13	CLIENT RAN-G-E-W-E-S-T CONSULTING ENGINEERS - LAND SURVEYORS - CONSTRUCTION MANAGERS INC. P.O. BOX 588, BRIGHTON, CO 80606 FROM 376-188-6383 BROWER STREET 825-1421
LOCATION WARRIOR'S MARK SUBDIVISION #4 TRACT A GREEN BELT	SCALE AS SHOWN
TITLE WATER AND SEWER PLAN	DRAWN BY C2



**EROSION CONTROL REQUIREMENTS**

1. INSTALL SILT FENCE AS SHOWN, PRIOR TO SITE DISTURBANCE.
2. INSTALL DRAINAGE/RETENTION TRENCHES WITH INITIAL GRADING OPERATIONS. COVER DRAINAGE WITH FILTER FABRIC. CLEAN FABRIC AS NECESSARY THROUGHOUT CONSTRUCTION.
3. INSTALL WATER AND SEWER SERVICES.
4. PERFORM ROUGH GRADING AND EXCAVATION FOR BUILDINGS.
5. CONSTRUCT BUILDINGS, DRIVEWAYS, RETAINING WALLS.
6. INSTALL ADDITIONAL MATILES ALONG UPHILL SIDE OF TRENCHES TO COLLECT SILT WHILE LANDSCAPING IS ESTABLISHED.

- GENERAL NOTES**
1. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
  2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  3. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE DISTRICT ENGINEER.
  4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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  9. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  10. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

GRAPHIC SCALE  
1" = 100'  
1" = 200'

PINEMARK TOWNHOMES

WARRIOR'S MARK TOWNHOMES #4

E-TH BAI CONDOS

WETLANDS

SILVER QUEEN DRIVE

WHITE CLOUD DRIVE  
CO. RD. NO. 771

BROKEN LANCE DRIVE  
CO. RD. NO. 770

FLINTSTONE LANE

WARRIOR'S MARK WEST SUBDIVISION #2 TRACT A GREEN BELT

UNIT A  
UNIT B  
UNIT C  
UNIT D  
UNIT E  
UNIT F  
UNIT G  
UNIT H  
UNIT I  
UNIT J

PROJECT BENCHMARK:  
TOP OF CAP = 8886.10'

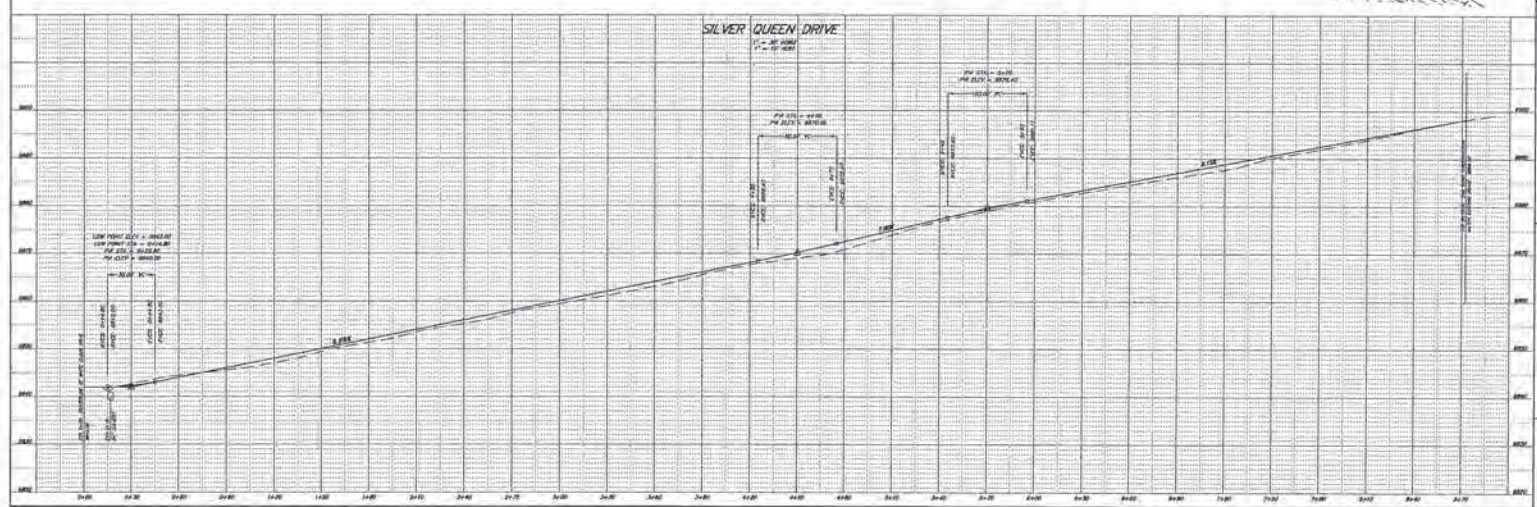
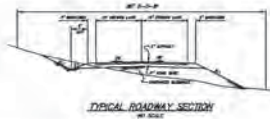
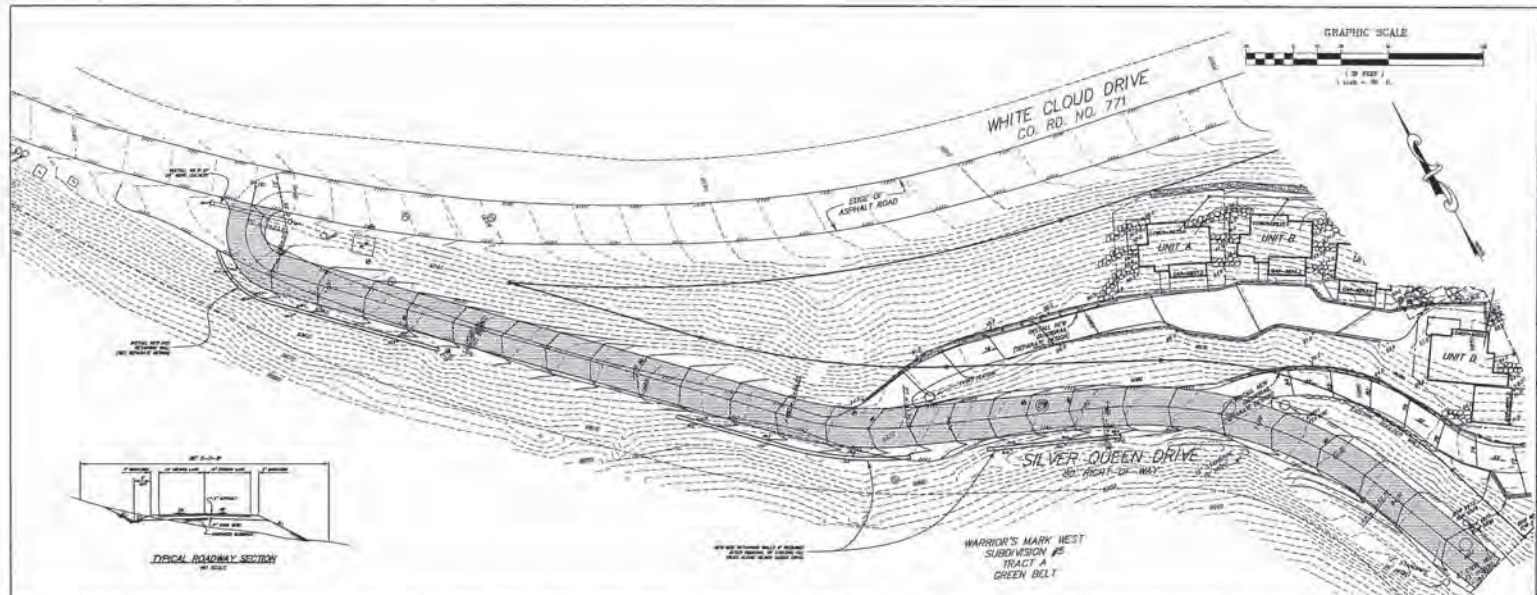
**R-A-N-G-E-W-E-S-T INC.**  
Consulting Engineers - Land Surveyors - Construction Managers  
P.O. Box 583 - Steamboat, CO 80487 Phone 970 487-4291 - Fax 970 487-4291

**EROSION CONTROL PLAN**

Sheet 1 of 3

**C3**

Proj. No. 18873



R-A-N-G-E-W-E-S-T INC.  
Consulting Engineers - Land Surveyors - Construction Managers  
P.O. Box 558 Silverthorn, CO 80538 Phone 303-448-0284 Fax 303-448-0418

LOW BLISSY  
SILVER QUEEN DRIVE  
PEAK TEN BLUFFS  
SILVER QUEEN DRIVE

SILVER QUEEN DRIVE  
PLAN AND PROFILE

Sheet: 4 of 4  
**C4**

## Planning Commission Staff Report

- Subject:** Shock Hill Lodge and Spa, Tract E Second Permit Extension, Shock Hill Master Plan Second Extension, and variance to Policy 47/A Fences PC#2013095 (Class B, Combined Preliminary and Final Hearing, Original Permit PC#2007108, and Development Permit and Master Plan Modification, First Extension PC#2010068)
- Proposal:** To extend the duration of the development permit and the vested property rights for the Shock Hill Lodge. The original permit authorized the construction of a 57-unit condo-hotel with commercial spa, small bar, café, outdoor amenities area, and underground parking. The Shock Hill Master Plan modification is also requested to be extended, pursuant to a previously approved Development Agreement, for the transfer of 6 residential SFEs of density to this site. No changes, except those stated in the Conditions of Approval, are proposed to the approved plan. This would be the second extension of the application.
- Date:** October 28, 2013 (For meeting of November 5, 2013)
- Project Manager:** Julia Puester, AICP
- Applicant/Owner:** Shock Hill Partners, LLC
- Address:** 260 Shock Hill Drive
- Legal Description:** Tract E, Shock Hill Subdivision
- Land Use District:** 10: Residential-2 UPA, Single Family, up to 8-plex, townhouses  
Subject to the Shock Hill Master Plan, which identifies this site for multifamily / lodge (hotel/lodge/inn) with 60.7 SFEs of residential density, plus 5.3 SFEs of commercial density (retail shops, spa/health club, business center, and restaurant/bar.)
- Site Area:** 4.37 acres (190,357 sq. ft.) *(Note: The original tract was 6.67 acres; as a commitment of the Development Agreement, the applicant will donate 2.3 acres, known as Tract E-2, to the Town as public open space, leaving 4.37 acres for development.)*
- Site Conditions:** The site is undeveloped, except for the gondola mid-station in the southeast corner of the site and a small sales office adjacent to the gondola. The site is moderately forested with mostly lodgepole pine trees. There is an abandoned Nordic ski trail that crosses through the center of the tract.
- The 100' gondola aerial tramway access easement crosses through the southeastern and southern part of the lot. There is a 25' public trail easement along the north lot line, and a 20' drainage easement along the northwest property boundary. Additionally, there are several trail easements on the west side of the property, either along the boundary with Tract E-2, or within Tract E-2. The site slopes downhill to the south and west, at an average rate of 13% within the development area, and as much as 38% within Tract E-2, which would be dedicated to the Town as open space.

**Adjacent Uses:** North: Single family homes and lots South: Gondola and vacant lodge site  
 East: Shock Hill Drive/Shock Hill Cottages West: Cucumber Gulch

**Density:** Allowed:

Residential density per existing Master Plan:	60.7 SFEs (72,840 sq. ft. residential)
<u>Commercial density per existing Master Plan:</u>	<u>5.3 SFEs (5,300 sq. ft. commercial)</u>
Total Existing:	66 SFEs (78,140 sq. ft.)

<u>Density transfer proposed:</u>	<u>6 SFEs (7,200 sq. ft. residential)</u>
Total with Density Transfer:	72 SFEs (85,340 sq. ft.)

Proposed:

Residential density proposed:	66.68 SFEs (80,025 sq. ft. residential)
Commercial density proposed:	2.77 SFEs (2,772 sq. ft. commercial)
<u>Gondola mid-station* (commercial):</u>	<u>0.12 SFEs (120 sq. ft. commercial)</u>
Total proposed:	69.57 SFEs (82,917 sq. ft.)

*(\*Note: The existing gondola mid-station on Tract E has used 120 square feet of density, which comes from the density on Tract E, per the Gondola staff report, December 3, 2004. Also, the sales center, which counts as density, will be removed from the site prior to the start of construction, so these numbers do not include the density of the sales office which is 240 square feet.)*

<b>Mass:</b> Allowed under existing Master Plan:	91,050 sq. ft.
Commercial density/mass (no bonus):	5,300 sq. ft.
<u>Additional mass with density transfer:</u>	<u>9,000 sq. ft.</u>
Total allowed after density transfer:	105,350 sq. ft.

Mass bonus for extra amenities (Tract E):	2,287 sq. ft.
<u>Amenity mass transferred from Tract C:</u>	<u>3,074 sq. ft.</u>
Total mass allowed:	110,711 sq. ft.

Existing mass (gondola mid-station):	120 sq. ft.
<u>Proposed new mass:</u>	<u>110,544 sq. ft.</u>
Total mass:	110,664 sq. ft.

*(The mass "bonus" for extra amenities is allowed by Policy 24/R, Section D-Meeting and Conference Rooms or Recreation and Leisure Amenities. When provided over and above the required amenities of 1 square foot per 35 square feet of gross dwelling area, this bonus does not count toward the mass or density, up to 200%. In the approved development permit, a portion of the mass bonus for tract C was transferred to Tract E. Also, the sales center, which counts as density, will be removed from the site prior to the start of construction, and so these numbers do not include the density of the sales office which is 240 square feet.)*

<b>Height:</b>	Recommended:	26' mean (2 stories)
	Proposed:	38' mean (1 story over)
<b>Lot Coverage:</b>	Building / non-Permeable:	51,515 sq. ft. (27.07% of site)
	Hard Surface / non-Permeable:	32,389 sq. ft. (17.02% of site)
	Existing Gondola Mid-Station:	9,689 sq. ft. (5.09% of site)
	Open Space / Permeable Area:	96,764 sq. ft. (50.82% of site*)
	<i>(*Note: This includes only open space on Tract E-1. It does not include Tract E-2, which will be donated to the Town of Breckenridge per the earlier Development Agreement.)</i>	
<b>Parking:</b>	Required:	81 spaces (residential)
	Required:	9 (commercial)
	<hr/>	
	Total required:	90 spaces
	Proposed:	90 spaces
<i>(Note: All parking is proposed below the building. There will also be a few short-term parking spaces at the porte-cochere for check-in and shuttle vans, which have not been counted toward the parking provided.)</i>		
<b>Snowstack:</b>	Required (25% of non-snow melted areas):	28 sq. ft. (25%)
	Proposed:	110 sq. ft. (97%)
	<i>(Note: The driveway at the porte-cochere and access to the service area and underground parking will be heated with a snowmelt system. In addition, all of the pedestrian pathways at the sides and rear of the building will be snow melted, but adequate space has been provided for snow stacking, if needed. A covenant will be required guaranteeing maintenance of the snowmelt system).</i>	
<b>Setbacks:</b>	Front/East: 15 ft.	Rear/West: 50 ft.
	Side/South: 85 ft.	Side/North: 31 ft.
<b>Bedrooms:</b>	Allowed (Tract E, per Development Agreement):	146
	Proposed:	123

### **Item History**

In March 2007 the Town Council approved a Development Agreement with AZCO II for the development of two lodge buildings in Shock Hill (Tract C and E). The Development Agreement authorized the transfer of up to 39 SFEs of residential density to Tract C and Tract E. In exchange, the applicant agreed to develop Tract C as a condo-hotel (which was zoned for townhome or multifamily per the master plan) as well as a condo-hotel on Tract E (which was a permitted use per the master plan). All parking was to be underground parking for the condo-hotels. The condo-hotel footprint, which was identified in the Development Agreement, resulted in the greater likelihood of “hot beds” (rental units) and less site impacts near an environmentally sensitive area. Furthermore, the applicant agreed to best management practices during construction, donation of public open space to the town, and other design features which the Town Council determined were in the best interest of the community and adjacent Cucumber Gulch Preserve wetlands.

