



**TOWN OF
BRECKENRIDGE**

Town Council Regular Meeting
Tuesday, June 11, 2024, 7:00 PM
Town Hall Council Chambers
150 Ski Hill Road
Breckenridge, Colorado

THE TOWN OF BRECKENRIDGE CONDUCTS HYBRID MEETINGS. This meeting will be held in person at Breckenridge Town Hall and will also be broadcast live over Zoom. Join the live broadcast available by computer or phone: <https://us02web.zoom.us/j/88916429743> (Telephone: 1-719-359-4580; Webinar ID: 889 1642 9743).

If you will need special assistance in order to attend any of the Town's public meetings, please notify the Town Clerk's Office at (970) 547-3127, at least 72 hours in advance of the meeting.

I. CALL TO ORDER, ROLL CALL

II. APPROVAL OF MINUTES

- A. TOWN COUNCIL MINUTES - MAY 28, 2024

III. APPROVAL OF AGENDA

IV. COMMUNICATIONS TO COUNCIL

- A. PUBLIC COMMENT (NON-AGENDA ITEMS ONLY; 3-MINUTE TIME LIMIT PLEASE)
- B. BRECKENRIDGE SKI RESORT UPDATE

V. CONTINUED BUSINESS

- A. SECOND READING OF COUNCIL BILLS, SERIES 2024
 1. *COUNCIL BILL NO. 15, SERIES 2024 - A BILL FOR AN ORDINANCE REGULATING VEHICLE-ORIENTED DRIVE THROUGH DEVELOPMENT*
 2. *COUNCIL BILL NO. 16, SERIES 2024 - A BILL FOR AN ORDINANCE ADOPTING AN OVERLAY ZONE AMENDING REGULATION OF TIMESHARE INTERESTS*

VI. NEW BUSINESS

- A. FIRST READING OF COUNCIL BILLS, SERIES 2024

1. *COUNCIL BILL NO. 17, SERIES 2024 - A BILL FOR AN ORDINANCE AMENDING POLICY 3A DENSITY/INTENSITY OF THE DEVELOPMENT CODE*
- B. RESOLUTIONS, SERIES 2024
- C. OTHER

VII. PLANNING MATTERS

- A. PLANNING COMMISSION DECISIONS
- B. CARTER PARK DOG PARK TOWN PROJECT HEARING

VIII. REPORT OF TOWN MANAGER AND STAFF

IX. REPORT OF MAYOR AND COUNCIL MEMBERS

X. OTHER MATTERS

XI. SCHEDULED MEETINGS

- A. SCHEDULED MEETINGS FOR JUNE, JULY AND AUGUST

XII. ADJOURNMENT

I) CALL TO ORDER, ROLL CALL

Mayor Owens called the meeting of May 28, 2024, to order at 7:00pm. The following members answered roll call: Dick Carleton, Steve Gerard, Carol Saade, Todd Rankin, Marika Page, Jay Beckerman, and Mayor Kelly Owens.

II) APPROVAL OF MINUTES

A) TOWN COUNCIL MINUTES – May 14, 2024

With no changes or corrections to the meeting minutes of May 14, 2024, Mayor Owens declared they would stand approved as presented.

III) APPROVAL OF AGENDA

Town Manager Shannon Haynes stated there were no changes to the agenda. Mayor Owens declared the agenda approved as presented.

IV) COMMUNICATIONS TO COUNCIL

A) PUBLIC COMMENT (NON-AGENDA ITEMS ONLY; 3-MINUTE TIME LIMIT PLEASE)

Mayor Owens opened Public Comment.
With no comments Mayor Owens closed Public Comment.

B) BRECKENRIDGE TOURISM OFFICE UPDATE

Lucy Kay, Director of the BTO, stated summer reservations are running down about 12%, and they are going to change up summer marketing a little as a result, but ADR is still up 5% overall. She also stated Breck 101 is going on now, with about 160 attendees and some new businesses involved. Kay stated the BTO Trivia Night last week was full. She stated Breck Pride will take place June 15-19, including an Olympian and The North Face athlete on the panel, and other events, including an ally workshop. She stated four key journalists will be in attendance, and the hope is that they will help launch the event more broadly for future years. Kay stated June 13 is the annual meeting. Mayor Owens asked to let the outgoing board members know that Council appreciates their time on the board.

V) DARK SKY MONTH PROCLAMATION

Mayor Owens read the Proclamation into record.

VI) PRIDE MONTH PROCLAMATION

Mayor Owens read the Proclamation into record.

VII) CONTINUED BUSINESS

A) SECOND READING OF COUNCIL BILLS, SERIES 2024

1) COUNCIL BILL NO. 14, SERIES 2024 - A BILL FOR AN ORDINANCE APPROVING THE SOL CENTER ROOF LEASE BETWEEN THE TOWN OF BRECKENRIDGE AND THE FAMILY INTERCULTURAL RESOURCE CENTER (FIRC)

Mayor Owens read the title into the minutes. Scott Reid, Deputy Town Manager, stated there were no changes to this ordinance from first reading.

Council Member Rankin moved to approve COUNCIL BILL NO. 14, SERIES 2024 - A BILL FOR AN ORDINANCE APPROVING THE SOL CENTER ROOF LEASE BETWEEN THE TOWN OF BRECKENRIDGE AND THE FAMILY INTERCULTURAL RESOURCE CENTER (FIRC). Council Member Beckerman seconded the motion.

The motion passed 7-0.

VIII) NEW BUSINESS

A) FIRST READING OF COUNCIL BILLS, SERIES 2024

1) COUNCIL BILL NO. 15, SERIES 2024 - A BILL FOR AN ORDINANCE REGULATING VEHICLE-ORIENTED DRIVE THROUGH DEVELOPMENT

Mayor Owens read the title into the minutes. Chris Kulick, Planning Manager, stated this ordinance will effectively prohibit drive-through establishments in Breckenridge Town Limits. He further noted the negative impacts of drive-through establishments, including traffic and pollution.

Council Member Rankin moved to approve COUNCIL BILL NO. 15, SERIES 2024 - A BILL FOR AN ORDINANCE REGULATING VEHICLE-ORIENTED DRIVE THROUGH DEVELOPMENT. Council Member Gerard seconded the motion.

The motion passed 7-0.

- 2) COUNCIL BILL NO. 16, SERIES 2024 - A BILL FOR AN ORDINANCE ADOPTING AN OVERLAY ZONE AMENDING REGULATION OF TIMESHARE INTERESTS
Mayor Owens read the title into the minutes. Sarah Crump, Planner II, stated this ordinance would create a timeshare overlay zone, and would limit future timeshare developments to this area. She also reiterated that this does not affect existing timeshares, only future developments.

Council Member Rankin moved to approve COUNCIL BILL NO. 16, SERIES 2024 - A BILL FOR AN ORDINANCE ADOPTING AN OVERLAY ZONE AMENDING REGULATION OF TIMESHARE INTERESTS. Council Member Beckerman seconded the motion.

The motion passed 7-0.

- B) RESOLUTIONS, SERIES 2024
1) RESOLUTION NO. 13, SERIES 2024 - A RESOLUTION APPOINTING TWO ELECTORS TO SERVE ON THE ELECTION COMMISSION EACH FOR A TWO-YEAR TERM
Mayor Owens read the title into the minutes. Helen Cospolich, Town Clerk, stated Council is required to appoint two Election Commissioners after every regular municipal election. She further stated this resolution appoints Leigh Girvin and Jennifer Schappert to the Election Commission for two-year terms.

Council Member Rankin moved to approve RESOLUTION NO. 13, SERIES 2024 - A RESOLUTION APPOINTING TWO ELECTORS TO SERVE ON THE ELECTION COMMISSION EACH FOR A TWO-YEAR TERM. Council Member Gerard seconded the motion.

The motion passed 7-0.

- C) OTHER
1) MOTION TO ADOPT OUTSIDE COUNSEL RATES
Town Attorney Kirsten Crawford stated the adoption of outside counsel rates is necessary to approve the rates for hired counsel for construction litigation. Mayor Owens and Council Member Carleton stated they would like to limit the amount spent for outside counsel.

Attorney Crawford noted we can put controls around litigation and not approve these rates tonight, or we could approve this and then come back with more information about what they think the cost will be. Town Manager Haynes stated we could go ahead and approve it now and then get a plan to move forward. Council Member Gerard stated we should seek reimbursement for attorney fees and Attorney Crawford stated she will look into that option.

Council Member Rankin moved to approve OUTSIDE COUNSEL RATES. Council Member Gerard seconded the motion.

The motion passed 7-0.

IX) PLANNING MATTERS

- A) PLANNING COMMISSION DECISIONS
Mayor Owens declared the Planning Commission Decisions would stand approved as presented.

X) REPORT OF TOWN MANAGER AND STAFF

Town Manager Haynes stated the Larkspur Ribbon Cutting is coming up and staff will send Council an invite. She also stated she and Council Member Saade are going to the CML conference in June, and Mark Truckey proposed June 18 or August 6 for a joint

meeting with the Planning Commission and staff will send something out to schedule that. Town Manager Haynes stated the BOSAC joint meeting will take place in August or September.

She also stated that the last time we talked we were going to have Blue Accessibility at Town Clean Up, but they can't attend and staff will be at Town Party to do the survey work instead. In addition, she stated she will be away next week and Deputy Town Manager Scott Reid will be the acting Town Manager during that time.