The review of this project went through several public hearings with both Planning Commission and Town Council. Issues discussed included traffic impacts, environmental impacts, building heights, materials, site plan, landscaping, and trails and open space.

This site plan and architecture of the Shock Hill Lodge project, as well as the amendment to the Shock Hill Master Plan, were approved by the Planning Commission and Town Council in 2008. The project never began construction, and the applicants received approval in December 2010 to extend the duration of the development permit, and the vested property rights, for three more years. A variance to Policy 47/A, *Fences* was proposed with the 2010 extension as the policy had changed since the original 2008 approval. However staff was in the process of modifying the policy in 2010 and the Commission thought it best to include the fence types into the policy exemptions. If the policy did not include all of the exemptions, a condition of approval was added that would require the applicant to file a class D permit for the fence.

The property later went through the foreclosure process. The new owners of Tracts C and E sold Tract C which underwent a master plan modification for 15 duplex units, approved by the Planning Commission August 28, 2012 and Town Council September 4, 2012. The duplexes are currently under construction.

### **Development Agreement**

Following are the key points from the Development Agreement approved by the Town Council in March 2007, and how it relates to development of this site.

The Development Agreement with AZCO II allows for the transfer of up to 39 SFEs of density from the Upper Blue Density Bank to Tracts C (33 SFEs)\* and Tract E (6 SFEs). \*Note that because of the 2012 master plan modification to allow duplex units, Tract C will not require any density to be transferred to the site. The agreement identified design criteria that are above and beyond those otherwise required by Town Codes. These include:

- Developing the site plan in a manner “substantially similar” to the plan shown to the Town Council.
- Operating the lodge as a condo-hotel, with a density multiplier of 1,200 square feet per SFE.
- Purchase any extra density from the Density Bank, and pay the “then current price” for the density.
- Dedicate Tract E-2 to the Town as public open space.
- Operate a shuttle service for guests of both Tracts C and E.
- Record a covenant requiring replacement of trees that die that were identified as being saved as a result of Tract C being developed as a condo-hotel, rather than townhomes.
- Design buildings using best efforts to mitigate the visual impacts of the development from the areas of Cucumber Gulch to the west of the Tracts to the extent practical.
- Implement all appropriate provisions of Section 11 and Section 12, Best Management Practices, of the Town’s “Cucumber Gulch Overlay Protection District Ordinance”.
- Construct a buck-and-rail fence on the downhill side of the Town’s trail located to the west of Tract E, if requested by the Town.
- Place signs on the property at key access points to Cucumber Gulch, containing information concerning the importance of the Gulch, its ecological function, the presence of the Boreal Toad, the prohibition of dogs and the importance of staying on established trails. Similar signs shall be placed in the lobby and the individual units.
- The building on Tract C shall not exceed 125 bedrooms; the building on Tract E shall not exceed 146 bedrooms.

The agreement also indicates that the requirement to provide any of these elements above and beyond the Town Codes does not preclude the applicant from earning possible positive points under the applicable Development Code policies.

## Code Changes Since Approval in 2008

Under Section 9-1-17-11 Vested Property Rights (I) Extension Of Vested Property Rights:

*... No extension of a vested property right may be approved unless the approved project complies with all town land use laws in effect at the time of the extension request. The planning commission may approve the requested extension, deny the requested extension, or approve the requested extension with conditions. If an extension is granted, the planning commission shall fix the period of extension which may be up to and including a period of three (3) years. (Ord. 8, Series 2013)*

Since this project was approved in 2008, there have been a few changes to the Development Code that relate to this project for which the applicant must comply with. These include:

**Policy 22 (Absolute) and (Relative) Landscaping:** These policies outline specific criteria for landscaping points as well as required fire mitigation and defensible space from structures.

**Policy 33 (Relative) Energy Conservation:** This policy was modified to allow for positive points for energy conservation features and negative points for excessive energy usage components.

**Policy 46 (Absolute) Exterior Lighting Policy:** This policy was adopted after the applicant had submitted their development application, but before the application was formally approved. This policy sets design criteria for exterior lighting with the goal of protecting the night sky, minimizing glare, and improving aesthetics.

**Policy 47 (Absolute) Fences, Privacy Gates and Gateway Entrance Monuments:** This policy was adopted to maintain the open and natural character of the town, to prevent hindering of wildlife movement, and to prevent fences and gates that create an unwelcoming community. The policy allows fences in certain circumstances, and sets design criteria where fences are allowed. This policy was modified since the 2010 development permit renewal. The applicant must receive a variance for the fence adjacent to what will be conveyed as public open space (Tract E-2).

### Staff Comments

The analysis of the policies below remain primarily unchanged from the 2010 development permit renewal, master plan modification and fence variance as no changes have been made to the Tract E application. Staff has added some additional analysis on polices which have changed since.

### Policy Changes Since First Development Permit and Master Plan Modification Extension December 2010:

**Required Fire Mitigation (Policy 22/A):** This policy modification, effective 2011 is applicable to new structures. As this policy may modify over time, staff would support a Condition of Approval that the plans reflect the current required fire mitigation “Prior to the Issuance of a Building Permit”.

**Energy Conservation (Policy 33/R):** This policy encourages the use of renewable sources of energy, and systems that will help to conserve energy.



<u>Point Range</u>	<u>Design Feature</u>
1x(-3/0)	Heated driveway, sidewalk, plaza, etc.
1x(-1/0)	Outdoor commercial or common space residential gas fireplace (per gas fireplace)
1x(-1/0)	Large outdoor water features (per feature)

The proposed project includes significant areas of heated driveways and walkways to melt snow, which use significant amounts of energy. As a result, staff recommends that a new negative three point (-3) award be added to the Point Analysis. In addition, two outdoor fireplaces are proposed. Staff recommends a new negative two point award (-2) for the outdoor fireplaces.

**Exterior Lighting (Policy 46/A):** A lighting plan and photometric plan have been submitted. All proposed exterior lighting meets the Town’s exterior lighting policy. All exterior fixtures are fully shielded, and the photometric plan meets the requirements for this lighting zone.

**Fencing (Policy 47/A):** Fencing is proposed in three areas of the site. These include near the gondola (for pedestrian safety), along the rear of the site (to control access to Cucumber Gulch), and at the rear of the building (to prevent unauthorized access to the pool and spas). Policy 47 prohibits most types of fencing in town. However, we believe that the fences around the pool and ski lift are exempt from the policy, since they are required for public safety. Policy 47, Section C exempts “*Fences around ball fields, tennis courts, swimming pools, ski lifts and other outdoor recreation areas;*” This exemption is intended to improve public safety. The fence at the spas and pool is required for liability reasons, and would not be visible from the public right-of-way. This fence is proposed of black welded steel which meets code.

The fence around the gondola station is a split rail along with landscaping. The applicant worked closely with the former Lift Director at the Breckenridge Ski Resort concerning pedestrian crossings beneath the gondola, pedestrian pathways to the gondola and adjacent landscaping. A small split rail fence is also proposed, to keep pedestrians from walking under portions of the gondola with low clearance. The Lift Director approved each of these design elements. There is no change proposed, Staff has no concerns.

The fence along access routes to the gulch would also be split rail, in locations determined by the Open Space and Trails division. The applicant needs a fence variance from Policy 47/A for the fence between the private property and the Cucumber Gulch. This was previously requested by the Town as there was concern that access to the Gulch should be controlled.

Per Policy 47/A, fences are allowed abutting public spaces with the following conditions:

*C. Outside the Conservation District: Fences and landscape walls are prohibited outside the Conservation District, except the following fences are permitted when constructed in accordance with the design standards described in section D of this policy:*

*12. Private fences to delineate the boundary between private land and a public trail or public open space, but only if authorized by a variance granted pursuant to section K of this policy.*

***K. The planning commission or town council may authorize the erection of a private fence to delineate the boundary between private land and a public trail or public open space by granting a variance from the limitations of this policy. A variance shall be granted under this subsection J only upon the written request of the applicant, and a finding that the applicant has satisfactorily demonstrated that: 1) the fence is needed in order to reduce public confusion as to the location of the boundary between the applicant's land and the public trail or public open space; 2) the applicant's inability to erect the fence would present a hardship; and 3) the purposes of this policy will be adequately served by the granting of the variance. No variance shall have the effect of nullifying the intent and purpose of this policy. Section 9-1-11 of this chapter is not applicable to the granting of a variance to erect a private fence to delineate the boundary between private land and a public trail under this section. (Bold added.)***

Staff supports granting the variance based on the following criteria:

*1) the fence is needed in order to reduce public confusion as to the location of the boundary between the applicant's land and the public trail or public open space;*

There were concerns from the Town that guests of the lodge would be inclined to wander into the Gulch without realizing the use restrictions for the area. Signage was required on the property as well as in each lodging room providing information on the use restrictions. A fence will assist in further reducing confusion.

*2) the applicant's inability to erect the fence would present a hardship; and*

The applicant's inability to erect a fence would make it more difficult to control guest use in the Gulch.

*3) the purposes of this policy will be adequately served by the granting of the variance.*

The fence is designed as a split rail fence and meet the criteria of Policy 47/A. The fence will act as a visual barrier to delineate private property from the Cucumber Gulch open space.

#### **Staff Comments**

Staff believes that, per Policy 47/A, a fence is warranted in this area to delineate private/public boundaries. There is an existing trail and easement on the property connecting Carter Park to properties to the south and there are plenty of existing picnic/recreational areas in the park. The placement of the fence is desired to eliminate confusion and to reduce the risk of liability of uninvited people getting injured on private property.

The Planning Commission discussed the fence design and locations at the December 2010 hearing and voiced support that the fences met the policy and therefore did not require a variance to the Development Code. There is no change, staff has no concerns.

**(The following policies below have not been affected by any recent Development Code changes and are presented primarily unchanged).**

**Master Plan (39/A):** The applicant is proposing to renew the Shock Hill Master Plan modification as part of this proposal, which would increase the density by six (6) residential SFEs for Tract E for a “condo-

hotel”. This designation allows the construction of residential units with kitchens. Staff has no concerns with this extension.

**Land Use (Policies 2/A & 2/R):** The site is still proposed as a condo-hotel, including a 24-hour front desk, centralized telephone system, food service, meeting rooms and amenities. A small commercial spa and commercial bar/café are also proposed. The applicant has selected to provide most of the required areas as amenities (spas, fitness center, pool, etc.) rather than meeting rooms, which is allowed in the current Development Code. Only one small meeting room (326 square feet) is proposed, adjacent to the administration area. In addition, the building on Tract E will accommodate some of the amenities that were required for the previously approved lodge building on Tract C. This “total” mass bonus was approved and was included in the Findings and Conditions. No change is proposed.

**Density/Intensity (3/A & 3/R)/Mass (4/R):** With the proposed density transfer and Master Plan modification, the project will be within the allowed density. A density transfer certificate from the Upper Blue Transfer of Development Rights program will be required prior to the issuance of a building permit, and has been made a Condition of Approval.

**Architectural Compatibility (5/A & 5/R):** Per this section of the code:

*A. General Architectural And Aesthetic Compatibility: All proposed new developments, alterations, or additions are strongly encouraged to be architecturally compatible with the general design criteria specified in the land use guidelines. It is strongly encouraged that cut and fill slopes be kept to a minimum, and that the site, when viewed from adjacent properties, be integrated into its natural surroundings as much as possible. In addition, excessive similarity or dissimilarity to other structures existing, or for which a permit has been issued, or to any other structure included in the same permit application, facing upon the same or intersecting streets within the same or adjacent land use districts is discouraged. This section only applies to areas outside of the historic district. (Ord. 19, Series 1995)*

No changes are proposed to the architectural style or materials. The building evokes the characteristics of a grand lodge, with large sheltering roofs, heavy exposed timbers, natural stone and timber siding, exposed rafter tails, plenty of gable and shed dormers, and steeply pitched roofs.

Staff recommends positive three (+3) points under policy 5/R-Architectural Compatibility, for the overall architectural design. This point recommendation remains the same as the final approval in 2008 and the extension approved in 2010.

**Building Height (6/A & 6/R):** *The height of a building has many impacts on the community. Building heights that exceed the Land Use Guidelines can block views, light, air, and solar radiation; they can also disrupt off site vistas, impact scenic backdrop and penetrate tree canopies that provide screening to maintain a mountain forest character. It is encouraged that the height of new buildings be controlled to minimize any negative impacts on the community.*

Land Use District 10 recommends buildings no taller than 2 stories, or 26’ to the mean elevation of the roof. As proposed, staff has measured the building at 38’ to the highest mean elevation. This equates to negative ten (-10) points, for exceeding the recommended height by 1 story (12’).

*(b.) For all structures except Single Family and Duplex Units outside the Historic District: Additional negative or positive points may be assessed or awarded based upon the Planning Commission's findings of compliance with the following:*

- 1 x (-1/+1)      1. It is encouraged that buildings incorporate the upper most story density into the roof of the structure, where no additional height impacts are created.
- 1 x (-1/+1)      2. Buildings are encouraged to provide broken, interesting roof forms that step down at the edges. Long, un-broken ridgelines, 50 feet or longer, are discouraged.

There has been no change to the elevations proposed by the applicant. Staff appreciates the way that the building steps with the natural grade of the site. The taller sections are on the north side of the building, and the roof form steps down as the site slopes to the south. We believe that the plans show a good job of incorporating density into the roof of the building, which is encouraged, especially where the building exceeds the recommended height. The roof is also broken up well with a variety of pitches and roof types. Staff recommends a total of two (+2) positive points for these two features.

**Site Plan:** No changes are proposed to the site plan. The footprint location matches the exhibit in the Development Agreement, and is exactly the same at the rear of the building, which is 312' from the Gulch. (See Sheet A1.11)

**Site and Environmental Design (7/R):** *The Town hereby finds that it is in the public interest for all sites within the community to be designed, arranged, and developed in a safe and efficient manner. The arrangement of all functions, uses, and improvements should reflect the natural capabilities and limitations of the property. This policy is also intended to discourage levels of development intensity that result in generally compromised site functions, buffering and aesthetics. Taking into consideration the basic character of the site and the nature of the proposed uses, the development should be visually harmonious as perceived from both the interior and exterior of the project. Platted lots with building envelopes, site disturbance envelopes, or designated building locations are still subject to the following rules and recommendations unless noted otherwise.*

No changes are proposed to the site from the plans approved in 2008. A variety of surfaces are proposed for the pathways, including colored concrete for the driveways, irregular and rectilinear stone paving, and stepping-stones. Landscape boulders will be used throughout the site as an accent along pedestrian paths.

2X(-2/+2)      C. *Retaining Walls: Retaining wall systems with integrated landscape areas are encouraged to be provided to retain slopes and make up changes in grade rather than cut/fill areas for slope retention.*

*Retaining wall systems made of, or faced with, natural materials such as rock or timbers are preferred. Other materials that are similar in the nature of the finishes may be considered on a case-by-case basis, but are not recommended for use in highly visible locations.*

*Smaller retaining wall systems, up to 4 feet tall, that incorporate vegetation between walls without creating excessive site disturbance are preferred. It is understood that, depending on the slope of the site, the height of retaining walls may vary to minimize site disruption. If an alternative site layout that causes less site grading and complies with all other relevant Development Code policies is viable, then it should be strongly considered.*

No changes have been proposed to the grading or retaining walls. Retaining walls will be either dry stacked or structured and faced with natural stone. Staff notes, however, that in some of these areas, the retaining

walls will still be quite tall. Retaining walls up to 10-feet tall are proposed at the rear of the building. Also, near the entrance to the parking garage, walls up to 16-feet tall are necessary to retain the grade to the north and to allow for parking below the building. However, these walls are proposed in lieu of significant site grading, and will help to preserve existing trees. Tall retaining walls have been separated into two walls, with landscaping proposed between the walls. This will help to soften the impact of the wall with the introduction of trees and shrubs. Staff supports this design. We recommend positive two points (+2) under this policy.

**Ridgeline and Hillside Development (8/A):** As approved, the project was determined to be “hillside or ridgeline development”. This is due primarily to the topography of the site, and the locations of parts of the building close the ridge. Where development is permitted on or near ridgelines, the development must be designed to follow certain standards. These standards address site planning, site grading, cut and fill, retaining walls, design of structures, exterior materials, existing and proposed vegetation, tree canopy, and exterior lighting. Following is an explanation of how this project responds to these design criteria:

Site Plan: The northwest corner of the building was previously shifted to the east, away from the ridge by about additional 35 feet. This change resulted in increased setbacks and also additional tree preservation. All driveways are on the east side of the building, away from ridges and areas of concern. An emergency access road is proposed along the south side of the building, next to the gondola.

Site Grading/Cut and Fill/Retaining Walls: There is no significant cut or fill visible from the Gulch. The grading at the rear of the building has been reduced to preserve additional trees on the west side of the building, adding buffer. Retaining walls are proposed on the west side, but these would only be visible from within the project. All retaining walls will be faced with natural stone to match the building.

Design of Structures: The building responds to the natural topography of the site, and steps down as the grade steps. Roofs are broken up well, with a variety of planes, pitches and roof types. The building is broken into distinct modules and facades. All windows use non-reflective glass.

Exterior Materials: All natural exterior materials are proposed. This includes large exposed timbers, wood siding and natural stone. The siding is proposed with a dark stain to blend into the background.

Existing and Proposed Vegetation: As mentioned above, the site plan was previously revised to preserve additional trees on the downhill side of the building. A comprehensive landscaping plan is proposed to supplement the existing forest, including new plantings that include some very large trees to provide additional screening.

Tree Canopy: The tree canopy on Tract E is approximately 45-55 feet tall. The tallest parts of the building are about 52 feet to the ridge, which is near the main entrance (eastern part) of the building. The existing trees on the west side of the site should help to significantly buffer the building when viewed from Cucumber Gulch to the west.

Exterior Lighting: Exterior lighting is designed to minimize off site visibility and glare. All proposed lighting meets the new lighting policy with the use of fully shielded fixtures, and a lighting plan has been submitted.

Staff believes that the proposed design meets the design requirements of Policy 8/A- Ridgeline and Hillside Development.

**Placement of Structures (9/A & 9/R):** The location of the building is virtually identical to the site plan exhibit in the approved Development Agreement. The agreement indicates that the development plans need to be “substantially similar” to the exhibit site plan. As you can see from the site plan submitted for the Development Agreement (Sheet A1.11), the building was shown approximately 30’ from the right of way, and was approved 37’ away, except for the porte-cochere. The main body of the building was 164’ from the eastern property line, and is now 171’. Most importantly, the rear setback (from Cucumber Gulch) was 312’ in the agreement, and is now 312’.

**Access / Circulation (16/A & 16/R; 17/A & 17/R):**

3 x (-2/+2)

*A. Accessibility: It is encouraged that internal circulation systems provide the types, amounts, and locations of accessibility needed to meet the uses and functions of the movement of persons, goods, services, and waste products in a safe and efficient manner, with maximum use of pedestrian orientation, and a minimum amount of impervious surfaces. Internal circulation elements should be designed in such a manner that the elements are integrated with each other as well as possible, and that conflicts between elements are minimized. The following represent the criteria utilized to analyze how well the project has met this particular policy.*

*(1) Pedestrian Circulation: Whenever appropriate to the type and size of the development, the inclusion of a safe, efficient and convenient pedestrian circulation system is encouraged. The provision of pedestrian circulation areas adjacent to and at the same level as adjacent sidewalks is strongly encouraged.*

*(2) Separation Of Systems: The separation of circulation systems and patterns which are basically incompatible is encouraged.*

*(3) Delivery Areas: Delivery areas and refuse pickup should be located away from public spaces.*

Vehicles access the building from a driveway on the northeast side of the site, with temporary parking at the porte-cochere near the main entrance. Separate service access is provided for trash and deliveries. Emergency access is provided on the south side of the site, adjacent to the gondola. Good pedestrian circulation was proposed, with access to Tract C along the sidewalk or via a pedestrian pathway at the rear of the buildings. However, as Tract C has developed into duplex lots rather than a lodge, providing pedestrian connection from Tract E to Tract C is no longer necessary. A revision to the plan to show the pedestrian connection removed as been added as a Condition of Approval.

Staff is pleased with the access design. Pedestrian and vehicle circulation is still separated. Staff supports the proposed circulation plan, and we recommend three (+3) points for separation of uses as approved with the original development permit.

**Parking (18/A & 18/R):**

2 x (-2/+2)

*(1) Public View: The placement and screening of all off street parking areas from public view is encouraged.*

No change is proposed for the parking. All parking is still proposed below the building, except for a few short-term spaces near the porte-cochere, for check-in and shuttle vans.

Staff recommends positive four (+4) points under Policy 22/R providing for all the required parking below the building and out of public view.

**Landscaping (22/A & 22/R):** The current landscaping plan includes 119 conifers and 113 aspen. The conifers include a mix of fir and spruce trees. They range in size from 8 feet to 24 feet tall. Aspen trees range from four-inch to six-inch caliper. This remains as some of the largest trees we have seen proposed on projects in Breckenridge. In addition, a substantial shrub, perennial and ground cover plan is proposed. A covenant will be recorded requiring replacement of dead trees.

As a comparison, three similarly sized multi-family projects are listed below. Each received positive four (+4) points under policy 22/R-Landscaping:

Project	Conifers	Deciduous	Points
VRDC at Peak 7	110 (6'-12' tall)	237 (1"-3" caliper)	+4
Grand Timber at Peak 7	110 (6'-18' tall)	235 (1"-3" caliper)	+4
Mountain Thunder, Phase I (3 buildings)	283 (8'-24' tall)	150 (1.75"-3" caliper)	+4
Tract E, Shock Hill	119 (8'-24' tall)	113 (2"-4" caliper)	?

The proposed plan includes more evergreen trees but significantly fewer deciduous (aspen) trees from these similar projects. However, the proposed plan also includes significantly larger conifer and aspen trees, with a minimum caliper of two-inches, up to a maximum of four-inches. These are very large trees that will have an immediate impact. The very tall conifers will help to provide additional screening. Many of the larger conifers are proposed to the west at the rear of the building to help further buffer the site when viewed from Cucumber Gulch. Staff recommends positive four (+4) points under Policy 22/R-Landscaping.

**Social Community / Employee Housing (24/A & 24/R):** No on-site employee housing is proposed. Employee housing will be provided off-site, with a minimum of 3,848 square feet of deed-restricted employee housing (4.51% of the density) proposed, as identified in the Development Agreement. The agreement indicates that the applicant will provide sufficient employee housing in a manner as to achieve zero or more points under this policy. This has been made a condition of approval, "Prior to Issuance of a Certificate of Occupancy" for this site.

**Drainage and Stormwater Management (27/A & 27/R):** A stormwater management plan was provided for the initial review of this project. A variety of systems are proposed to improve water quality and minimize the impacts to Cucumber Gulch. These include sedimentation ponds, silt fencing and hay bales during construction, and a series of detention ponds, drywells, bio-swales and mechanical treatments units for post-construction. It is anticipated that the locations of detention ponds and swales will be the same or very similar during construction and post-construction. No changes are proposed since the last meeting however, as Tract C was contemplated to be almost a combined site in relation to drainage, the Engineering Department would like a Condition of Approval that the plans be revised to provide for all drainage and stormwater management on Tract E.

During construction, vehicle tracking and tire washing stations would be used at entrances to the site to prevent silt runoff. Inlet protection would also be provided at all existing culverts within 500 feet from the project site. We have added a Condition of Approval requiring a covenant for the maintenance of the detention ponds and other water quality features.

Staff notes that we have verified that water from the swimming pool and spas will not be drained to Cucumber Gulch, but will rather flow to the sanitary sewer system. The Breckenridge Sanitation District has approved this method of spa and pool water disposal in this case.

**Water Quality Monitoring:** The applicant submitted a comprehensive water-quality monitoring plan, prepared by their consultant, Peggy Bailey, Senior Hydraulic Engineer with Tetra Tech. The plan includes four surface water and three ground water testing sites, with final site locations to be agreed upon between Tetra Tech and ERO Resources. Groundwater would be sampled and tested monthly for a variety of possible contaminants. Surface water would be sampled and tested more frequently, including:

- May 1-June 1: Weekly for six weeks and after a storm event
- June 15-September 1: Every six weeks and after a storm event
- September through November: Monthly and after a storm event
- December-April: Monthly and after a storm event

Barbara Galloway, from ERO Resources and Ken Kolm, from Hydrologic Systems Analysis (groundwater consultant), reviewed the plan. The Town's consultants and the applicant's consultant discussed the monitoring approach, and agreed to the number of testing sites as well as the list of contaminants to be tested. Surface water would be monitored at the ponds in the gulch. Ground water would be monitored both at the rear of the development site and at the bottom of the hill, outside of the gulch. We believe that this is a comprehensive approach to testing both surface and ground water. No significant impact is expected to the quantity of ground water. Implementation of this water quality testing monitoring plan has been made a Condition of Approval.

**Transit (25/R):** A shuttle service is proposed which would provide access around town by an on-call shuttle service. The shuttle would provide a great guest benefit, and would also help by eliminating many private vehicle trips around town, and freeing up parking spaces downtown. In addition to reducing local traffic and parking congestion, the shuttle will allow guests to arrive in Breckenridge via a common carrier (CME, for example) and avoid renting a car. The hours of operation have not yet been established. Staff suggests that the shuttle operate at a minimum from 8:00 AM until 11:00 PM, seven days per week, which has been made a Condition of Approval.

Staff recommends positive four (+4) points for this project for the provision of a shuttle service. This is consistent with similar projects that have operated shuttle systems. A covenant guaranteeing operation of the shuttle service in perpetuity has been made a Condition of Approval.

**Amenities and Meeting Rooms (Policy 24/A & 24/R-Social Community):** All condo-hotels are required to provide a minimum of one square foot of meeting rooms or amenities for every 35 square feet of gross dwelling area. In addition, developments are encouraged to provide greater amounts of amenities and conference facilities. Specifically, the policy states *“The provision of meeting and conference facilities or recreation and leisure amenities, over and above that required in subsection A of this policy is strongly encouraged. (These facilities, when provided over and above that required in subsection A of this policy, shall not be assessed against the density and mass of a project when the facilities are legally guaranteed to remain as meeting and conference facilities or recreation and leisure amenities, and they do not equal more than 200 percent of the area required under subsection A of this policy.)”*

For this project, 2,287 square feet of amenities are required (plus another 2,287 are allowed). For a lodge on Tract C, 1,954 square feet was required (plus an additional 1,954 square feet are allowed). This makes a



minimum of 4,241 square feet of amenities when the two building were combined (with a maximum allowed of 8,482 square feet). The applicant proposed to provide most of the amenities on Tract E (including some of the required amenities for the previously approved Tract C). This allowed for more amenities within Tract E, which would otherwise not be allowed without counting toward the allowed density. Following are the proposed amenities in Tract E:

Conference room (adjacent to administration):	326 square feet
Ski Valet/Boot Storage (Level P1):	804 square feet
Spa/Fitness (not including 1,436 square feet commercial):	3,506 square feet
Lodge Room (not including 152 square feet bar commercial):	2,802 square feet
<u>Business Center (adjacent to Lobby):</u>	<u>210 square feet</u>
Total:	7,648 square feet

**Signage:** The only signage that will be allowed at the site will be the standard building identification sign, which will require a separate permit. Staff notes that a large portion of the spa proposed is the commercial aspect of the spa. Per the earlier Development Agreement, outside signage and off-site advertising is prohibited. This has been made a Condition of Approval.

**Special Areas (Policy 37/R):**

*D. Cucumber Gulch Overlay Protection District: Within the Cucumber Gulch overlay protection district and the protective management area, as defined in the land use guidelines:*

*2 x (0/+2) Development should be designed to maximize the distance between disturbances and the PMA. Buildings and landscaping should be concentrated to maximize areas left undisturbed as potential habitat.*

*1 x (0/-2) Impervious surfaces should be minimized. (Ord. 9, Series 2000)*

Since the original permit for the Shock Hill Lodge was submitted while the Shock Hill Master Plan was still vested, the project was originally not subject to the Cucumber Gulch Overlay Protection District. However, the vesting of the Shock Hill Master Plan expired in 2008, which made this ordinance applicable to this development in the 2010 extension application. Following is some language from the Cucumber Gulch Overlay Protection District ordinance:

*Section 9. Intent. This Ordinance is not intended, nor shall it be construed, to impair any vested property right, or any currently enforceable contractual right creating similar legal protection, if any, which exist at the time of the adoption of this Ordinance. Notwithstanding the provisions of Section 10, this Ordinance shall not apply to the owner of any lot or tract or similar subdivided parcel of land in a subdivision which is platted within any current or extended vested property right period, and such owner may construct improvements upon such lot or tract or similar subdivided parcel of land in accordance with (and subject to) the provisions of the Breckenridge Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code), without being subject to these Regulations.*

A Development Agreement with Shock Hill Development LLC from February 15, 2000, also states:

*“F. By this Agreement, the Town and Master Developer intend to enter into such agreement for the purpose of extending the vested property rights period for the Master Plan to December 31, 2008, subject to the terms and conditions hereafter set forth.”*

*“5. During the vested property rights period, as extended by this Agreement, none of the provisions of the Cucumber Gulch Overlay Protection District ordinance, if and when adopted, and as it may be amended from time to time, shall apply in any way to the Subdivision or any permits or approvals relating to the development of the Subdivision.”*

The Cucumber Gulch Overlay Protection District was the same ordinance that adopted paragraph D of Policy 37/R, above. Since the Shock Hill Master Plan and Subdivision were no longer vested in the 2010 extension review, negative two points (-2) were assigned under this policy for impervious surfaces.