XI) REPORT OF MAYOR AND COUNCIL MEMBERS

A. CAST/MMC

There was no update.

B. BRECKENRIDGE OPEN SPACE ADVISORY COMMISSION

Council Member Beckerman stated the Open House took place recently, and it was nice to get everyone together to review the State of the Open Space. He also stated that the Breckenridge Nordic Center wasn't as convenient as the Recreation Center for participation, and the Open Space division will look to get more participation in the future.

C. BRECKENRIDGE TOURISM OFFICE

There was no update.

D. BRECKENRIDGE HISTORY

Council Member Rankin stated the Keystone Drill project is launching next week, and Breckenridge History hosted an event for the Dillon Valley Elementary kids impacted by their school closure.

E. BRECKENRIDGE CREATIVE ARTS

Council Member Gerard stated there will be an orientation on June 12 for new board members.

F. CML ADVISORY BOARD UPDATE

There was no update.

G. SOCIAL EQUITY ADVISORY COMMISSION

Council Member Saade stated the commission is in the process of selecting new members and has received good applications.

H. ARTS AND CULTURAL MASTER PLAN STEERING COMMITTEE

Council Member Beckerman stated there has been good engagement for the RFP and they are looking forward to next steps.

XII) OTHER MATTERS

Council Member Rankin asked about the large and bright EV chargers by the Community Center. Staff will look into this.

Council Member Carleton stated that at Verde Vista 2 all the lights seem to be on all the time and they are bright.

Mayor Owens thanked Recreation staff who helped with the Dillon Valley Elementary School closure. She further stated the community pitched in to help. She also stated there was an all-employee meeting last week to celebrate Town staff.

XIII) SCHEDULED MEETINGS

A) SCHEDULED MEETINGS FOR JUNE, JULY AND AUGUST

XIV) ADJOURNMENT

With no further business to discuss, the meeting adjourned at 7:35pm. Submitted by Helen Cospolich, CMC, Town Clerk.

ATTEST:

Helen Cospolich, CMC, Town Clerk

Kelly Owens, Mayor

Memo



To: Town Council
From: Chris Kulick, AICP, Planning Manager
Date: June 5, 2024 (for meeting of June 11, 2024)
Subject: Policy 16A and 16R Amendments- Vehicle Oriented Drive-Through Development
Second Reading

Staff recommends adopting the attached amendment to the Development Code, Policies 16 (Absolute) Internal Circulation, 9-1-19-16A Section C. and repealing subsection B of 16 (Relative) Internal Circulation 9-1-19-16R regarding Vehicle Oriented Drive-Through Development.

The proposed amendment would add a new definition to the Development Code for “Vehicle Oriented Drive-Through Development” and amend Policies 16A and 16R to prohibit Vehicle Oriented Drive-Through Development. Staff recommends this amendment to be consistent with goals outlined in the Town’s Comprehensive Plan, the Joint Upper Blue Master Plan, the Breckenridge Destination Management Plan and the Sustainable Breck Plan. These Plans set goals establishing Breckenridge at the leading edge in mountain environmental stewardship and sustainable practices, reducing visitor and resident car traffic and associated transportation emissions; and creating a non-auto dependent destination resort community.

There have been no changes to this amendment since the first reading, held May 28, 2024. Staff is available to answer any questions.

A BILL FOR AN ORDINANCE REGULATING VEHICLE-ORIENTED DRIVE-THROUGH DEVELOPMENT.

WHEREAS, in 2008, the Town adopted the *Town of Breckenridge 2008 Comprehensive Plan* which promotes, among other things, small town characteristics, maintain the rich legacy as a mining boomtown, and to reduce congestion and dependency on the automobile;

WHEREAS, regulating vehicle-oriented drive-through development is furthermore consistent with *The Joint Upper Blue Master Plan*, adopted in 1997 and updated in 2011, projections on the capacity of the Town and its infrastructure and the increasing need to implement destination management plans and a variety of tools to create a non-auto dependent destination resort community;

WHEREAS, in 2022, the Town adopted the *Sustainable Breck Plan* with goals to reduce transportation emissions by 25% by 2030 and 91% by 2050 over the 2005 community baseline;

WHEREAS, in 2019, the Town adopted the *Breckenridge Destination Management Plan* which created goals for more boots and bikes, less cars, establishing Breckenridge at the leading edge in mountain environmental stewardship and sustainable practices, and reduce visitor and resident car traffic;

WHEREAS, regulating vehicle-oriented drive-through development is consistent with the Town's overall policy goals related to land use, public transportation, and protecting the environment;

WHEREAS, regulating vehicle-oriented drive-through development is another policy to help reduce vehicle emissions and air pollution resulting from trip generation and idling vehicles, discourage excess paved areas to accommodate vehicle waiting, queuing, and maneuvering, and reduce conflict points between vehicles and pedestrians; and,

WHEREAS, regulating vehicle-oriented drive-through development is consistent with all of the Town's adopted plans and is necessary to achieve the Town's adopted goals.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE, COLORADO:

1 **Section 1.** That a new definition be added to section 9-1-5, underlined to read as
2 follows:

3 Vehicle Oriented Drive Through Development: The uses of land, buildings or structures, or
4 parts thereof, to provide or dispense products or services, either wholly or in part, through an
5 attendant, a window, or an automated machine, to persons remaining in motorized vehicles
6 that are in a lane dedicated for that purpose. Examples include but are not limited to drive-up
7 windows, menu boards, order boards or boxes, drive-in restaurants, and drive-up banks and
8 automated teller machines. Vehicle Oriented Drive Through Development shall not include the
9 direct refueling of motor vehicles, car washes, parking spaces used for customer pick-up or
10 loading of goods or products purchased on-site or prior to the customer's arrival, or parking and
11 loading spaces used for the donation of secondhand goods.

12 **Section 2.** That subsection C. of , 9-1-19-16A: POLICY 16 (ABSOLUTE) INTERNAL
13 CIRCULATION: be renamed "Vehicle Oriented Drive Through Development" and be amended
14 by deleting the language stricken and adding the language underlined to read as follows:

15 C. *Vehicle Oriented Drive Through Development:*

- 16 1. No drive-through window operations of any kind shall be allowed within the jurisdictional
17 boundaries of the Town of Breckenridge. Districts 11, 17, 18, 182, and 19 of the town, as
18 specified in the town's land use guideline district map.
- 19 2. ~~Outside of Districts 11, 17, 18, 182, and 19 of the town, as specified in the town's land use~~
20 ~~guideline district map, drive-through window operations which create the need for additional~~
21 ~~curb cuts onto any public street over and above those required to serve the project without the~~
22 ~~drive-through operation will not be allowed. (Ord. 19, Series 1988; amd. Ord. 3, Series 2022)~~
23 Except as otherwise provided in section 9-1-12, nonconforming structure, nothing in this section
24 9-1-19-16A C. affects any Vehicle Oriented Drive Through Development existing prior to the
25 effective date of this ordinance.

26 **Section 3.** That subsection B. of section 9-1-19-16R: Policy 16 (Relative) Internal
27 Circulation is hereby repealed.

28 **Section 4.** This ordinance shall be published and become effective as provided by
29 Section 5.9 of the Breckenridge Town Charter.

30

1 INTRODUCTION, READ ON FIRST READING, APPROVED AND ORDERED
2 PUBLISHED IN FULL this 28th day of May 2024.
3
4 READ, ADOPTED ON SECOND READING AND ORDERED PUBLISHED IN FULL ON THE
5 TOWN'S WEBSITE this 11th day of June, 2024. A copy of this Ordinance is available for
6 inspection in the office of the Town Clerk.
7 TOWN OF BRECKENRIDGE, a Colorado
8 municipal corporation

9
10
11
12 By: _____
13 Kelly Owens, Mayor
14

15 ATTEST:

16
17
18
19 _____
20 Helen Cospolich, CMC,
21 Town Clerk
22

23 ATTEST:
24
25
26

Memo



To: Town Council
From: Sarah Crump, AICP, Planner III
Date: June 5, 2024 (for meeting of June 11, 2024)
Subject: Timeshare Overlay District Second Reading

The Town currently does not have any restrictions on the location of timeshare development and now has close to 900 fractional ownership units, with more anticipated based on current development approvals. In recent years, there has been considerable discussion about overcrowding in Town and the loss of the quieter shoulder season periods. In a previous April 9, 2024 work session, Council was introduced to various ways other jurisdictions regulate the development of timeshares and it was recommended that a timeshare overlay be used to prescribe the allowed location of future timeshare development in Town. Tonight, on second reading, staff is proposing a timeshare overlay district ordinance based on this recommendation.

Criteria for inclusion within the timeshare overlay considered parcels within land use districts that allow for commercial uses that support the ski area base and/or recommend ski area bed base or lodging accommodations uses as a guide. It has been previously expressed by the Council that it is important to retain the existing lower-density development characteristics of areas generally outside of the ski area base, which are incompatible with timeshare development.

Attached for Second Reading is the proposed Timeshare Overlay District ordinance. There were no substantive changes to the bill since first reading. A reference to clarify the intended regulation to limit future timeshare interest development to the overlay mapped area and a reference to the map as "Exhibit A" were incorporated into the bill.

A BILL FOR AN ORDINANCE ADOPTING AN OVERLAY ZONE AMENDING REGULATION OF TIMESHARE INTERESTS.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE, COLORADO:

Section 1. That section 9-1-5 entitled “Definitions” be amended by deleting the language stricken and adding the language underlined to read as follows:

9-1-5: DEFINITIONS:

Timeshare Interests: a dwelling unit within a multi-unit property, that has been divided into 13 or more interval estates, timeshare estates, timespan estates, or and other timesharing interests as defined in the Condominium Ownership Act, article 33, title 38, CRS, as amended from time to time or a dwelling unit where right-to-use for a specific amount of time is granted through a membership club, points system, or the right to use the dwelling unit is made through purchase or other contractual arrangements. The intermittent rental of a dwelling unit to the public or parties outside the system does not preclude the dwelling unit from being defined as a timeshare interest. Single-family, duplex, or townhouse dwelling units may not be developed as timeshare interests.

Section 2. That section 9-1-19-2A: Policy 2 (Absolute) Land Use Guidelines be amended by deleting the language stricken and adding the language underlined to read as follows:

9-1-19-2A: Policy 2 (Absolute) Land Use Guidelines:

Land use guidelines have been adopted for the town and surrounding areas by the Breckenridge town council. To promote the health, safety and general welfare of the community, all developments shall be reviewed against the land use guidelines and, where applicable, an approved master plan for the development of the property. Each development located within the boundaries of the Timeshare Overlay District, Downtown Overlay District, or the Cucumber Gulch Protection Overlay District as defined in the land use guidelines shall comply with all of the regulations applicable to such Overlay District.

- A. Timeshare interest development is only allowed within the Timeshare Overlay District mapped area boundary as adopted under Ordinance XX, Series 2024.

1 _____
2 Helen Cospolich, CMC, Town Clerk

3

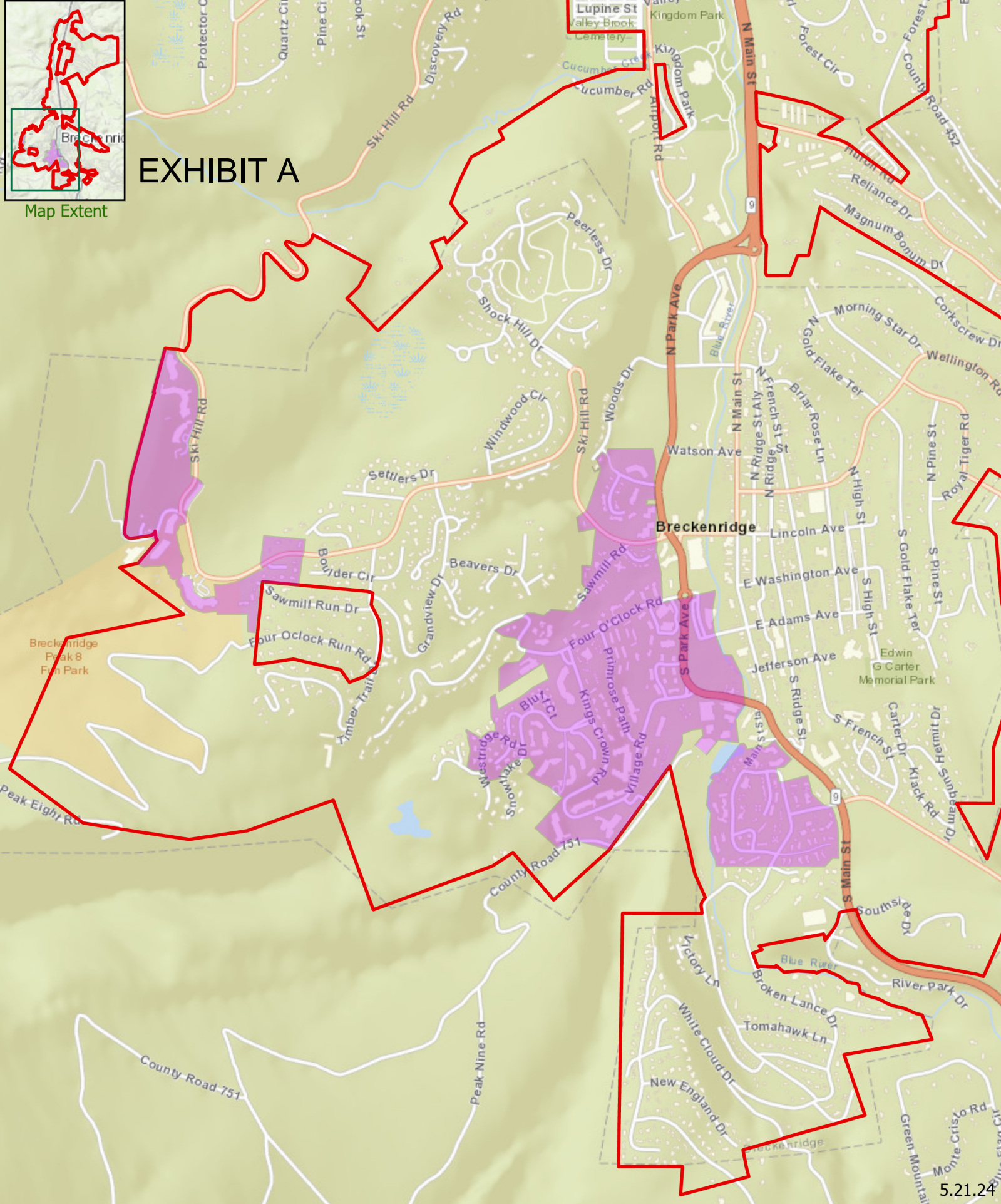
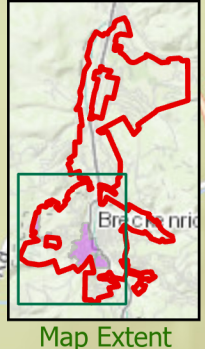
4 ATTEST:

5

6

7

EXHIBIT A



Timeshare Overlay District
Town of Breckenridge

- Town Boundary
- Timeshare Overlay District



Memo



To: Town Council
From: Clif Cross, Planner II
Date: June 5, 2024 (for meeting of June 11, 2024)
Subject: First Reading: Policy 3A Code Amendments

During a work session on January 9, 2024, staff led a discussion with the Town Council regarding the use of vestibules within the Conservation District. The conversation included the use of permanent or temporary vestibules, historic structures and new construction, and the potential sustainability of using vestibules to reduce heat loss in buildings. Staff received direction during the work session from the Council to draft Code amendments that would allow for the installation of permanent vestibules on non-historic or newly constructed structures. The Council was specific on needing to set a cap on the square footage of the density bonus while ensuring the vestibule installations are compliant with the Handbook of Design Standards.

Staff have since worked on the included Code amendments for providing a density bonus for permanent vestibules under [Policy 3A: \(Absolute\) Density / Intensity](#). A summary of the proposed density bonus is below. Additionally, staff is proposing further clarification to a density bonus that is provided to properties limited to above ground square footage outside of the Conservation District under [9-1-19-3A\(I\)\(3\)](#).

Permanent Vestibule Code Summary:

1. An area of up to 40 sq. ft. of density may be exempt from the maximum allowed density on a commercial property.
2. No food and beverage service or storage may occur within the vestibule area.
3. The permanent vestibule is subject to the Handbook of Design Standards, specifically materials, placement, and design.

Staff Recommendation:

Staff recommends the Town Council approve the proposed Code amendments to Policy 3A at first reading.

Staff will be available at the worksession to answer any questions.

1 COUNCIL BILL NO. ____

2
3 Series 2024

4
5 **A BILL FOR AN ORDINANCE AMENDING POLICY 3A**
6 **DENSITY/INTENSITY OF THE DEVELOPMENT CODE.**

7
8 **NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE**
9 **TOWN OF BRECKENRIDGE, COLORADO:**

10
11 **Section 1.** That a new definition be added to section 9-1-5 and placed in
12 alphabetical order, underlined to read as follows:

13 VESTIBULE: A small permanent anteroom, or foyer, no larger than forty (40) square
14 feet, with doors in a series, leading into a commercial structure for the purpose of
15 providing a barrier between the interior and exterior conditions. Permanent vestibules
16 must comply with the Handbook of Design Standards and work harmoniously with the
17 primary structure’s exterior materials and architectural design.

18 **Section 2.** That a new subsection 6. be added to section 9-1-19-3A H., entitled
19 “POLICY 3 (ABSOLUTE) DENSITY/INTENSITY”, underlined to read as follows:

20 6. Permanent Vestibules in the Conservation District: Any commercial or mixed-
21 use structure within the Conservation District that does not meet the definition of
22 Historic Structure or Landmarked Structure, as defined in the Definitions section of
23 this Chapter, may be permitted additional aboveground square footage for the
24 installation of a permanent vestibule, even if the structure already exceeds
25 applicable density limitations. The additional square footage shall be subject to the
26 following:

27 a. Density Bonus: The additional square footage shall be the space necessary
28 for an ADA compliant door arrangement, with a maximum of forty (40) square
29 feet of additional density.

30 b. Design Standards: Vestibules shall comply with all priority policies of the
31 “Handbook of Design Standards for the Historic and Conservation Districts”
32 and work harmoniously with the primary structure’s materials and architectural
33 design.