**Construction Management Plan:** The applicant has submitted a construction management plan. The plan addresses such issues as noise mitigation, construction staging, storage of materials, air quality and dust control, traffic, construction parking, and safety of passengers. Two points of the plan that will need to be revised include the hours of operation, and traffic access. The hours are listed as 6:00 AM – 6:00 PM during mid-April to the end of May. However, the Town noise ordinance prohibits construction noise before 7:00 AM on any day. Also, the section on Street Usage will be required to note that access will not be allowed from the 50’ Emergency Access, Utility and Drainage Easement at the end of the Shock Hill Drive cul-de-sac. These changes have been added as Conditions of Approval.

**Point Analysis:** Staff finds that the proposed project meets all Absolute polices of the Development Code with the exception of Policy 47/A Fences for which a variance is requested and the Shock Hill Master Plan.

Staff recommends positive points under Policy 5/R-Architectural Compatibility (+3 points), 6/R-Building Height (+2 points), 7/R-Site and Environmental Design (+2 points), 15/R-Refuse (+1 point), 16/R-Internal Circulation (+3 points), 18/R-Parking (+4 points), 22/R-Landscaping (+4 points), and 25/R-Transit (+4 points). We recommend negative points under policy 6/R-Building Height (-10 points), Policy 33/R-Energy Conservation (-5 points), and Policy 37/R (-2 points). This would result in a passing score of positive six (+6) points.

### **Staff Recommendation**

This project went through a significant analysis by the staff, Commission and Council throughout 2007 and 2008 and again in 2010. We feel that this project is still appropriate for the community, and this design is optimal for this site.

The use of natural exterior materials, excellent architecture, and a strong landscaping plan will help to make this a premiere development in Breckenridge. We appreciate the applicant’s response to staff input and the changes that have been made. We appreciate the attention to detail, and the sensitivity to Cucumber Gulch, including the water quality monitoring.

Staff recommends approval of Shock Hill Lodge and Spa, Tract E and the Shock Hill Master Plan Second Extension and variance to Policy 47/A Fences (Class B, Combined Hearing, PC#2013095), with the attached Point Analysis and Findings and Conditions.

We note that this application has been advertised as a combined hearing (preliminary and final hearing together), as we believe that the project has been thoroughly scrutinized in past years. However, we understand that this is a large project, and if the Commission needs additional information, or if the Commission is not comfortable approving this project after one hearing, staff suggests that you consider

this a preliminary hearing, continue the hearing, and direct staff to the additional information be needed for approval.

<b>Final Hearing Impact Analysis</b>				
Project:	Shock Hill Lodge, Tract E Permit Extension	<b>Positive</b>	<b>Points</b>	<b>+23</b>
PC#:	2013095			
Date:	10/29/2013	<b>Negative</b>	<b>Points</b>	<b>- 17</b>
Staff:	Julia Puester			
		<b>Total</b>	<b>Allocation:</b>	<b>+6</b>
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		Condo-hotel use proposed. Multi-family or lodge use recommended per Shock Hill Master Plan
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		Master Plan modification proposed, to include density transfer from Upper Blue Transferable Development Rights program. Project will be within allowed density after density is transferred.
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		Note that a portion of the mass bonus for amenities was transferred from Tract C to Tract E.
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)	+3	High quality design, use of all natural materials, all natural stone, varied roof forms, large roof overhangs, many changes to wall planes and high quality materials.
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)	- 10	Project is one story over recommended height. 38' tall at highest point.
6/R	Density in roof structure	1x(+1/-1)	+1	Good job of incorporating density into the roof with multiple dormer windows.
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)	+1	Good job of varying the roof form, stepping roof with terrain, and avoiding long, unbroken ridge lines.
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		Building blends well into site and follows natural contours.
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		Minimal regrading proposed.
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		Good buffering maintained and added with landscaping.
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)	+2	Good use of retaining walls to minimize cut regrading, and to preserve trees. Terraced walls with landscaping proposed. All walls are faced with natural stone.
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		

8/A	<b>Ridgeline and Hillside Development</b>	Complies		Good tree buffer is maintained and enhanced with new landscaping, use of natural materials with dark colors, not reflective roofs, and non-reflective glass.
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		All signs will require separate sign permit. No commercial signage allowed outside or off site advertising allowed.
13/A	<b>Snow Removal/Storage</b>	Complies		All driveways and most sidewalks are heated.
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)	+1	Dumpster is incorporated into building with separate service access.
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)	+3	Good pedestrian circulation and good separation of systems. Good access to gondola.
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)	+4	All required parking is below building, out of public view.
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		Project include swimming pool, fitness center, four hot tubs and a commercial spa.
21/R	Open Space - Private Open Space	3x(-2/+2)		About 50% is undeveloped or open space.
21/R	Open Space - Public Open Space	3x(0/+2)		Tract E-2 to be donated to the Town of Breckenridge, per Development Agreement.
22/A	<b>Landscaping</b>	Complies		Required fire mitigation is a Condition of Approval
22/R	Landscaping	2x(-1/+3)	+4	Very good landscaping plan with very large aspen (4" caliper minimum) and spruce (8'-24' tall). All landscaping is on irrigation system.
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)	+4	Guest shuttle will be operated.
26/A	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	Complies		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		Water quality testing and monitoring program proposed. Good stormwater management plan proposed.

32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)	- 3	Most paved surfaces are heated.
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)	- 2	There are 2 outdoor fireplaces.
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		Buildings are setback from Cucumber Gulch, per Development Agreement site plan.
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)	- 2	46% of site is covered by buildings or impervious surfaces.
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		Density will be transferred to this site from Upper Blue Transferable Development Rights program.
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		No exterior loudspeakers will be allowed, per Development Agreement.
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		No public art proposed.
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		All exterior fixtures will be fully shielded.
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		

## TOWN OF BRECKENRIDGE

**Shock Hill Lodge and Spa, Tract E and Shock Hill Master Plan Modification  
Tract E, Shock Hill Subdivision  
260 Shock Hill Drive  
PERMIT #2013095 (A Modification to Original Permit PC#2007108, and #2010068 Extension)**

### FINDINGS

1. The proposed project is in accord with Chapter 1 of Title 9 of the Breckenridge Town Code (“Development Code”), and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated October 28, 2013 and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on November 5, 2013 as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are tape-recorded.
6. The vested period for this master plan expires three (3) years from the date of Town Council approval, on **November 12, 2016**, in accordance with the vesting provisions of Policy 39 of the Development Code. In addition, if this permit is not signed and returned to the Town within thirty (30) days of the permit mailing date, the permit shall only be valid for eighteen (18) months, rather than three (3) years.
7. If the real property which is the subject of this application is subject to a severed mineral interest, and if this application has been determined by the Director to be subject to the requirements of Article 65.5 of Title 24, C.R.S., the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S., and no mineral estate owner has entered an appearance in the proceeding or filed an objection to the application as provided in Article 65.5 of Title 24, C.R.S., to the applicant or the Town.
8. The issues involved in the proposed project are such that no useful purpose would be served by requiring two separate hearings.
9. The property is located on Tract E, Shock Hill Subdivision. As such, the property is also within the Cucumber Gulch Overlay Protection District (but not the Cucumber Gulch Preventative Management Area), which set forth certain design criteria intended to protect the unique biological and environmental character of the Cucumber Gulch Preserve. When this project was first reviewed and approved (on January 22, 2008), the property was not subject to the Cucumber Gulch Overlay Protection District Ordinance, per a Development Agreement with Shock Hill Development, LLC, (reception #617308), approved February 15, 2000, since the Shock Hill Master Plan was vested until December 31, 2008.
10. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of compliance for the project covered by this permit. The determination of whether a certificate of compliance should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

## CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires three years from date of issuance, on November 12, 2016, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right. "Substantial Construction" means the completion of the construction of footings, foundation and the installation of water and sewer service lines for a project. The completion of the foundation must be certified by the Building Official; the installation of the water service lines must be approved by the Town; and the installation of the sewer service lines must be approved by the Sanitation District. If the development permit for a project provides that the project will be constructed in phases, substantial construction must be achieved for each phase within the time period provided in the development permit.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Applicant shall not place a temporary construction or sales trailer on site until a building permit for the project has been issued.
7. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
8. Driveway culverts shall be 18-inch heavy duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.
9. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snow plow equipment from damaging the new driveway pavement.
10. Applicant shall field locate utility service lines to avoid existing trees.
11. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.
12. The building and project identification signs are not authorized by this permit. A separate sign permit is required prior to installing any signs on the property, other than signage that is exempt from the Breckenridge Sign Ordinance.



13. No exterior speakers or other devices for the amplification of sound are permitted on the outside of the building or on the grounds, with the exception of such devices required for emergency use.
14. Applicant shall implement all appropriate provisions (as determined by the Town) of the Town's "Cucumber Gulch Overlay Protection District Ordinance" (Ordinance 9, Series 2000).
15. The swimming pool and spas/hot tubs shall be designed so that when these pools/spas/hot tubs are drained, water flows into the sanitary sewer system. At no time will water from these sources be allowed to drain into the stormwater system, nor toward Cucumber Gulch.
16. An improvement location certificate of the height of the top of the foundation wall, the horizontal location of the foundation wall, and the height of the building's ridge must be submitted to and approved by the Town during the various phases of construction. The improvement location certificate must be stamped and signed by a Colorado registered surveyor, and must be provided to the Town of Breckenridge a minimum of twenty-four (24) hours prior to the requested inspection.
17. Applicant shall reimburse the Town of Breckenridge for all extraordinary review fees and other expenses related to review of the approved or proposed development, including but not limited to environmental consultants and Town Attorney fees.
18. All drainage and stormwater improvements and/or facilities must be located entirely within Tract E and approved by the Town Engineer.
19. Applicant shall comply with the Town of Breckenridge fire mitigation regulations in effect at the time of building permit submittal.

#### PRIOR TO ISSUANCE OF BUILDING PERMIT

20. Applicant shall submit proof of ownership of the project site.
21. Applicant shall submit to and obtain approval from the Town of Breckenridge of a Class B Subdivision permit dividing Tract E, Shock Hill, into two parcels, Tracts E-1 and E-2. Tract E-2, which will be approximately 2.25 acres and is which will be generally downhill and to the west of Tract E-1, as shown on the Development Agreement dated March 13, 2007 (Reception #851343), shall be dedicated to the Town of Breckenridge by general warranty deed in a form and substance acceptable to the Town Attorney. The conveyed property shall be subject to no liens or encumbrances, except the lien of the general property taxes for the year of conveyance.
22. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans. All drainage and stormwater facilities required shall be located within Tract E.
23. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
24. Applicant shall identify all existing trees that are specified on the site plan and modified fire mitigation plan (per Condition #19) to be retained by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
25. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
26. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without

Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit. Construction access shall not be taken through the 50' Emergency Access, Utility and Drainage Easement at the end of the Shock Hill Drive cul-de-sac.

27. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, prohibiting the placement of exterior signage or the use of off-site advertising as they relate to the on-site commercial uses, including but not limited to the spa, bar and café.
28. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring maintenance of the snow melt system for the property in perpetuity.
29. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring all pets to be leashed or contained within enclosures when on the property, and at all times for pets to avoid disturbance of and interference with wildlife within the Cucumber Gulch area.
30. Applicant shall record with the Summit County Clerk and Recorder, the Town's standard Meeting /Amenity/Conference Room Covenant restricting 9,116 square feet of amenities and conference space in Tracts C and E combined, in perpetuity of the project. The covenant shall indicate that the additional amenity space at Tract E is provided in lieu of the required amenities at Tract C and transferred off the site. The covenant shall require that the amenities be owned at all times as common property by an association, and shall not be allowed to be sold or owned by a private individual or entity.
31. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring maintenance of the on-site water quality features for the property (including, but not limited to detention and retention ponds, bioswales, storm water pipes, water quality vaults, etc.) in perpetuity. The covenant shall authorize the Town of Breckenridge to inspect and, if necessary, perform maintenance on these water quality features, and to bill the owner or homeowners association if the Town needs to perform maintenance.
32. Applicant shall revise the Tract E Stormwater Management Plan (Revision date November 26, 2007) to indicate that chain link fencing will be to the outside of the silt fence and hay bales. Applicant shall install construction fencing and erosion control measures according to the Tract E Stormwater Management Plan (Revision date November 26, 2007) and Stormwater Management Details (Revision date November 26, 2007), except as herein revised, along with the Preliminary Construction Activities Stormwater Management Plan for Shock Hill, Tracts C & E, (Revision date December 17, 2007) in a manner acceptable to the Town Engineer. An on site inspection shall be conducted and installation of erosion control measures shall be approved by the Town Engineer prior to start of construction, including prior to tree removal.
33. Applicant shall submit a 24"x36" mylar copy of the final site plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar.
34. Applicant shall submit a 24"x36" mylar copy of a revised Shock Hill Master Plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar. The Master Plan shall reflect the transfer of development rights to the site and the density Tract E, Shock Hill Subdivision.