1 c. Setbacks: No vestibule shall be built within five feet (5') of a rear or side
2 property line.

3 d. No food and beverage service, or storage, may occur within the vestibule.

4 **Section 3.** That section 9-1-19-3A: Policy 3 (Absolute) Density/Intensity,
5 subsection I. 3, be amended by deleting the language stricken and adding the language
6 underlined to read as follows:

7 3. Additional Square Footage: ~~For any single-family or duplex structure existing or~~
8 ~~for which a development permit has been issued before the date described in~~
9 ~~subsection I(1) of this section:~~ The below allowances shall apply for a single-family
10 or duplex structure for which an originating development permit was issued prior to
11 November 11, 2009 and where the below described additional square footage has
12 not been taken advantage of previously. The below allowances shall not apply to
13 any redeveloped home sites and new-build development, or any remodel or addition
14 where at least 80 percent of the structure built prior to November 11, 2009 does not
15 remain.

16 **Section 4.** This ordinance shall be published and become effective as provided
17 by Section 5.9 of the Breckenridge Town Charter.

18 INTRODUCED, READ ON FIRST READING, APPROVED AND ORDERED
19 PUBLISHED IN FULL this ____ day of _____, 2024. A Public Hearing shall be held at
20 the regular meeting of the Town Council of the Town of Breckenridge, Colorado on the
21 ____ day of _____, 2024, at 7:00 P.M., or as soon thereafter as possible in the Municipal
22 Building of the Town.

23
24 TOWN OF BRECKENRIDGE, a Colorado
25 municipal corporation
26

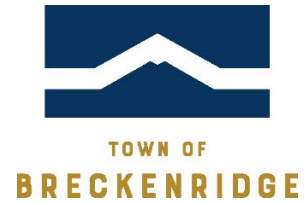
27
28
29 By: _____
30 Kelly Owens, Mayor
31

32 ATTEST:

1
2
3
4
5
6
7
8
9
10
11

Helen Cospolich, CMC,
Town Clerk

ATTEST:



Memo

To: Breckenridge Town Council Members
From: Mark Truckey, Director of Community Development
Date: June 5, 2024
Subject: Planning Commission Decisions of the June 4, 2024 Meeting

DECISIONS FROM THE PLANNING COMMISSION MEETING, June 4, 2024:

CLASS A APPLICATIONS:

1. Resubdivision Plat Parcel 6, The Sixth Resubdivision Plat for the Remainder of Tract C Peak 8 Subdivision, Filing No. 1:
A proposal to subdivide a single parcel totaling 13.3544 acres from existing parcels: Tract C Peak 8 Subdivision Filing 1, Remainder Parcel H Tyra Placer MS 13343, and Remainder Parcels R, P, and S Ada Placer MS 13774. *Approved, see second memo.*
2. Gondola Master Plan Amendment, 350, 355 & 415 S. Park Avenue, PL-2024-0118:
A proposal to amend the master plan for the North Gondola Lot, North Gold Rush Lot, and South Gold Rush Lot in accordance with the recently approved development agreement between the Town and Breckenridge Grand Vacations. *Approved, see second memo.*

CLASS B APPLICATIONS: None.

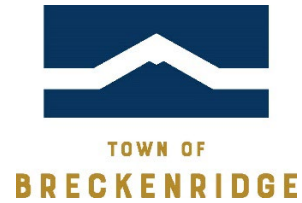
CLASS C APPLICATIONS:

1. Edel Residence, 206 Morning Star Drive, PL-2024-0087:
A proposal to demolish an existing single-family home and construct a new 3,951 sq. ft. single-family residence with 4 bedrooms and 4.5 bathrooms. *Approved.*
2. Bostad Residence, 212 Wellington Rd., PL-2024-0154:
A proposal to demolish an existing single-family residence and construct a new 7,251 sq. ft. single-family residence with 5 bedrooms, 6.5 bathrooms, and a 3-car garage. *Approved.*

TOWN PROJECT HEARINGS:

1. Carter Park Dog Park, 500 S. High Street, PL-2024-0163:
A proposal to construct various improvements to the existing Carter Park in Breckenridge, including landscaping, a new sidewalk, redesigned fencing, a shade structure, and additional drainage facilities. Project is necessitated to treat contaminated runoff from the Dog Park and adjacent uses. *Planning Commission recommends Town Council approval.*

OTHER: None.



Memo

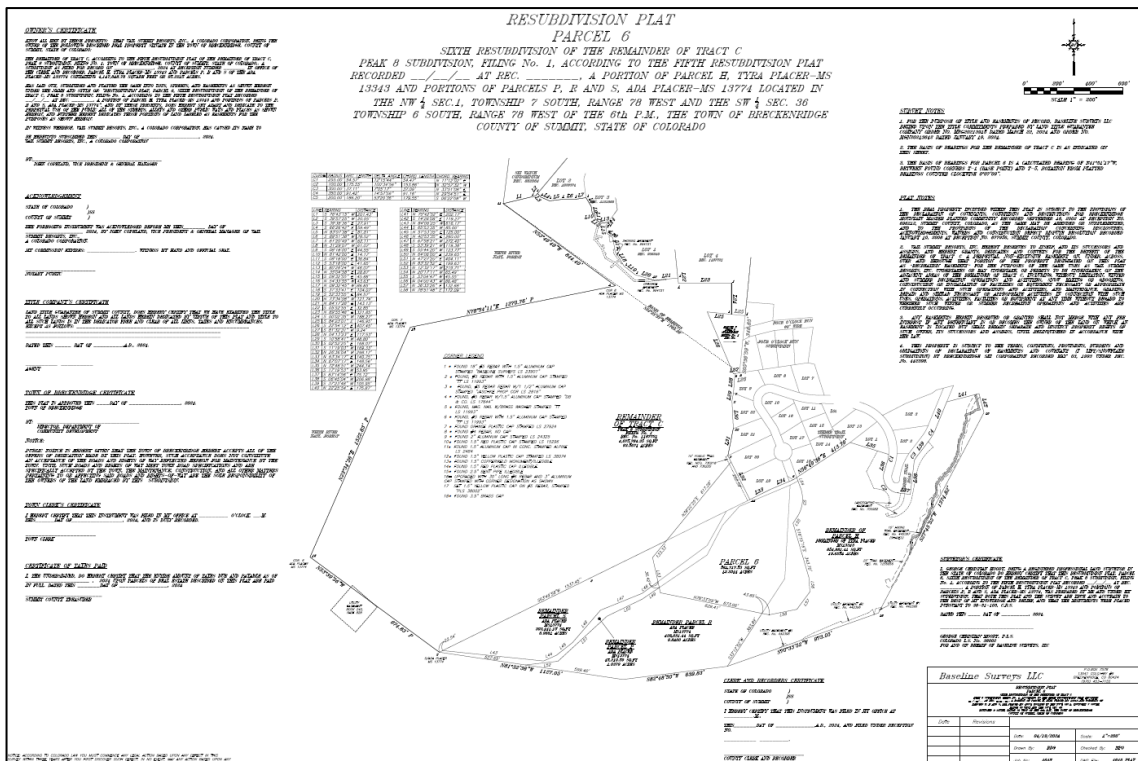
To: Breckenridge Town Council

From: Chris Kulick, AICP, Planning Manager

Date: June 5, 2024 (For June 11, 2024, Meeting)

Subject: Parcel 6, the Sixth Resubdivision Plat of the Remainder of Tract C Peak 8 Subdivision, Filing No. 1, Remainder Parcel H Tyra Placer MS 13343, and Remainder Parcels R, P, and S Ada Placer MS 13774

A Combined Class A Hearing for the Parcel 6, Subdivision was held by the Planning Commission on June 4, 2024. The application proposes to subdivide a single parcel totaling 13.3544 acres from existing parcels: Tract C Peak 8 Subdivision Filing 1, Remainder Parcel H Tyra Placer MS 13343, and Remainder Parcels R, P, and S Ada Placer MS 13774. The recently approved Development Agreement for the Gondola Lots and Peak 7 & 8 Master Plans contemplated the development of two new planning areas in the Peak 7 & 8 Master Plan boundaries for two single-family residential subdivisions - Parcels 5 and 6. The Owner and Applicant/Agent currently seek to subdivide the area identified as Parcel 6 in the Development Agreement from the parcels identified above in order to convey ownership from the owner to the applicant/agent. No single-family lots, roadways, infrastructure, or physical improvements are proposed at this time. In the future, a second subdivision request to divide the parcel into 14 single-family lots will be submitted.



This subdivision features a combination of previously unsubdivided tracts (11.7009 acres) and a portion of the previously subdivided Tract C, Peak 8 subdivision (1.6535 acres). Associated with this subdivision

proposal, the required open space dedication will be based on the previously unsubdivided 11.7009 acres since an open space dedication was previously made for the Tract C, Peak 8 subdivision.

During the review of the subdivision, planning staff consulted with open space staff and collectively decided to require a cash contribution of 10% of the land value instead of a land dedication. This decision was made because acquiring additional park or open space land in this area provides limited community benefit. Staff notes, the recent development agreement which allows up to 14 single-family lots and the property's adjacency to ski runs at the Breckenridge Ski Resort will be a factor in determining the land value which the cash contribution will be based on. Staff has added a condition of approval that requires a cash contribution of 10% of the land value prior to the recording of the subdivision.

The Commission found the application complied with the Subdivision Code. The subdivision permit was approved by a 6-0 vote of the Commission.

Staff will be available at the meeting to answer any questions.



Memo

To: Breckenridge Town Council
From: Sarah Crump, AICP, Planner III
Date: June 5, 2024 (For June 11, 2024, Meeting)
Subject: Gondola Lot Master Plan Amendment, PL-2024-0118

A Combined Class A Hearing for the Gondola Lot Master Plan Amendment was held by the Planning Commission on June 4, 2024. The application is a proposal to amend the Gondola Lot Master Plan for the North Gondola Lot, North Gold Rush Lot, and South Gold Rush Lot in accordance with the recently approved development agreement between the Town and Breckenridge Grand Vacations. The amendment will re-assign density and revise uses for parcels outlined in the Gondola Lot Master Plan in accordance with the development agreement by transferring up to 90.2 SFEs (single-family equivalents) of density from the Gondola Lot Master Plan area to the Peak 7 & 8 Master Plan area and 15 SFEs to the Entrada Lot and receive up to 13.9 SFEs of density from the Town of Breckenridge for the construction of workforce housing units on North Gondola Lot.

This application seeks a major amendment to most of the existing language within the Gondola Lot Master Plan which was related to previous design concepts for the planning area. The proposed amendments seek to incorporate density, uses, site layout, parking agreement requirements, landscaping requirements, roundabout construction, and wetland dedication obligations. The development agreement granted waivers for some key provisions of the development code which regulate master plans. These waivers include the ability to transfer density without the assignment of negative points and a waiver from Policy 39/A which requires amended master plans to come into compliance with current development code policies for particular items. These waivers allow for current Master Plan provisions for mass bonuses and parking requirements to carry forward in the amendment.

Development Code section 9-1-17-3.5 discusses the applicability of current point assignments, specifically positive point totals that exceed zero, toward modifications to development permits when vested. The current master plan is vested and therefore the existing point assignment from the current master plan was carried forward to assess this proposed amendment.

The Commission found the application complied with the development code, parking agreement, and development agreement. The amendment to the Gondola Lot Master Plan was approved by a 6-0 vote of the Commission with a passing point analysis of positive three (+3) points.

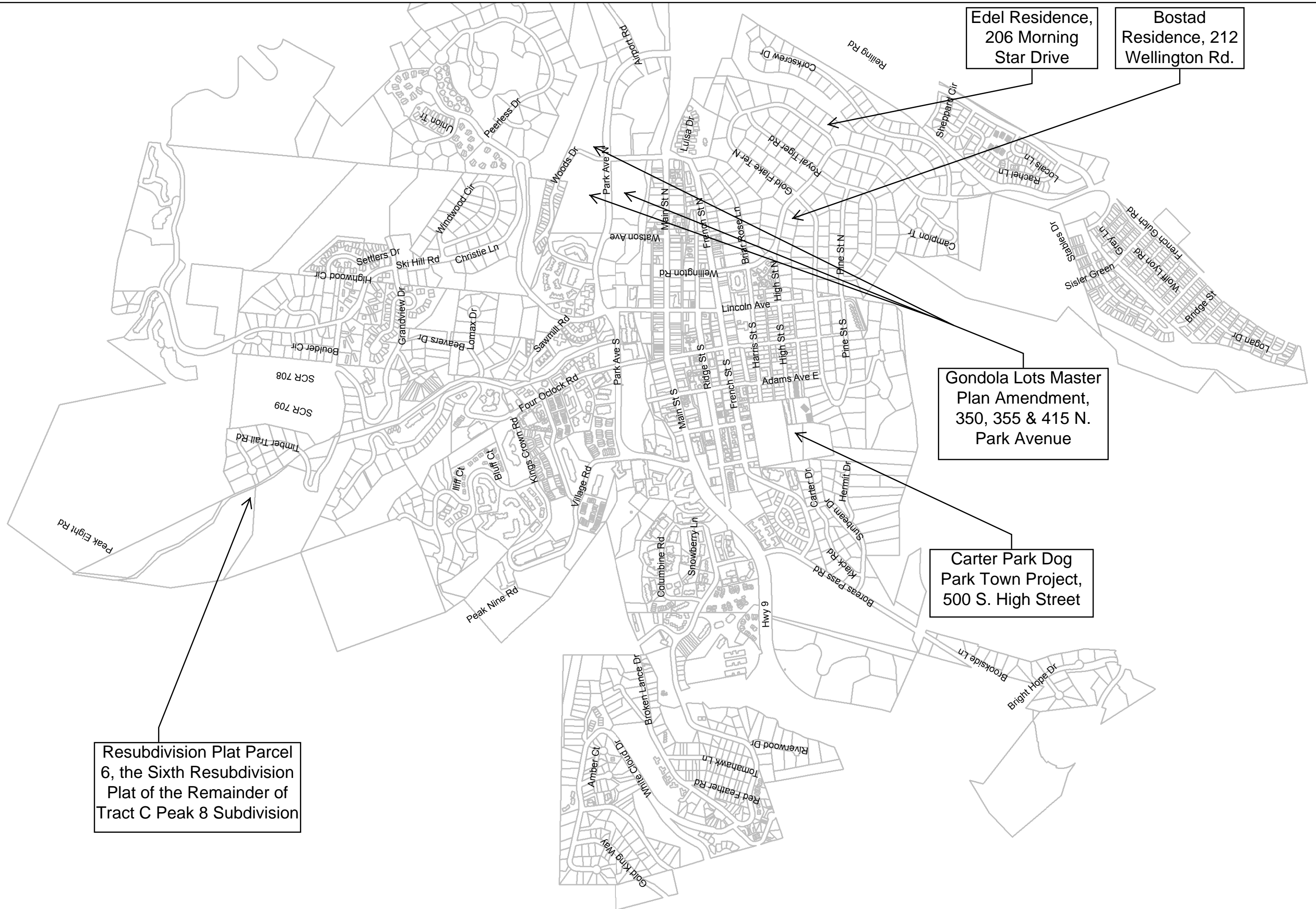
Staff will be available at the meeting to answer any questions.

[Planning Commission Staff Report](#)



NOT TO SCALE

Breckenridge South



Edel Residence,
206 Morning
Star Drive

Bostad
Residence, 212
Wellington Rd.

Gondola Lots Master
Plan Amendment,
350, 355 & 415 N.
Park Avenue

Carter Park Dog
Park Town Project,
500 S. High Street

Resubdivision Plat Parcel
6, the Sixth Resubdivision
Plat of the Remainder of
Tract C Peak 8 Subdivision

PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 pm by Chair Leas.

ROLL CALL

Mike Giller	Mark Leas	Allen Frechter	Keely Ambrose – absent
Ethan Guerra	Elaine Gort	Susan Propper	

APPROVAL OF MINUTES

Mr. Leas: I did have some changes to the meeting minutes. In terms of what I had to say about Policy 6R, as it relates to the workforce housing, did not make it into the minutes. I said that we should take a look at the height of the Fire Station, the Building Center, and the water treatment plant when we evaluate the employee housing project.

With those changes, the May 21, 2024 Planning Commission Minutes were approved.

APPROVAL OF AGENDA

With no changes, the June 6, 2024 Planning Commission Agenda was approved.

PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

No Public Comments. The Public Comment Section was closed.

CONSENT CALENDAR:

1. Edel Residence (EM), 206 Morning Star Drive, PL-2024-0087
2. Bostad Residence (SVC), 212 Wellington Rd., PL-2024-0154

Mr. Frechter: Taking out the sink, dishwasher, fridge; is that because they are building new and if that remained the ADU would require a deed restriction? (Ms. Ellie: There is currently a covenant recorded against the accessory unit above the garage that specifies the unit is not allowed to have a kitchen. And those items are part of the kitchen definition. Currently, they are not in conformance with that covenant, so they are removing those items as part of the project.) Does the Building Department check for water service lines to be removed during their inspections? (Ms. Muncy: We have added a condition of approval to the application that specifies the fixtures and associated lines be removed with this application. We can ensure the Building Department is aware of and inspects these items.)

With no call-ups, the Consent Calendar was approved as presented.

COMBINED HEARINGS:

1. Resubdivision Plat Parcel 6, The Sixth Resubdivision Plat for the Remainder of Tract C Peak 8 Subdivision, Filing No. 1 (SVC), PL-2024-0115

Mr. Kulick presented a proposal to subdivide a single parcel totaling 13.3544 acres from existing parcels: Tract C Peak 8 Subdivision Filing 1, Remainder Parcel H Tyra Placer MS 13343, and Remainder Parcels R, P, and S Ada Placer MS 13774. The recently approved Development Agreement for the Gondola Lot and Peak 7 & 8 Master Plans contemplated the development of two new planning areas in the Peak 7 & 8 Master Plan boundaries for two single-family residential subdivisions - Parcels 5 and 6. The Owner and Applicant/Agent currently seek to subdivide the area identified as Parcel 6 in the Development Agreement in order to convey ownership from the Owner to the Applicant/Agent. No single-family lots,

roadways, infrastructure, or physical improvements are proposed currently. In the future, a second subdivision request to divide Parcel 6 into multiple single-family lots will be submitted.