35. Prior to recording the amendment to the Shock Hill Master Plan, or a notice of approval of a master plan amendment, Applicant shall pay for and obtain a certificate from the Upper Blue Basin Transferable Development Rights Program for six (6) Single Family Equivalents (SFEs) of density to be transferred to Tract E. A copy of the certificate shall be provided to the Town of Breckenridge.
36. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. All exterior lighting shall comply with Chapter 12 of Title 9 of the Breckenridge Town Code.
37. The snow melt system for the property shall be designed and installed so that melted snow is captured by a grate or is otherwise directed away from the public right-of-way. A detail for the design of this feature must be submitted to and approved by the Town Engineer, prior to issuance of a building permit.
38. Applicant shall implement the final water-quality monitoring plan, addressing surface and ground water. The plan shall indicate the final number and location of testing sites, testing method and frequency, and constituents to be tested. The plan shall be substantially similar to the "Shock Hill Tract C and E, Water Quality Baseline Testing Plan", submitted by Peggy Bailey of Tetra Tech, dated December 14, 2007. The final plan shall be reviewed and approved by the Town of Breckenridge or their environmental consultants. The applicant and/or applicant's consultants shall meet with the Town and its consultants on site, prior to start of construction, to determine the appropriate water quality testing locations. Prior to issuance of a building permit, a minimum of six samples shall be collected from each collection site (a minimum of 7 days apart for each site) for both surface and ground water, in order to establish a baseline for water quality. The results of all water quality tests shall be provided to the Town of Breckenridge within three (3) business days form receipt of the results from the testing laboratory. All water quality testing shall be performed in an EPA approved facility. If the water quality testing results indicate that the project is having a negative impact on water quality, the applicant shall meet with the Town as soon as practicable to determine a proper mitigation approach. Water quality testing shall continue for one year after certificate of occupancy is issued.
39. Applicant shall revise "The Shock Hill Lodge & Spa Breckenridge, Colorado Construction Management Plan, 11/14/07, Section 3.0, to indicate that construction hours are limited to 7:00 AM to 7:00 PM, Monday through Saturday. No construction is authorized on any Sunday, or January 1<sup>st</sup>, December 25<sup>th</sup>, or the fourth Thursday of November, observed as Thanksgiving Day. Furthermore, Section 4.8 shall be revised to indicate that the "50' Emergency Access, Utility and Drainage Easement" at the end of Shock Hill Drive shall not be used for construction access, parking or materials storage.

#### PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

40. Applicant shall execute and record with the Summit County Clerk and Recorder the Town's standard employee housing covenant encumbering not less than 3,849 square feet of approved employee housing within the Upper Blue Basin. The Applicant's selection of the employee housing property is subject to Town approval. Applicant acknowledges that the Town's employee housing covenant requires that there be no liens or encumbrances against the employee housing property, except for the lien of the general property taxes for the year in which the covenant is recorded. If this permit requires construction of new employee housing, Applicant also acknowledges that failure to obtain a Certificate of Occupancy for such employee housing may delay the issuance of a Certificate of Occupancy for the development of the property that is the subject of this permit. Applicant is encouraged to satisfy the employee-housing requirement with as many employee-housing units as possible.
41. Applicant shall revegetate all disturbed areas where revegetation is called for, with a minimum of 2 inches topsoil, native seed and mulch.
42. Per the approved Development Agreement dated March 13, 2007 and recorded with the Summit County Clerk and Recorder at Reception #851343, prior to issuance of a Certificate of Occupancy, applicant shall consult with the Town of Breckenridge Open Space and Trails staff, to determine if a split rail fence is needed on the downhill side of the development. If required by the Town, applicant shall install a buck and

rail fence (or other design approved by the Town), in the locations required by the Town, to guide people toward the proper access points to existing trails and to Cucumber Gulch. Applicant shall be required to install and pay all expenses for the design, installation and maintenance of said fence(s).

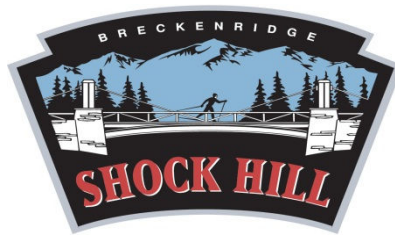
43. Per the approved Development Agreement dated March 13, 2007 and recorded with the Summit County Clerk and Recorder at Reception #851343, prior to issuance of a Certificate of Occupancy, applicant shall consult with the Town of Breckenridge Open Space and Trails staff on the design and content of signage, which shall be placed in locations most likely to be seen by people approaching the Town's Cucumber Gulch property from Tract E-1. The signs shall contain information on the ecological function of the Gulch, the presence of the Boreal Toad, the prohibition of dogs in or near the Gulch, and the importance of staying on established trails. Similar signage and information shall be placed within the lobby or main entrance of the building, and within each residential unit. Applicant shall be required to install and pay all expenses for the design, installation and maintenance of said sign(s).
44. Applicant shall remove leaf clutter, dead standing and fallen trees and dead branches from Tract E and Tract E-2. Dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above ground.
45. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring operation in perpetuity of a guest shuttle service for the property. The guest shuttle shall operate at a minimum from 8:00 AM until 11:00 PM each day, seven days per week.
46. Applicant shall paint all flashing, vents, flues, rooftop mechanical equipment, meters and utility boxes on the building a flat, dark color or to match the building color.
47. Applicant shall screen all utilities.
48. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
49. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.
50. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. All work must be completed before the Town will release the Cash Deposit. Partial releases will not be

allowed, and no interest will be paid by the Town on the Cash Deposit. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

51. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
52. Applicant shall construct all proposed trails according to the Town of Breckenridge Trail Standards and Guidelines (dated June 12, 2007). All trails disturbed during construction of this project shall be repaired by the Applicant according to the Town of Breckenridge Trail Standards and Guidelines. Prior to any trail work, Applicant shall consult with the Town of Breckenridge Open Space and Trails staff.
53. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***
54. The Applicant shall construct the fence as proposed on Sheets L7-05 and L7-06 of the approved plans. If the Town Development Code does not specifically allow such fence design at the time of the fence's construction, Applicant shall submit a Class D permit to modify the plans to a fence design that meets the Town Development Code then in effect.

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(Initial Here)



**Shock Hill Association**

October 31, 2013

Subject: Shock Hill Tract E Development Agreement Extension

Members of Breckenridge Planning Commission:

Shock Hill Association (SHA) received a request from Shock Hill Partners, LLC (applicant) to support their request for an extension of the Shock Hill Tract E Development Agreement originally proposed for the property in January 2008. As you are aware, SHA recently worked with the new owners of the adjacent Tract C on certain improvements and fully supported their application, which is presently being developed.

At a regular meeting of the Shock Hill Board of Directors on September 6, 2013, where all members were present, this matter was discussed. The Board unanimously agreed to support this lodge extension request. We believe this extension is in the best interests of both our property owner members and the Town of Breckenridge. Our rationale is as follows:

- SHA has had numerous discussions with the original developer regarding use of amenities at the proposed lodge property including providing complimentary ski lockers for SHA property owners at the lodge, which is adjacent to the Shock Hill gondola station. In addition, the lodge will also serve an on-site amenity for our owners with food and beverage outlets, a spa, an outdoor pool and a shuttle service for use by our owners and guests.
- Tract E was always planned to be a lodge type property and the present proposal is for a Five Star, internationally “flagged” property which could include the present Fairmont opportunity. Such a property does not presently exist in Breckenridge and would bring a new, higher income/higher spending clientele to Breckenridge. It is our understanding that this hot bed type of upscale lodge is consistent with the Town’s vision.
- Since Shock Hill presently has four different duplex properties presently completed or under construction along Shock Hill Drive, SHA would prefer a lodge type facility on Tract E as opposed to another duplex property. This lodge would serve as an anchor property within the Shock Hill community and provide a valuable amenity to both our owners and the Town.

I plan to attend the November 5, 2013 Planning Commission meeting to offer SHA support for the extension and answer any questions.

John Quigley  
President

Post Office Box 7  
Voice: 970.453.2325

Web: [www.shockhillpoa.com](http://www.shockhillpoa.com)

Breckenridge, CO 80424  
Fax: 970.453.6502

**Shock Hill  
Tract C/E Class A  
Development  
Permit**  
Breckenridge, CO

**CFR** GRAINE FRANK ARCHITECTS  
1550 LINCOLN ST #400  
DENVER, CO 80202  
VOICE 303.877.1124  
FAX 303.882.1128

**ALLEN+PERKINS**  
DESIGNWORKSHOP  
1915 AIRBORNE RD SUITE 100  
BRECKENRIDGE, CO 80424  
VOICE 970.855.7000  
FAX 970.855.7000

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AJCO B, LLC  
SHEPHERD TRUST, BAY  
DATTLE ROCK CO, INC



- TRACT F
- DRAINAGE & ACCESS EASEMENT
- PROPOSED TRAIL EASEMENT
- TRACT E PROPERTY SETBACK
- TRACT E PROPERTY BOUNDARY
- PROPOSED BUILDING
- EXISTING GONDOLA
- EXISTING ROUNDABOUT
- SEE SHEET L1-01
- SEE SHEET L1-02

- SHOCK HILL DRIVE
- GONDOLA EASEMENT
- TRACT C PROPERTY SETBACK
- TRACT C PROPERTY BOUNDARY
- PROPOSED BUILDING
- EXISTING WETLAND SETBACK
- TRACT G

REVISION  
No. Description Date

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB NUMBER: TRACT C/E  
SHEET TITLE: ILLUSTRATIVE SITE PLAN

**L1-01**  
SHEET NUMBER

# Shock Hill Tract C/E Class A Development Permit

Breckenridge, CO

**CFA** CRAIG FRANK ARCHITECTS  
1585 ASHCROFT ST #400  
DENVER, CO 80202  
PHONE: 303.477.3391  
FAX: 303.477.1159

**ALLEN GERRITZ**  
Landscape Architecture  
1015 ASPEN DR SUITE 101  
BRECKENRIDGE, CO 80424  
PHONE: 970.453.7560  
FAX: 970.453.7560

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Facsimile (970) 920-1387  
WWW.DESIGNWORKSHOP.COM



- POOL FENCE
- EXISTING TRAIL
- PROPOSED SPA
- PROPOSED NATIVE FOREST REVEGETATION (TYP.)
- PROPOSED SPA
- INFINITY-EDGE POOL, REFLECTION BASIN AND SPA
- ART FOCAL POINT
- EXHAUST AIR
- PROPERTY BOUNDARY
- PROPERTY SETBACK
- PROPOSED TRAIL EASEMENT
- PROPOSED SERVICE ACCESS
- PROPOSED NATIVE FOREST REVEGETATION (TYP.)
- EXISTING ROUNDABOUT
- PROPOSED PARKING GARAGE ENTRY
- VEGETATION SCREEN
- PROPOSED ENTRY AND PORTE COCHERE W/ 3 TEMPORARY PARKING STALLS
- PROPOSED MAIN ENTRANCE
- PROPOSED ALPINE GARDEN
- PROPOSED CAFE TERRACE
- EXISTING TRANSFORMER
- PROPOSED SECONDARY ENTRANCE
- PROPOSED PARCEL E BUILDING**  
(SEE ARCHITECTURAL PLANS)  
LAND USE: R-2, R-2 and A-3  
MAXIMUM HEIGHT 38'-0"
- PROPOSED ALPINE GARDEN
- PROPOSED FIRENT
- PROPOSED NATIVE FOREST REVEGETATION (TYP.)
- PROPOSED FIRENT & OVERLOOK TERRACE
- PROPOSED PEDESTRIAN FOREST PROMENADE
- PROPOSED FIRELANE AND HAMMERHEAD TURNAROUND
- EXISTING GONDOLA ALIGNMENT
- PROPOSED BREEZEWAY
- AIR INTAKE

EXISTING GONDOLA

REVISION: 01/11/11

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	1/11/11
2	REVISIONS TO PERMIT	1/11/11
3	REVISIONS TO PERMIT	1/11/11
4	REVISIONS TO PERMIT	1/11/11
5	REVISIONS TO PERMIT	1/11/11
6	REVISIONS TO PERMIT	1/11/11
7	REVISIONS TO PERMIT	1/11/11
8	REVISIONS TO PERMIT	1/11/11
9	REVISIONS TO PERMIT	1/11/11
10	REVISIONS TO PERMIT	1/11/11

JOB NUMBER: TRACT E  
SHEET TITLE: ILLUSTRATIVE SITE PLAN



SHEET NUMBER: L1-03



Shock Hill Tract E  
Class A  
Development  
Permit  
BRECKENRIDGE, CO

**CFA** CRANE FRANK ARCHITECTS  
1080 LINCOLN BLVD., 4000  
DENVER, CO 80202  
VOICE: 303.477.2000  
FAX: 303.832.1124

**ALLEGRI** CONSULTING GROUP  
ARCHITECTS  
1000 14TH ST., SUITE 100  
DENVER, CO 80202  
PHONE: 303.733.1100

**LEGEND**

- EXISTING CONTOUR LINE 10'
- EXISTING CONTOUR LINE 2'
- PROPOSED CONTOUR LINE 10'
- PROPOSED CONTOUR LINE 2'
- BOUNDARY LINE
- LOT LINE
- R.O.M.
- EASEMENT
- TRAIL
- MINOR ACTIVITY
- WETLANDS

**NOTE:**  
1. SEE DRAWINGS FOR PROPOSED LANDSCAPE SCENE.  
2. SEE DRAWINGS FOR TREE REMOVAL AND REPLACEMENT TREE PLANTING PLAN.

**TRACTE:**  
LEVEL 10' - EL. 8780'  
LEVEL 10' - EL. 8770'  
LEVEL 10' - EL. 8760'  
LEVEL 10' - EL. 8750'  
LEVEL 10' - EL. 8740'  
LEVEL 10' - EL. 8730'

**ISSUE:**

No.	Issue	Date
1	Preliminary Dev. Permit Submittal	04.18.2007
2	Preliminary Dev. Permit Submittal	05.17.2007
3	Preliminary Dev. Permit Submittal	07.17.2007
4	Preliminary Dev. Permit Submittal	08.17.2007
5	Preliminary Dev. Permit Submittal	10.15.2007
6	Final Dev. Permit Submittal	11.24.2007
7		
8		

**ENLARGED ARCHITECTURAL SITE PLAN TRACT E**

**SHEET NUMBER: A1.02**



**1 ENLARGED ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 30'



# Shock Hill Tract E Class A Development Permit

Breckenridge, CO



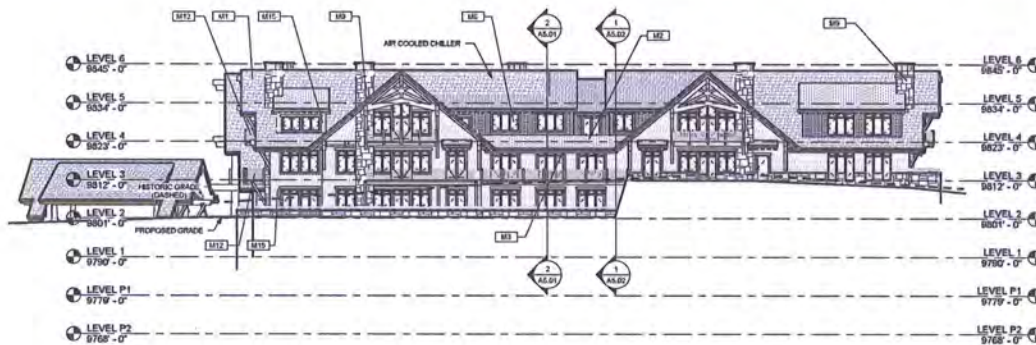
CLIENT: AZCO II LLC  
644 Ruby Trail Way  
Castle Rock, CO 80108