Commissioner Questions / Comments:

Mr. Leas: The property line is curved; is there a specific reason for that? (Mr. Kulick: It really has to do with the slope and separation from the maintenance facility. There is approximately 85 feet of vertical gain between the two.)

Mr. Guerra: The slope that you are talking about is that located by the fuel pumps?

Mr. Graham Frank, Breckenridge Grand Vacations: You are correct, the highest portion will be near the refueling stations where the snowcats cut in and the retaining wall climbs that entire way.

The hearing was opened to public comment; there were no comments and the comment period was closed.

No additional Commissioner Comments.

Mr. Giller made a motion to approve the Parcel 6 Resubdivision, seconded by Mr. Guerra. The motion passed 6 to 0.

2. Gondola Lot Master Plan Amendment (SVC), 350, 355 & 415 S. Park Avenue, PL-2024-0118
Ms. Crump presented a proposal to amend the master plan for the North Gondola Lot, North Gold Rush Lot, and South Gold Rush Lot in accordance with the recently approved development agreement between the Town and Breckenridge Grand Vacations. This amendment will transfer up to 90.2 SFEs (single-family equivalents) of density from the Gondola Lot Master Plan area to the Peak 7 & 8 Master Plan area and 15 SFEs to the Entrada Lot and receive up to 13.9 SFEs of density from the Town of Breckenridge for the construction of workforce housing units on Gondola Lot Parcel 2. The amendment will re-assign density and revise uses for Gondola Lot Parcels 1, 2, and 3 outlined in the Gondola Lot Master Plan in accordance with the development agreement.

Commissioner Questions / Comments:

Mr. Propper: I did not understand the differences between dedicating land for public benefit and dedicating from a points perspective regarding the Open Space discussion. (Ms. Crump: Typically, when positive points are given, it's through a public dedication, where the applicant would retain private ownership but allow for an easement and public access to the area. This is a little different because they are dedicating fee simple and deeding the land to the Town. The Town requested that; it's better for us to have control over that sensitive wetland area and have full ownership. When this master plan went through, staff believed that dedicating the land fee simple went above and beyond the requirement, and so it was eligible for the positive points.) Okay, thank you. (Mr. Kulick: It wasn't a required dedication at the subdivision because the Parkway Center had already been subdivided. Additionally, there is a separate dedication that we are working on regarding the Breckenridge Transit Center. So that's why some of the lot lines that are shown are kind of jogged away to match the wetland delineations, as well as where the lease area of the Transit Center.)

Mr. Giller: Is the development agreement the basis for allowing the more generous mass bonus per the now repealed Policy 4 and yet the parking requirement is reduced from the previous two spaces per townhome to 1.5 spaces per unit? It sounds like we gave in on both of those. (Ms. Crump: The development agreement did specifically outline that density would be looked at as prior to the Code revisions and therefore you have to think about mass calculations as well.) (Mr. Kulick: And then the parking I think is being more

generous, because now we require two spaces per duplex unit. And previously it was 1.5. Depending on further development, you don't want to develop more parking spaces and could consider 1.5 as is as being more generous from the developer point of view.) Perhaps, I believe two spaces is more stringent, and there is less likelihood of parking on the street or the townhomes not accommodating all the necessary parking. So, on one hand, we've allowed more density more mass based upon the old criteria, and we've allowed less parking based upon the old criteria. My second question, can you give us some sense on the operation of the shuttle? Is that a seasonal ski season thing? (Ms. Crump: Yes, the shuttle will be required on certain days when the ski area reaches a certain capacity on the Gondola Lots.) (Mr. Kulick: I think in the past year, the North Gold Rush Lot was utilized on six separate occasions. Part of the agreement is to park the other lots first and wait till they're full, and then have parking over there as essentially overflow. And when that begins operation, then they have to operate the shuttle. There is also a requirement of the Agreement for any shuttles to be electric.)

Mr. Leas: And that shuttle is just running across the street? (Mr. Kulick: Yes, it is.)

Mr. Giller: And is the thought collectively that that's less impact than vehicular or a small gondola? (Mr. Kulick: A big difference between this and the previous master plan is that the North Gondola Lot still retains a large amount of parking where before everything was going to the North Gold Rush Lot. So, every day that lot was open, all those people would have to cross the street. Now, for the majority of days in the winter, that lot won't even be open. The ski area has a good sense based on past demand when the busy weekends are and when operation is necessary. When the lot was proposed to be open 100% of the time, we did need that constant movement provided by a gondola.) The primary parking was a garage, not just a surface lot. Okay that helps my understanding.

Mr. Guerra: I have no comments or questions. Thank you.

Ms. Gort: On the roundabout, we are giving three points for the roundabout, and then four points for the Capital Improvement Plan items because it's within three years, but it is not within three years? (Ms. Crump: That is the provision that was written into the Development Agreement, and it's outlined in the Development Code that for prior positive points, if the master plan is vested, they can carry those points forward. While they wouldn't be eligible for those points today if we were totally starting from scratch, they are allowed to carry those points forward.) My next question has to do with a statement about them wanting to carry over their positive points. Right now they're getting three points. (Ms. Crump: Not to other projects, they cannot move positive points to other projects, just for this amendment to the Master Plan. They can't move their positive points to a different project.) I thought that they could move the points to different properties within this whole Master Plan. (Ms. Crump: No, future site-specific hearings will have their own point analyses.) What is the point of the carry-over? How would they use that? (Ms. Crump: They're carrying forward the analysis from the existing Master Plan. With these amendments, they're ending with only positive three because they're still receiving negative ten and not doing a few of the items that resulted in additional negative points prior. The final score results in positive three now instead of positive eight. If they were to have another amendment in the future, those positive three points could come into play and the whole master plan would be rescored again. But no, they are not able to take those points and use them for a different project.) (Mr. Kulick: Point analyses can get complicated. For example, the master plan can take negative points for height. At the site-specific reviews, no negative points would be given for height because the master plan already took the negative points.) (Ms. Crump: There are also situations where the master plan was eligible for positive points but the applicant has chosen to instead defer those points until the site-specific reviews.)

- Ms. Gort: On the North Gold Rush Lot, if the parking lot is going to be empty most of the time, that is a lot of paved hard surface. We don't give negative points because of the required parking? (Ms. Crump: They are not given negative points because the parking lot is fulfilling the requirements of a separate parking agreement. There will be a future application that discusses the site specific parking lot upgrades regarding landscaping, drainage, and lighting.) Does it have to be paved asphalt? (Mr. Kulick: Yes, parking lots must be paved per the agreement and the Development Code.)
- Mr. Frechter: Are the planned number of parking spaces greater than what can be parked there now? (Mr. Kulick: The area will be increasing to accommodate the loss of parking spaces from the South Gold Rush Lot and proposed employee housing.) So, there is not a net change in the number of spaces between the Lots? (Mr. Kulick: Correct, it is a wash.) Since the phasing is part of this amended Master Plan, the applicant can only progress so much on specific sites before moving to the next? (Mr. Kulick: Yes, there are certain targets that the applicant must meet. This is primarily for the Town to get the public benefits identified in the development agreement first.) Are they going to keep the north entrance to the North Gold Rush Lot? (Ms. Crump: I believe they are abandoning that entrance.)

Mr. Graham Frank, Breckenridge Grand Vacations: I think Mr. Dudick, myself, Mark Truckey, and Chris Kulick are the only persons that are aware of what Sarah has had to absorb, and now potentially forward. And it's astounding, because we've lived it the four of us over five years, but we're sitting here amazed at the presentation. So thank you, because this is a ton of information. And on the north gate/entrance, that is not a CDOT approved access, so no, it won't be perpetuated in the future.

The hearing was opened to public comment; there were no comments and the comment period was closed.

- Mr. Giller: Enormous amount of thought and hard work into this project. Thank you all. No comments.
- Mr. Gort: Thank you, all. I do think that is a lot of paved area for the North Gold Rush Lot. If something creative can be done, like pickleball courts, or something similar, that is a lot of paved area to only be used 20 days a year. That's my suggestion and my comment.
- Mr. Frechter: No comments. Good job.
- Mr. Leas: No further comments. To echo Mr. Giller, when I started as a Commissioner, we were introduced to this project. Some of us have seen all of the changes and can only begin to appreciate the work that you guys put into it. Thank you for all the work from BGV and Staff.

Mr. Giller made a motion to approve the Gondola Lot Master Plan Amendment, seconded by Mr. Guerra. The motion passed 6 to 0.

TOWN PROJECT HEARINGS:

1. Carter Park Dog Park (CK), 500 S. High Street, PL-2024-0163

Mr. Kulick presented a proposal to construct various improvements to the existing Carter Park in Breckenridge, including landscaping, a new sidewalk, redesigned fencing, a shade structure, and additional drainage facilities. The project is necessitated to treat contaminated runoff from the Dog Park and adjacent uses.

Commissioner Questions / Comments:

- Mr. Frechter: Currently, the dog park has a small dog area. Is that the reason for that fence? Or will there be another small dog area?

Ms. Kristen Brownson, Public Works Assistant Director: We are considering both a small dog area and a large dog area. Currently, the small dog area is very small. As you can see from the plans, it's now split down the middle. We've been talking to our landscape architects about possibly adding another smaller area for the little, teeny tiny dogs so that they're not mixed in with the other dogs that are running so fast. So that is something we're considering and haven't come to hard conclusions yet. But yes, we want to keep the little dogs separated.

Ms. Gort: Does the separating fence in the middle open up? (Ms. Brownson: There is not an opening in the middle fencing. At the north or south entrance, you must choose which side of the dog park that you are entering. Those are the main gates and feature double gates so the dogs cannot run out.)

Mr. Scott Jackman, Streets and Parks Manager: Last Spring, we had to close the dog park a few weeks because of the melting snow and conditions. With this design, we could keep one side open and close the northwest side when conditions are at their worst.

Mr. Guerra: I don't have any questions. I do not have a dog, but I have seen a lot of the community using it. I am excited to see some positive changes at this location. (Mr. Jackman: We hear from the community it benefits the dogs, it's good to have a dog park, but it's also good for the owners. It's a social thing for some people.)

Ms. Propper: I saw that some of the planting beds are intended to discourage vehicles from entering parts of the park and I wanted to know whether there would still be paving in front of the pavilion? Will people still be able to drive cars down there if they're having an event at the pavilion and they need to unload? (Mr. Jackman: Yes, that's possible for someone having an event where they need to load in/loadout the pavilion. You can see three squares there on the plans; those are planter boxes. And our thoughts were just utilizing that to keep people from driving onto the lawn. Those are also able to be moved if needed.) Thank you. No other questions.

Commissioner Comments:

Mr. Frechter: If you are proposing to split the dog park, are you going to put water fountains in both sections? (Ms. Brownson: We had only planned for one, but maybe we'll look at two. That is a good suggestion.) Additionally, it would be nice if there was a coffee or concessions bar in this area. Seriously, an area for maybe an entrepreneurial coffee truck in the winter with provisions for electricity. I think hot chocolate and coffee in the winter and cold drinks in the summer would be nice.

Mr. Leas: That ties into the social aspect that you were speaking about.

Ms. Gort: I have no additional comments other than I have a dog and my dog loves the dog park. Thank you for keeping this community dog friendly.

Mr. Leas: I know there was a lot of effort put into this. Great job to Norris in designing it.

The hearing was opened to public comment.

Mr. Greg Jaspan, 220 Highland Terrace: First of all, we love the dog park. It's a wonderful amenity to Breckenridge, we've been using it since we moved here three years ago. So, I can't say enough about the social aspects and what it does for our dogs. Just a couple of comments, though. The berms and things like that, one of our concerns is that dog waste, if a dog goes behind the berms and the owners don't see it because the berm and so the dog waste is left. I don't know how you accommodate for that, but right now with the rocks in the northwest corner, a huge accumulation of waste there because of that. My concern is

with all the landscaping and things like that you're going to accumulate a lot more waste. Yes, there's a small dog park area now, which I heard you say you would make accommodation for some of our friends that do have smaller dogs. That will be a welcome addition to the show. (Mr. Jackman: We did hear that from the other community groups we work with. We proposed this plan and that was their first question. Where's the small, small dog park? And so, we are considering that and it's on the latest drawing on the north side. Right where you enter at the north side; it would be a small four-foot high fence, specifically for small dogs.) And that fence is being raised to five feet? (Mr. Jackman: That is correct. The perimeter fence we're suggesting five feet. We think because of the snow accumulation here and we see dogs jump in or out. We thought five feet is a good height. We know there's a lot going on here. There's a dog park, tennis courts, pickleball, the pavilion and weddings. We also heard comments that you should make the fence six feet, seven feet. We do not want the dog park to look like a compound for those that are having a wedding at the pavilion.) In Silverthorne it's six feet. So, making it six foot I think would prevent dogs from jumping as well as reducing injury. Right now moose can walk right over the fence.

There were no additional public comments and the public comment period was closed.

Mr. Giller made a motion to **recommend approval** of the Carter Park Dog Park Town Project, seconded by Ms. Propper. The motion passed 6 to 0.

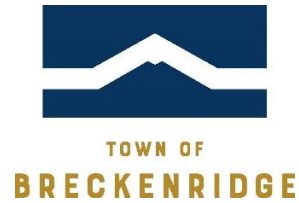
OTHER MATTERS:

1. Town Council Summary

ADJOURNMENT:

The meeting was adjourned at 6:56 pm.

Mark Leas, Chair



Memo

To: Breckenridge Town Council
From: Chris Kulick, AICP; Planning Manager
Date: June 5, 2024 (For June 11, 2024 Meeting)
Subject: Carter Park Dog Park Renovation

The Carter Park Dog Park Renovation is being reviewed as a Town Project Hearing, as per town project requirements in Title 9, Chapter 14 of the Town Code. All public noticing requirements designated by the Land Use and Development Code have been fulfilled as required.

This is a proposal to construct various improvements to the existing Carter Park Dog Park in Breckenridge, including landscaping, a new sidewalk, redesigned fencing, relocating an existing shade structure, and additional drainage facilities. The project is necessitated to treat contaminated runoff from the Dog Park and adjacent uses.

Attached to this memo is a complete staff report, substantially the same as presented to the Planning Commission and attachments including the proposed plans and the Commission's recommended Findings and Conditions (6-0 vote).

If the Council agrees with the Planning Commission's recommendation after the public hearing at the evening meeting, a motion for approval is provided below.

I make a motion to approve the Carter Park Dog Park Renovation, PL-2024-0163, located at 500 S. High St. with the attached Point Analysis and Findings and Conditions.

Staff will be available at the meeting to answer any questions.

Town Council Staff Report

Subject: Carter Park Dog Park Renovation
(Town Project Hearing – PL-2024-0163)

Project Manager: Chris Kulick, AICP, Planning Manager

Date: June 5, 2024 (for June 11, 2024)

Applicants: Kristen Brownson and Scott Jackman (Town of Breckenridge)

Owner: Town of Breckenridge

Proposal: A proposal to construct various improvements to the existing Carter Park in Breckenridge, including landscaping, a new sidewalk, redesigned fencing, relocating an existing shade structure, and additional drainage facilities. Project is necessitated to treat contaminated runoff from the Dog Park and adjacent uses.

Address: 500 S. High St.

Legal Description: TR 7-77 Sec 06 Qtr 2 Mining Claim(s) cont 5.740 acres HERMIT PLACER MS# 13661 Acres 5.740 (unplatted).

Total Site Area: 250,034.4 sq. ft. (5.74 Acres)

Land Use District: 26: Partially forested and contains a mixture of public and residential uses. The density has been kept low to protect the two public uses, the elementary school and Carter Park, from high impact development and inappropriate uses, 4 UPA (Special review).

Site Conditions: The property is an existing public amenity that is relatively flat (besides the sledding hill). It includes a large playing field, sledding hill, tennis courts, a pavilion, dog park and sand volleyball courts.

Adjacent Uses:

North:	Hermit Placer Condominiums
East:	Residential, Gold Flake Subdivision
South:	Sunbeam Estates Subdivision
West:	Baseball Field/Breckenridge Elementary School

Item History

Originally a ballpark, this parcel was conveyed to the Town of Breckenridge from Breckenridge Lands LLC in 1965. A pavilion was built in 1975, which included bathrooms, a kitchen, meeting area, etc. This original pavilion was then removed in 1976. Tennis courts were constructed in 1977, partially located on the school property.

A new 3,840 square foot pavilion was built in 1996 which was an indoor/outdoor pavilion with a kitchen facility, bathrooms and storage. The indoor area is 1,792 square feet and the outdoor area is 2,048 square

feet. The construction also included a gas interior fire place and an outside barbeque. In 1997 a trail connection to the existing Hermit Placer Trail was constructed, as well as two volleyball courts (sand) were constructed, and a retaining wall. The park today is a commonly used public amenity and is one of Breckenridge's most popular year-round locations for events and gatherings.

The most recent project at Carter Park was in 2021, where the town installed various improvements to the existing dog park, including additional drainage facilities, landscaping, lighting, stairs and fencing.

Public Works staff meets with the dog park committee regularly, including volunteer clean-up days. After recent communication to the Town Council regarding the mud-season conditions in the northwest corner of the park, Public Works staff engaged Norris Design to look at potential improvement options. The local Norris Design office has designed more than 20 dog parks, including the Silverthorne dog park. The Public Works team researched other dog park designs, specifically looking at Silverthorne, Vista Verde, Denver, Ft. Collins, and Loveland. The Public works team also researched the Denver dog park design criteria for guidance on municipal best practices.

At the June 11, 2024, Town Project Public Hearing, the Planning Commission recommended, 6-0, the Town Council approve the Carter Park Dog Park Renovation.

Staff Comments

Land Use, 2/A & 2/R: The property is located within Land Use District 26 which contains a mixture of public and residential uses. The density has been kept low to protect the elementary school on the adjacent parcel and Carter Park from high impact development. The proposed changes and upgrades to the dog park fit within the desired characteristics of the area and enhance the existing amenities. There are no new uses or significant changes proposed.

Water Quality, 31/A: One of the intents of this project is to improve drainage (both in the park and along the south and east sides of the pavilion patio). With this goal in mind, the Town engaged a civil engineer to evaluate the drainage system to improve the flow of run-off. Drainage improvements including drainage inlets, swales, French drains, and underground pipes are proposed. Drainage along the south side of the pavilion patio will be improved by adding hardscape along with the drains. The south side of the patio is currently a mix of flagstone and gravel, which is very difficult to walk on and maintain. The Commission supported the proposed water quality improvements.