1 SOUTH ELEVATION  
1/16" = 1'-0"



2 EAST ELEVATION  
1/16" = 1'-0"



3 NORTH ELEVATION  
1/16" = 1'-0"



4 KEY PLAN  
1" = 80'-0"

MATERIALS LEGEND	
LABEL	ITEM DESCRIPTION
M1	
M2	
M3	FASCIAD - ROUGH SEWN 2X CEDAR, STAINED FINISH
M4	
M5	
M6	DOOR FRAMEWORK - VERMILION WINDOWS, PLANKS SERIES BRUNNENZ FINISH
M7	DOOR WINDOW TRIM - 3/8 X 3/8 HICKORY SEAM CEDAR, STAINED FINISH
M8	STONE VENEER - DRY STACKED LIMESTONE VENEER, GALLEGOS CORP. #14 HICKORY BUSH - NEW MEXICO PEDESTAL BOLDERS AT VARIOUS LOCATIONS
M9	CAP AT STONE VENEER - 4" OAK HANDSTONE CAP W/ CHISELED EDGE
M10	EXPPOSED POSTS, BEAMS AND BRACKETS - DOUGLAS FIR TIMBER/CEDAR LOGS, STAINED FINISH
M11	DOCK RAILS - STAINED CEDAR HORIZONTAL LAP BRANCH OR PINE LAP SIDED WITH HEAVY FINISH, STAINED FINISH
M12	
M13	HORIZONTAL LAP BRANCH OR PINE LAP SIDED WITH HEAVY FINISH, STAINED FINISH
M14	EXTERIOR METAL WALL PANEL - FLAT LOCK ZINC METAL PANEL, PRE-WATHERED FINISH
M15	

ISSUE		
No.	Item	Date
1	PROVISIONAL SET FOR PERMIT SUBMITTAL	08.08.2017
2	PROVISIONAL SET FOR PERMIT SUBMITTAL	08.08.2017
3	PROVISIONAL SET FOR PERMIT SUBMITTAL	07.21.2017
4	PROVISIONAL SET FOR PERMIT SUBMITTAL	07.21.2017
5	PROVISIONAL SET FOR PERMIT SUBMITTAL	06.01.2017
6	FINAL SET FOR PERMIT SUBMITTAL	01.24.2017
7		
8		

JOB NUMBER: 14001  
SHEET TITLE: Building Elevations

SHEET NUMBER: **A4.01**

# Shock Hill Tract E Class A Development Permit

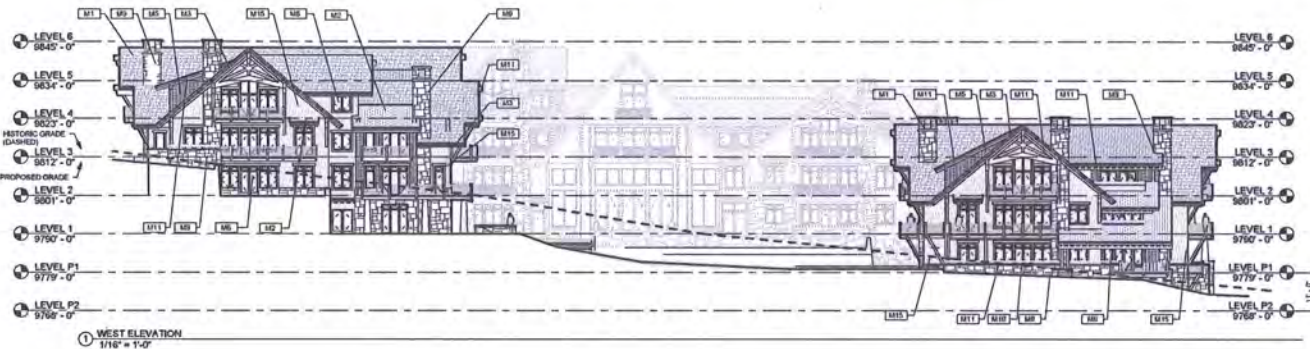
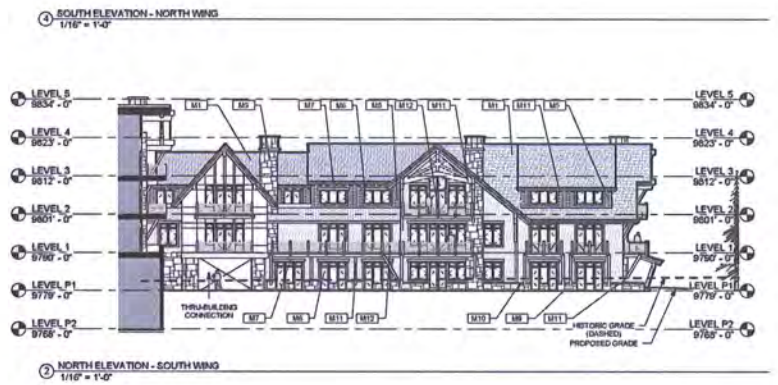
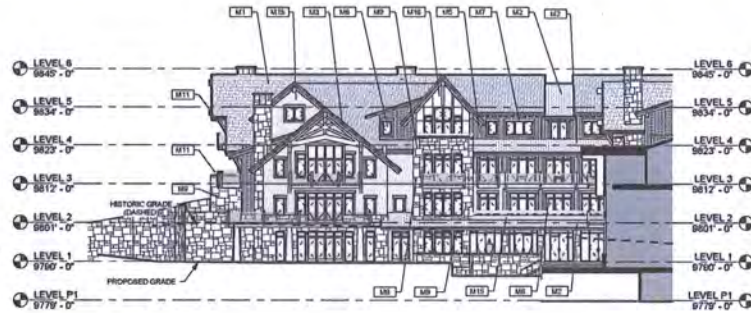
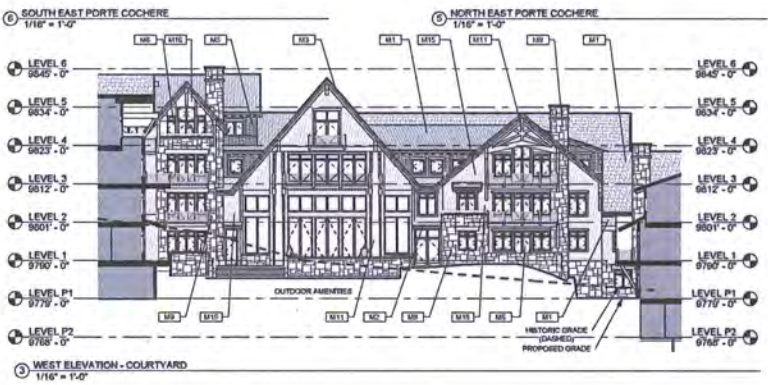
Breckenridge, CO

**CFA** CHAIRES FRANK ARCHITECTS  
1788 LINCOLN ST. #600  
DENVER, CO 80202  
VOICE: 303.477.3581  
FAX: 303.862.1133

**ALLISON SERRA** ARCHITECTURE  
1400 17TH ST. #100  
DENVER, CO 80202  
PHONE: 303.733.1111  
WWW.ASERRA.COM

client: AZCO II LLC  
644 Ruby Trust Way  
Castle Rock, CO 80108

MATERIALS LEGEND	
LABEL	ITEM/DESCRIPTION
M1	
M2	
M3	FABRIC- ROUGH SEWN 2X CEDAR, STAINED FINISH
M4	DOOR/PARTITION- VORHA VIBRODING, PLAIN/PAINT KITCHEN BROWN/ FINISH
M5	DOOR/PARTITION- 2X 6 X 8 ROUGH SHOWN CEDAR, STAINED FINISH
M6	STONE VENEER- CRY STACKED LAMESTONE VENEER, GALLOOSE CORP. #10 HAZARD BNL, NEW MEXICO YELLOWSTONE Boulders AT VARIOUS LOCATIONS
M7	CAP AT STONE VENEER- #2 GRAY SANDSTONE CAP IN CHISELED EDGE
M8	CEILING- PORTITE ISOMAL AND BRACKETEES- DOUGLASS FIR TIMBER/CEDAR FLOOR, STAINED FINISH
M9	DECK RAILING- STAINED CEDAR RIVET POSTS, HAND FORGED STEEL RAILS & BALLUSTERS, NATURAL FINISH
M10	HORIZONTAL LAP SIDING- 2X FINE LAP SIDING WITH HEAVY ISOMAL STAINED FINISH
M11	EXTERIOR METAL WALL PANEL- FLAT LOOP DMC METAL PANEL, PRE-WEATHERED FINISH



ISSUE:

No.	Issue	Date
1	PROGRAM BY PERM SUBMITTAL	04.23.2017
2	PROGRAM BY PERM SUBMITTAL	07.26.2017
3	PROGRAM BY PERM SUBMITTAL	03.21.2018
4	PROGRAM BY PERM SUBMITTAL	03.21.2018
5	PROGRAM BY PERM SUBMITTAL	03.21.2018
6	FINAL REV. PERM SUBMITTAL	11.06.2018

DATE: 11-06-2018

DESIGNER: Building Elevations

SHEET NUMBER: **A4.02**

Shock Hill Tract E  
Class A  
Development  
Permit  
Breckenridge, CO

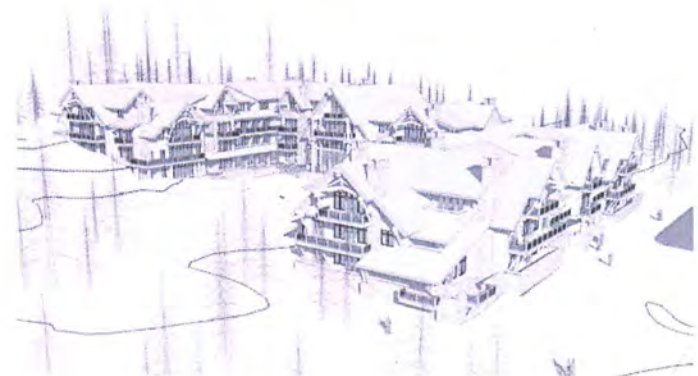
**CFA** CRAME FRANK ARCHITECTS  
1580 LINCOLN ST. #600  
DENVER, CO 80202  
VOICE: 303.477.3331  
FAX: 303.482.1133

**ALLEN+GERNER** ARCHITECTS  
DESIGN/5050 S. PULASKI  
AVENUE, SUITE 100  
DENVER, CO 80221  
TEL: 303.733.1100  
FAX: 303.733.1100

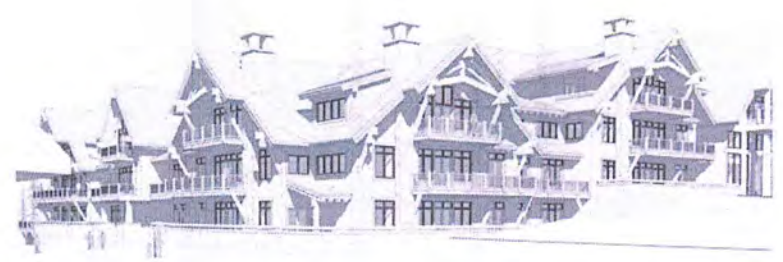
CLIENT: AZCO II LLC  
644 Ruby Trail Way  
Castle Rock, CO 80108



② SOUTHWEST PERSPECTIVE



③ SOUTHWEST PERSPECTIVE



④ SOUTHEAST PERSPECTIVE



① SOUTHEAST PERSPECTIVE

ISSUE

No.	Issue	Date
1	PROGRAM AND PERMIT SUBMITTAL	08.15.2017
2	PROGRAM AND PERMIT SUBMITTAL	09.15.2017
3	PROGRAM AND PERMIT SUBMITTAL	12.21.2017
4	PROGRAM AND PERMIT SUBMITTAL	01.11.2018
5	PROGRAM AND PERMIT SUBMITTAL	01.15.2018
6	FINAL SET - PERMIT SUBMITTAL	01.26.2018
7		
8		

JOB NUMBER: 16011  
SHEET TITLE: Perspective Views

SHEET NUMBER: **A4.11**

Shock Hill Tract E  
Class A  
Development  
Permit  
BRECKENRIDGE, CO

**CFA** CHAINE FRANK ARCHITECTS  
1800 LINDOLM ST. #400  
DENVER, CO 80202  
VOICE: 303.477.3391  
FAX: 303.962.1133

**ALPENGERA** THE MOUNTAIN HOME  
10700 S. WYOMING ST.  
DENVER, CO 80231  
VOICE: 303.477.3391  
FAX: 303.962.1133

DEVELOPER  
AECO II, LLC  
644 RUBY TRUST WAY  
CASTLE ROCK, CO. 80108



2 RENDERED AERIAL VIEW -- TRACTS C & E, LOOKING WEST



3 SECTIONAL PERSPECTIVE  
SCALE: 1/4" = 1'-0"  
TYPICAL GABLE END CONDITION



1 RENDERED PERSPECTIVE VIEW -- TRACT E, SOUTHEAST CORNER

ISSUE:

No.	Issue	Date
1	Preliminary Dev. Permit Submittal	04.16.2007
2	Preliminary Dev. Permit Submittal	05.17.2007
3	Preliminary Dev. Permit Submittal	07.17.2007
4	Preliminary Dev. Permit Submittal	09.17.2007
5	Preliminary Dev. Permit Submittal	10.15.2007
6	Final Dev. Permit Submittal	11.26.2007
7		
8		

JOB NUMBER: 0444  
SHEET TITLE: Rendered Views & Typical Section at Gable End

SHEET NUMBER: A6.01

# Shock Hill Tract C/E Class A Development Permit Breckenridge, CO

**CFA** CRAIG FRANK ARCHITECTS  
1550 LINCOLN ST. #400  
DENVER, CO 80202  
VOICE: 303.477.3331  
FAX: 303.482.1128

**ALLEN+GERRK**  
DESIGNWORKSHOP  
1915 AIRPORT RD. SUITE 105  
BRECKENRIDGE, CO 80424  
VOICE: 970.455.7992  
FAX: 970.455.7998

**DESIGNWORKSHOP**  
Landscape Architecture - Land Planning  
Urban Design - Tourism Planning  
Aspen - Snow - Chase - Salt Lake City -  
Smokey Fe - Placitas - Lake Tahoe

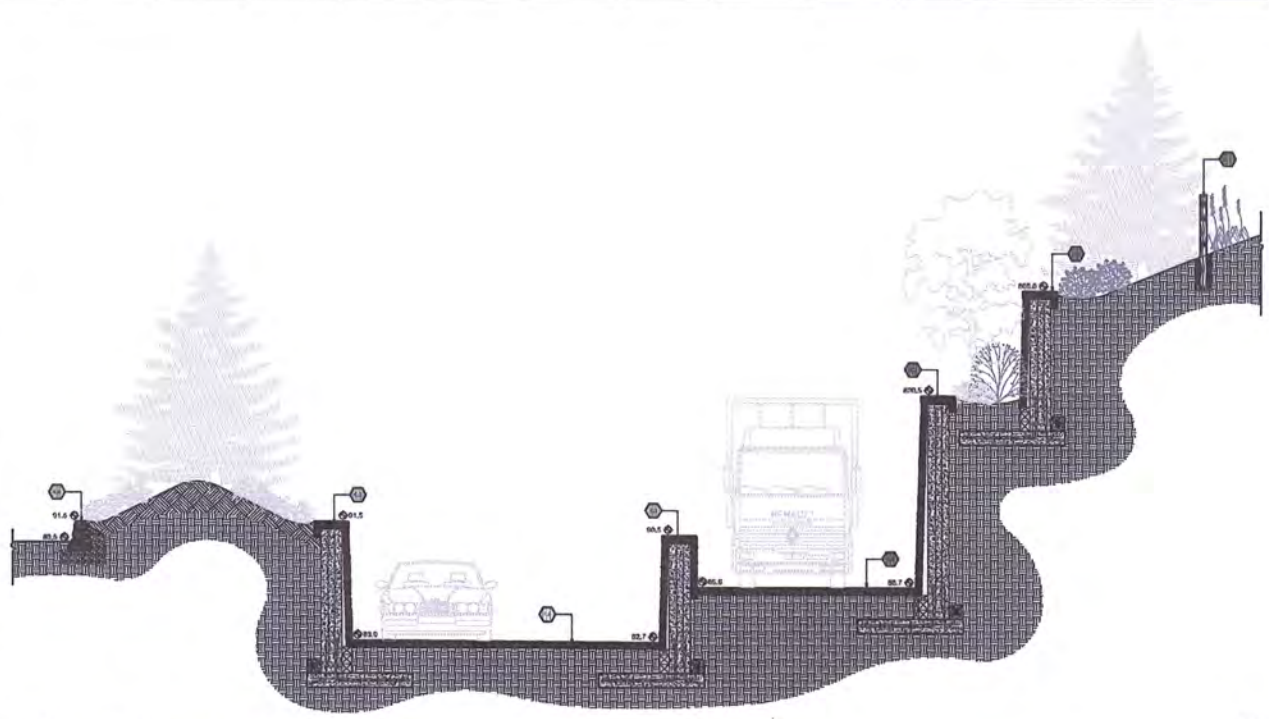
120 East Main Street  
Aspen, Colorado 81611  
(970)-925-8354  
Facsimile (970) 920-1357

WWW.DESIGNWORKSHOP.COM

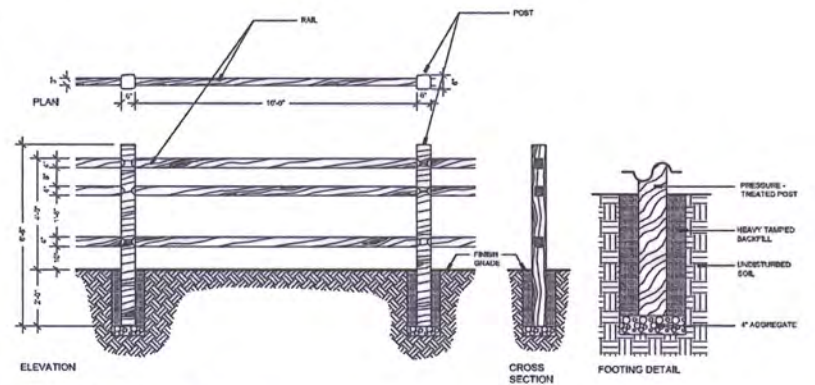
AZCO II, LLC  
144 ELM STREET  
CASTLE ROCK, CO. 80108

**SITE DETAIL KEYNOTES:**

KEYNOTE	DETAIL / SHEET	SPEC SECTION
1.0	Impervious Stone Paving (Impervious Stone on concrete)	01.201
1.1	Impervious Stone Paving (Impervious Stone on concrete)	01.201
1.2	Impervious Stone Paving (Impervious Stone on concrete)	01.201
1.3	Impervious Stone Paving (Impervious Stone on concrete)	01.201
1.4	Impervious Stone Paving (Impervious Stone on concrete)	01.201
1.5	Stone Cladding	01.201
1.6	Concrete Type 1 (Interior and exterior)	01.201
1.7	Concrete Type 1 (Interior and exterior)	01.201
1.8	Concrete Type 2 (Interior and exterior)	01.201
1.9	Concrete Type 2 (Interior and exterior)	01.201
1.10	Concrete Type 2 (Interior and exterior)	01.201
1.11	Concrete Type 2 (Interior and exterior)	01.201
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1.16	Concrete Type 2 (Interior and exterior)	01.201
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1.18	Concrete Type 2 (Interior and exterior)	01.201
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1.20	Concrete Type 2 (Interior and exterior)	01.201
1.21	Concrete Type 2 (Interior and exterior)	01.201
1.22	Concrete Type 2 (Interior and exterior)	01.201
1.23	Concrete Type 2 (Interior and exterior)	01.201
1.24	Concrete Type 2 (Interior and exterior)	01.201
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1.98	Concrete Type 2 (Interior and exterior)	01.201
1.99	Concrete Type 2 (Interior and exterior)	01.201
1.100	Concrete Type 2 (Interior and exterior)	01.201



1 Section through Service Area  
1/4"=1'-0"



2 Split Rail Fence  
1/4"=1'-0"



Proposed Planting at Fence

REVISIONS

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB NUMBER: SITE DETAILS

SHEET NUMBER: L7-05

# Shock Hill Tract C/E Class A Development Permit

Breckenridge, CO

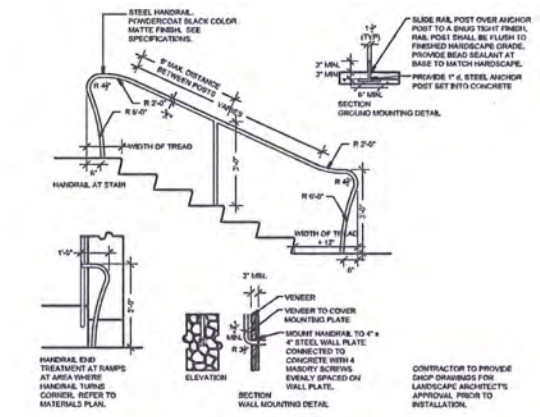
**CFA** CHAINE FRANK ARCHITECTS  
1488 LINCOLN ST. #200  
DENVER, CO 80202  
VOICE: 303.477.2283  
FAX: 303.982.1133

**ALLEN/SICKER** 9918 AIRPORT RD. SUITE 105  
BRECKENRIDGE, CO 80424  
VOICE: 970.452.7802  
FAX: 970.452.7800

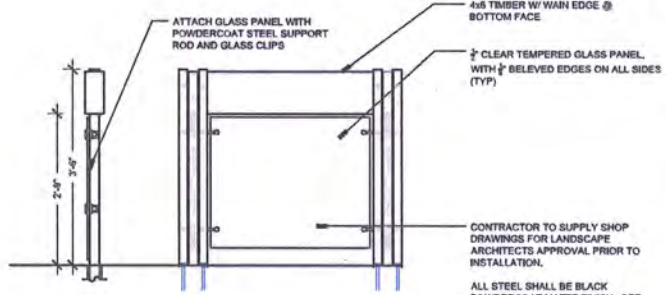
**DESIGNWORKSHOP**  
Landscape Architecture • Land Planning  
Urban Design • Tourism Planning  
Sustainable • Open • Design • Safe • Lake City •  
120 East Main Street  
Aspen, Colorado 81611  
(970)-925-3354  
Facsimile (970) 920-1387  
WWW.DESIGNWORKSHOP.COM

AZCO II, LLC  
84 RUBY TRUST WAY  
GLENLEIGH, CO, 80711

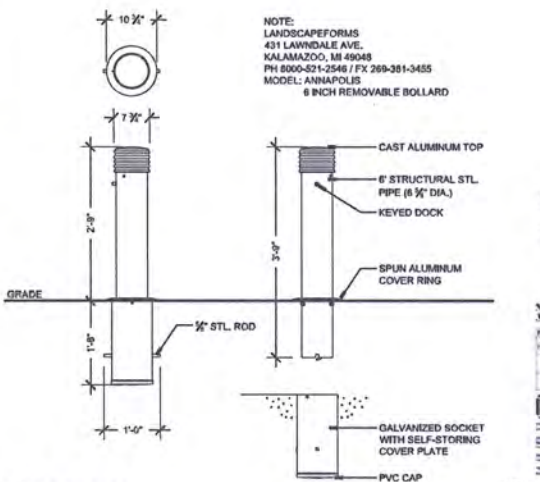
DETAIL / SHEET	SPEC SECTION
<b>PAVEMENTS, RAMPS, CURBS</b>	
1.1	Flagged Stone Paving (Flagstone on concrete)
1.2	Flagstone Stone Paving (Flagstone on concrete)
1.3	Flagstone Stone Paving (Flagstone on concrete)
1.4	Flagstone Stone Paving (Flagstone on concrete)
1.5	Flagstone Stone Paving (Flagstone on concrete)
1.6	Flagstone Stone Paving (Flagstone on concrete)
1.7	Flagstone Stone Paving (Flagstone on concrete)
1.8	Flagstone Stone Paving (Flagstone on concrete)
1.9	Flagstone Stone Paving (Flagstone on concrete)
1.10	Flagstone Stone Paving (Flagstone on concrete)
1.11	Flagstone Stone Paving (Flagstone on concrete)
1.12	Flagstone Stone Paving (Flagstone on concrete)
<b>JOININGS</b>	
2.1	Concrete Joint
2.2	Concrete Joint
<b>STEPS</b>	
3.1	Stone Type 1 (Stone on concrete)
3.2	Stone Type 2 (Stone on concrete)
<b>SITE WALLS / EMBANKMENTS</b>	
4.1	Stone Veneer Wall Type 1
4.2	Stone Veneer Wall Type 2
4.3	Stone Veneer Wall Type 3
4.4	Stone Veneer Wall Type 4
<b>SITE FURNITURE</b>	
<b>RAILINGS, BARRIERS, FENCINGS</b>	
5.1	Pool Fence
5.2	Pool Fence
5.3	Pool Fence
5.4	Pool Fence
5.5	Pool Fence
<b>SITE LIGHTING</b>	
<b>DRAINAGE</b>	
6.1	Landscaping Drain
6.2	Landscaping Drain
6.3	Landscaping Drain
<b>PLANTING AND LANDSCAPE</b>	
<b>SPA AND WATER FEATURES</b>	
7.1	Spa
7.2	Spa
7.3	Spa
7.4	Spa
7.5	Spa
7.6	Spa
7.7	Spa
7.8	Spa
7.9	Spa
7.10	Spa
<b>MISCELLANEOUS SITE FEATURES</b>	
8.1	Site Feature
8.2	Site Feature
8.3	Site Feature
8.4	Site Feature
8.5	Site Feature
8.6	Site Feature
8.7	Site Feature
8.8	Site Feature
8.9	Site Feature
8.10	Site Feature



**1 Handrail**  
1/2"x4"



**2 Guardrail Type 1**  
1/2"x6"

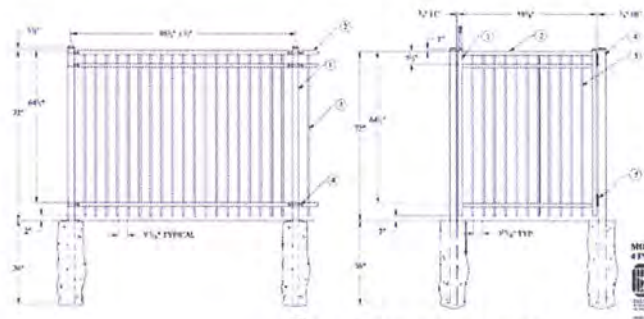


**3 Bollard**  
2 1/2"x10"

**MINTAGE PLUS PANEL MAJESTIC**  
3/4" x 4" x 4" x 1/2" SW

1	2 1/2" x 4" HIG. POST	4000	1000	9900	4410
2	EDGED CHANNEL RAIL 1/2" x 1/2" x 1 1/2"	4000	1000	9900	4410
3	1/2" x 1/2" x 1 1/2" PICKET	4000	1000	9900	4410
4	1/2" x 1/2" x 1 1/2" PICKET	4000	1000	9900	4410

**AMERISTAR**  
1100 N. Wagon  
Tulsa, OK 74116  
1-800-353-1422



**4 Pool Fence**  
3 1/2"x10"

**MINTAGE PLUS SWING MAJESTIC 3 RAIL 4 IN GAP AT BOTTOM OPENING, M.G. GATE**

1	1/2" x 1/2" x 1 1/2" PICKET	4000	1000	9900	4410
2	EDGED CHANNEL RAIL 1/2" x 1/2" x 1 1/2"	4000	1000	9900	4410
3	1/2" x 1/2" x 1 1/2" PICKET	4000	1000	9900	4410
4	1/2" x 1/2" x 1 1/2" PICKET	4000	1000	9900	4410

**AMERISTAR**  
1100 N. Wagon  
Tulsa, OK 74116  
1-800-353-1422

**5 Pool Fence Gate**  
1/2"x10"

REVISION	No.	Description	Date
	1	Issue	

**ISSUE**

No.	Issue	Date
1	Issue	

**REVISION**

No.	Description	Date
1	Issue	

**DATE** 11/11/07

**SHEET NUMBER** L7-06

## Planning Commission Staff Report

- Subject:** Lot 1, a Re-subdivision of Four Seasons Filing No. 2, Pond Lease Tract - (Class B, Final Hearing; PC#2013097)
- Proposal:** A Subdivision of Four Seasons Filing No. 2, a Re-plat of Pond Lease Tract (creating Lot 1) to allow Hotel Breckenridge Condominium Association (Marriott's Mountain Lodge) to purchase the proposed Lot 1 from Columbine Condo HOA to better match land-use functions by each owner.
- Date:** October 21, 2013 (For meeting of November 5, 2013)
- Project Manager:** Michael Mosher, Planner III
- Applicant/Owner:** Hotel Breckenridge Condominium Association (Marriott's Mountain Valley Lodge)
- Agent:** Todd LeBow, General Manager, Marriott's Mountain Valley Lodge  
Richard Holcroft, Blue River Property Management
- Address:** TBD - Four Seasons at Condominium Association (Marriott's Mountain Valley Lodge)
- Legal Description:** Lot 1, a Subdivision of Four Seasons Filing No. 2, Pond Lease Tract (Rec# 463310 - 1994)
- Land Use District:** 24 – Residential, 20 UPA, Multi-family
- Site Area:** 0.0782 acres (3,408 sq. ft.)
- Site Conditions:** The majority of Pond Lease Tract consists of portions of the Blue River and the Maggie Pond. The property to be subdivided, Lot 1, is primarily hardscape and acts as a pedestrian connection to the existing bridge crossing Blue River to the public trail system and Ski Area beyond.
- Adjacent Uses:** North: Multi Family Residential, Maggie Pond  
East: Multi Family Residential  
South: Multi Family Residential  
West: Maggie Pond, the Blue River, and open space
- Density:** The Pond Lease Tract has no density per a recorded settlement agreement.

### Item History

The applicants are proposing to purchase a portion of the Pond Lease Tract, Lot 1, which will then become part of the Hotel Breckenridge Condominium Association (Marriott's Mountain Valley Lodge) property. Management and maintenance of Lot 1 will be taken over by the Hotel Breckenridge Condominium Association.



This application only creates Lot 1 as a separate parcel. The property owners associated with access to this Lot will then return and record separate plats that will define the associated public access and maintenance easements.

Since this subdivision is creating a lot with no buildable area and no density, most of the Town's Subdivision policies do not apply. This staff report only addresses those policies that are applicable to this application.

### **Staff Comments**

**Pedestrian and Bicycle Circulation (9-2-4-7):** The proposed Lot 1 currently has a connection to the existing bridge that crosses Maggie Pond. All of the neighboring multifamily residential buildings utilize this connection to get to the public trail and Ski Area on the west side of the river. Currently there are no platted easements crossing the applicant's or neighboring properties to access the bridge.

The applicants intend to first record this plat, transfer ownership and then return with applications for the needed public easements on the neighboring properties. These easements will allow public access from Columbine Road, through associated properties, to Lot 1, across the bridge and onto the existing public trail easement on the west side of the Blue River.

### **Staff Recommendation**

This is a very simple subdivision, which only allows for the conveyance of ownership of a portion of property to the applicants. There is no associated change of use, added density, or other subdivision concerns with this application.

Staff recommends the approval of Lot 1, a Re-subdivision of Four Seasons Filing No. 2, Pond Lease Tract, PC#2013097, with the attached Findings and Conditions.

## TOWN OF BRECKENRIDGE

### Lot 1, a Subdivision of Four Seasons Filing No. 2, Pond Lease Tract PERMIT #2013097

STAFF RECOMMENDATION: The staff recommends the Planning Commission approve this application with the following Findings and Conditions

#### FINDINGS

1. The proposed project is in accord with the Subdivision Ordinance and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **October 21, 2013** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
  1. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **November 5, 2013** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.

#### CONDITIONS

1. The Final Plat of this property may not be recorded unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, refuse to record the Final Plat, issue a stop order requiring the cessation of any work being performed under this permit, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit will expire three (3) years from the date of Town Council approval, on **November 12, 2016** unless the Plat has been filed. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. This permit contains no agreement, consideration, or promise that a certificate of occupancy or certificate of compliance will be issued by the Town. A certificate of occupancy or certificate of compliance will be issued only in accordance with the Town's planning requirements/codes and building codes.

**PRIOR TO RECORDATION OF FINAL PLAT**

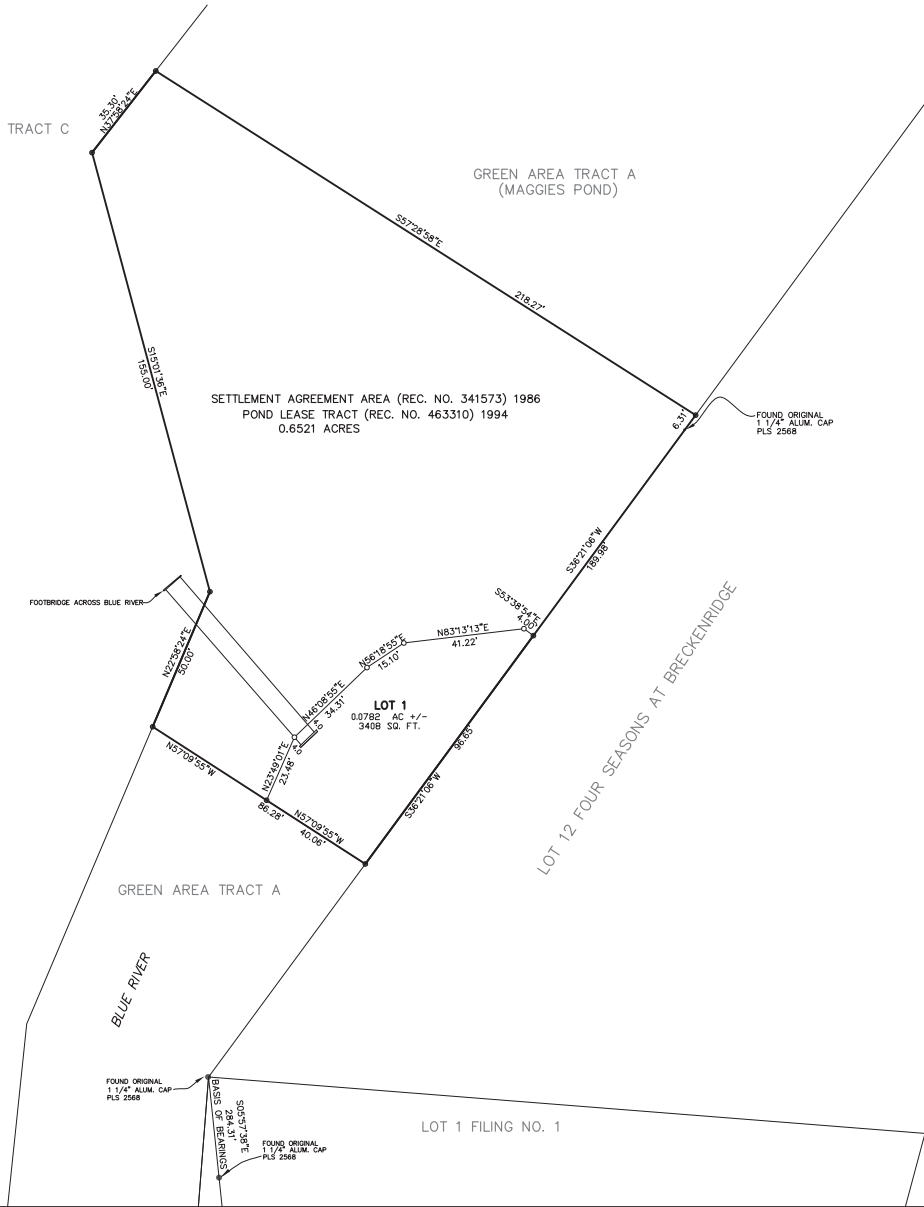
6. Applicant shall submit and obtain approval from Town staff of a final plat that meets Town subdivision requirements and the terms of the subdivision plan approval.
7. Applicant shall submit and obtain approval from the Town Attorney for any restrictive covenants and declarations for the property.
8. Per Section 9-2-3-5-B of the Subdivision Standards, the following supplemental information must be submitted to the Town for review and approval prior to recordation of the final plat: title report, errors of closure, any proposed restrictive covenants, any dedications through separate documents, and proof that all taxes and assessments have been paid.

**PRIOR TO ISSUANCE OF CERTIFICATE OF COMPLIANCE**

9. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.

MINOR SUBDIVISION OF FOUR SEASONS FILING NO. 2-REPLAT OF POND LEASE TRACT

LOCATED IN SECTION 6, TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6TH PRINCIPAL MERIDIAN  
SITUATED IN THE TOWN OF BRECKENRIDGE, COUNTY OF SUMMIT, STATE OF COLORADO.



**OWNERS CERTIFICATE:**

KNOWN ALL MEN BY THESE PRESENTS  
THAT, COLUMBINE HOMEOWNERS ASSOCIATION, A COLORADO CORPORATION, BEING THE OWNERS OF THE FOLLOWING DESCRIBED REAL PROPERTY SITUATED IN THE TOWN OF BRECKENRIDGE COUNTY OF SUMMIT, STATE OF COLORADO

A TRACT OF LAND BEING A PORTION OF THE GREEN AREA KNOWN AS TRACT A, AMENDED PLAT OF FOUR SEASONS OF BRECKENRIDGE FILING NO. 2, A SUBDIVISION AS FILED IN THE OFFICE OF THE SUMMIT COUNTY, COLORADO CLERK AND RECORDER UNDER RECEPTION NO. 124904; SAID TRACT OF LAND LOCATED IN THE TOWN OF BRECKENRIDGE, COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ANGLE POINT ON SAID GREEN AREA TRACT A ALSO A COMMON CORNER OF TRACT C AND THE RECREATION AREA ALSO KNOWN AS TRACT B OF SAID AMENDED PLAT OF FOUR SEASONS OF BRECKENRIDGE FILING NO. 2;  
THENCE N37°58'24"E, ALONG THE COMMON LINE BETWEEN SAID TRACT C AND TRACT A, A DISTANCE OF 35.30 FEET TO THE NORTHEAST CORNER OF SAID TRACT C ALSO BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED UNDER RECEPTION NO. 264720 IN SAID OFFICE OF THE SUMMIT COUNTY CLERK AND RECORDER;

THENCE S57°28'58"E ALONG THE SOUTH LINE OF SAID TRACT OF LAND RECORDER UNDER RECEPTION NO. 264720 A DISTANCE OF 218.56 FEET MORE OR LESS TO A POINT OF THE WESTERLY LINE OF LOT 9A, THE VILLAGE A BRECKENRIDGE FILING NO. 1, A SUBDIVISION AS FILED FOR RECORD IN SAID OFFICE OF SUMMIT COUNTY CLERK AND RECORDER UNDER RECEPTION NO.257700, ALSO BEING THE EASTERLY LOT LINE OF SAID TRACT A;  
THENCE S38°21'06"W ALONG THE EAST LINE OF TRACT A, A DISTANCE OF 190.00 FEET; THENCE N52°10'01"W, A DISTANCE OF 86.14 FEET TO THE WESTERLY LINE OF TRACT A FOR THE FOLLOWING 2 COURSES:

- 1)N22°58'24"E A DISTANCE OF 50.00 FEET;
- 2)N15°01'36"W A DISTANCE OF 155.00 FEET TO THE POINT OF BEGINNING, CONTAINING 28404 SQ. FT. 0.6521 ACRES MORE OR LESS.

HAS LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS, TRACTS, STREETS, AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND STYLE OF MINOR SUBDIVISION OF FOUR SEASONS FILING NO. 2, REPLAT OF POND LEASE TRACT, AND BY THESE PRESENTS, DO HEREBY SET APART AND DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL OF THE STREETS, ALLEYS AND OTHER PUBLIC WAYS AND PLACES AS SHOWN HEREON, AND FURTHER HEREBY DEDICATES THOSE PORTIONS OF LAND LABELED AS EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AS SHOWN HEREON. (AND/OR OTHER PURPOSES) IN WITNESS WHEREOF WHEREOF HAS CAUSED ITS \_\_\_\_\_NAME TO BE HEREUNTO SUBSCRIBED THIS THE OF \_\_\_\_\_, 2013.

COLUMBINE HOMEOWNERS ASSOCIATION, A COLORADO CORPORATION

STATE OF COLORADO  
S(33)  
COUNTY OF SUMMIT)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_ DAY 2013, BY \_\_\_\_\_ AS \_\_\_\_\_ OF COLUMBINE HOMEOWNERS ASSOCIATION, A COLORADO CORPORATION

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

TOWN OF BRECKENRIDGE CERTIFICATE:

THIS PLAT IS APPROVED THIS \_\_\_ DAY OF \_\_\_\_\_, 2013.

TOWN OF BRECKENRIDGE

BY: \_\_\_\_\_  
DIRECTOR, DEPARTMENT OF COMMUNITY DEVELOPMENT

**NOTICE:**

PUBLIC NOTICE IS HEREBY GIVEN THAT THE TOWN OF BRECKENRIDGE HEREBY ACCEPTS ALL OTHERS DEDICATION MADE BY THIS PLAT. HOWEVER, SUCH ACCEPTANCE DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS AND RIGHTS OF WAY REFLECTED HEREON FOR THE MAINTENANCE BY THE TOWN.

UNTIL SUCH ROADS AND RIGHTS OF WAY MEET TOWN ROAD SPECIFICATIONS AND ARE SPECIFICALLY ACCEPTED BY THE TOWN, THE MAINTENANCE, CONSTRUCTION, AND ALL OTHER MATTERS PERTAINING TO OR AFFECTING SAID ROADS AND RIGHTS OF WAY ARE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE LAND EMBRACED WITHIN THE SUBDIVISION.

**NOTES:**

- 1. PROPERTY SUBJECT TO EASEMENTS AND RESTRICTIONS AS STATED IN BOOK 225 AT PAGE 93.
- 2. PROPERTY SUBJECT TO AMENDMENT TO BOOK 225 AT PAGE 93 AS STATED IN BOOK 244 PAGE 552.

● = SET 5/8" REBAR WITH 1 1/2" ALUM. CAP STAMPED GSS PLS 27936.

○ = COULD NOT SET LOCATION IN POND

**TOWN CLERK CERTIFICATE:**

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_ M ON \_\_\_\_\_, 20\_\_\_, AND IS DULY RECORDED

**TITLE COMPANY CERTIFICATE:**

\_\_\_\_\_ DOES HEREBY CERTIFY THAT IT HAS EXAMINED THE TITLE TO ALL LANDS SHOWN HEREON, AND ALL LANDS HEREIN DEDICATED BY VIRTUE OF THIS PLAT, AND TITLE TO ALL SUCH LANDS IS IN THE OWNER NAMED ABOVE FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

DATED THIS \_\_\_ OF 20\_\_\_

AGENT

CERTIFICATE OF TAXES PAID:

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE ENTIRE AMOUNT OF ALL TAXES DUE AND PAYABLE AS OF \_\_\_\_\_, 20\_\_\_ UPON PARCELS OF REAL ESTATE DESCRIBED ON THIS PLAT ARE PAID IN FULL.

SUMMIT COUNTY TREASURER OR DESIGNEE

**SURVEYORS CERTIFICATE:**

I, SCOTT PULLING, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME UNDER MY RESPONSIBLE CHARGE FROM A SURVEY MADE BY ME AND UNDER MY SUPERVISION, THAT BOTH THIS PLAT AND THE SURVEY ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE MONUMENTS WERE PLACED PURSUANT OF SECTION 38-51-105, C.R.S.



GORTON SCOTT SURVEYING  
SCOTT A. PULLING, PLS 27936

**CLERK AND RECORDERS CERTIFICATE:**

STATE OF COLORADO)

)SS.

COUNTY OF SUMMIT)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_ M, THIS \_\_\_\_\_ DAY OF 20\_\_\_ AND IS FILED UNDER RECEPTION NO. \_\_\_\_\_

SUMMIT COUNTY CLERK AND RECORDER

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION WITHIN THREE YEARS AFTER YOU FIRST TAKE ANY ACTION BASED ON ANY DEFECT THAT SETS ASIDE FROM THE DATE OF THE INSTRUMENTS SIGNATURE HEREIN.

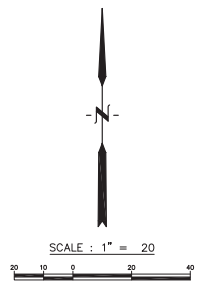
**MARROT MOUNTAIN VALLEY LODGE**  
BRECKENRIDGE, CO. 80424  
CONTACT: TODD LEON, GENERAL MANAGER

**GORTON SCOTT SURVEYING, LLC**  
DILLON, COLORADO 80435  
CONTACT: SCOTT A. PULLING, PLS

NO.	REVISION	DATE	BY
1			

PROJECT: **FOUR SEASONS OF BRECKENRIDGE**  
COLORADO  
DRAWING: **MINOR SUBDIVISION PLAT**

SHEET 1 OF 1  
JOB NO. 13-010





Site

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