Site Design, 7/R: The proposed site design includes a combination of new vegetation and existing materials. Existing flagstone, paver edging and landscape boulders will be reused. Repurposed flagstones are proposed at the entrances and the extension of the rock surfacing area at the north-west corner of the site. Irrigated areas will be reduced and planted with native species. A sand and pea-gravel mix will be utilized in the majority of the dog park to reduce maintenance and the need for irrigation. Two planting beds are proposed at the driveway entrance and the dog park entrance nearest to the pavilion. The planting beds are designed to deter vehicles from entering the grassy areas of the park. Two new berms outside of the dog park along the north and south sides of the sledding hill are proposed to increase sledder safety. The berm along the tree line would keep the sledders away from the trees and the berm closer to the dog park would separate uphill from downhill sledding traffic. A new fence will be added to divide the dog park in two sections which will allow an area of the dog park to be closed for maintenance without requiring the entire dog park to be closed. Sectioning off the park also allows the Firecracker 50 race route to go through the eastern side of the dog park without requiring the closure of the entire dog park.

Landscaping, 22/A & 22/R: Proposed landscaping includes 17 new aspen trees, one new ornamental choke cherry tree, retaining 15 of the 26 existing trees and 47 new shrubs. The Commission found the proposed landscaping plan will enhance the park's aesthetics.

Density 3/A & 3/R: There are no proposed changes to the Density or Mass.

Parking, 18/A & 18/R: The project does not necessitate any additional parking and no changes to parking are proposed.

Fences, Gates and Gateway Address Monuments, 47/A: The perimeter fencing will be realigned and replaced with 5' tall rough sawn cedar framed fencing that features 14 gauge welded wire mesh openings. The interior fencing will feature the same materials but will be 4' tall. The fencing will also feature dark colored metal access gates for durability and an 8' x 5' rough sawn wood access panel. Outside of the Conservation District, fencing at public improvement projects proposed by the Town is allowed under Policy 47/A. The Commission had no concerns with the proposed fencing.

Point Analysis (Section: 9-1-17-3): The Commission found that this application meets all Absolute policies and does not recommend any negative or positive points under any Relative policies. This results in a passing score of (0) zero points.

Planning Commission Recommendation

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013, Title 9, Chapter 14 of the Town Code).

The Planning Commission and staff recommend approval of the Carter Park Dog Park Renovation, PL-2024-0163, located at 500 S. High St. with the attached Point Analysis and Findings and Conditions.

Town Project Hearing Impact Analysis				
Project:	Carter Park Dog Park Renovation	Positive	Points	0
PL:	PL-2024-0163			
Date:	6/11/2024	Negative	Points	0
Staff:	Chris Kulick, AICP, Planning Manager			
		Total	Allocation:	0
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		Park Space is an existing and allowed use on the property
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		Complies
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		No changes to parking required or proposed
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		

19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		Improvements are not sufficient enough to warrant positive points.
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		Proposed landscaping includes 17 new aspen trees, one new ornamental choke cherry tree, retaining 15 of the 26 existing trees and 47 new shrubs.
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		Preliminary drainage plan approved by Engineering.
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power Lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation			
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-4/+4)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		

36/A	Temporary Structures	Complies		Previously approved existing temporary structure will be relocated
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		Outside of the Conservation District, fencing at public improvement projects proposed by the Town is allowed under Policy 47/A.
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

TOWN OF BRECKENRIDGE

**Carter Park Dog Park Renovation
TR 7-77 Sec 06 Qtr 2 Mining Claim(s)
cont 5.740 acres HERMIT PLACER
MS# 13661 Acres 5.740 (unplatted).
500 S. High St.
PL-2024-0163**

FINDINGS

1. This project is “Town Project” as defined in Section 9-14-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. In connection with its review of this Town Project, the Planning Commission scheduled and held a public hearing on June 4, 2024, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4B of the Breckenridge Town Code. In addition to posting on the Town’s website, notice of the planning commission’s public hearing on a proposed town project shall be given in the same manner as is required for a final hearing on a Class A development permit application pursuant to chapter 1 of this title. Failure of a person to receive the notice described in this section shall not impair the validity of the planning commission’s public hearing on a proposed town project, or the planning commission’s recommendation to the town council with respect to such proposed town project. Because the process of reviewing and approving a town project is discretionary and administrative, and not quasi-judicial, any member of the town council may properly attend the planning commission’s public hearing(s) and deliberations with respect to a proposed town project. At the conclusion of its public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on June 11, 2024. This Town Project was listed on the Town Council’s agenda for the June 11, 2024 agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project, the Town Council received from the Director of the Department of Community Development, and gave due consideration to the Town Project in the same manner a recommendation is prepared for a final hearing on a Class A Development Permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.

7. Per Town Code Section 9-14-2 *Town Council Authority Over Town Projects*, the Town Council has the authority, in its sole discretion, has the sole and final authority to determine all aspects of the town project, including but not limited to, its location and design. Chapters 1, 3 and 12 of this title and the town of Breckenridge land use guidelines do not apply to town projects, but town projects shall be processed instead in accordance with the provisions of this chapter.



KEY CONCEPTS

- 1 FIRECRACKER 50 RACE ROUTE
- 2 EXISTING DRAINAGE TRENCH & ROCKS
- 3 EXPAND EXISTING DRAINAGE PAN
- 4 EXISTING DRAINAGE INLET
- 5 EXTENT OF EXISTING RETAINING WALL TO REMAIN
- 6 EXISTING TENNIS COURT FENCE
- 7 NEW DOG WATER FOUNTAIN
- 8 RELOCATED MOBILE BENCH
- 9 RELOCATED PICNIC TABLE
- 10 RELOCATED SHADE COVER & PICNIC TABLE
- 11 EXISTING TREE
- 12 PROPOSED TREE
- 13 PUBLIC ACCESS GATE
- 14 TOWN ACCESS GATE
- 15 MAINTENANCE GATE
- 16 5' FENCE
- 17 5' CONCRETE WALK
- 18 CONCRETE SURFACING
- 19 DRAINAGE INLET
- 20 FRENCH DRAIN
- 21 DRAINAGE SWALE
- 22 BERM 3-4' HIGH
- 23 PLANTING BED
- 24 SOFT SURFACE TRAIL REALIGNMENT
- 25 SHADE COVER & PICNIC TABLE
- 26 PERMANENT SHADE STRUCTURE & PICNIC TABLE
- 27 REPURPOSED FLAGSTONE
- 28 ROCK SURFACING EXTENSION
- 29 SAND + PEA GRAVEL MIX
- 30 REPURPOSED PAVER EDGING
- 31 SEASONAL PLANTER BOX (WINTER REMOVAL)
- 32 LANDSCAPE BOULDER
- 33 PARK GATEWAY & SIGNAGE
- 34 VISUAL PARK FEATURE

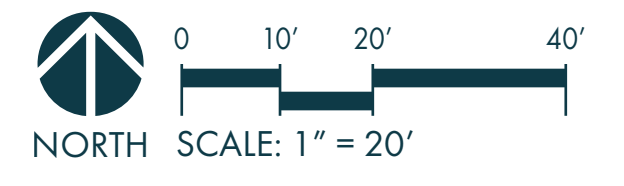
LEGEND

- EXISTING TREE
- PROPOSED TREE
- 5' FENCE
- DRAINAGE SWALE
- FLAGSTONE
- ROCK SURFACING
- SAND + PEA GRAVEL MIX
- PAVER EDGING
- LANDSCAPE BOULDER
- BENCH & PICNIC TABLE
- SHADE STRUCTURE
- PARK SIGNAGE

Carter Park | Master Site Plan Concept

December 22, 2023

CONCEPTUAL ILLUSTRATIVE PROVIDED TO CONVEY DESIGN INTENT ONLY AND IS SUBJECT TO CHANGE.



GENERAL NOTES

- 1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
3. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
4. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
7. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
8. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
9. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
10. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
13. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
14. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
17. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBTSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
18. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
19. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
22. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
23. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
24. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
25. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
26. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
27. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
28. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
29. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
30. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
31. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
32. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
33. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

CHECKED BY: AY
DRAWN BY: CG

LANDSCAPE NOTES

- 1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AS NOTED IN THE TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY EDGER SPECIFIED IN MATERIAL SCHEDULE LP-002. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SPECIFIED LANDSCAPE MULCH IN MATERIAL SCHEDULE, SHEET LP-002, OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH, SPECIFIED LANDSCAPE MULCH IN MATERIAL SCHEDULE, SHEET LP-002. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH EDGER SPECIFIED IN MATERIAL SCHEDULE, SHEET LP-002.
25. WHEN PLANTER URNS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT.
26. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
27. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
28. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

LAYOUT NOTES

- 1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
4. THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING WHO WILL PROVIDE SURVEY SERVICES FOR LAYOUT OF THE WORK.
6. THE CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ALL STAKING PRIOR TO SETTING FORMS OR COMPLETING FLATWORK AND PERFORM MINOR MODIFICATIONS AS REQUIRED TO ACHIEVE PROPER DRAINAGE OR ACCESSIBILITY AS REQUIRED FOR THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
8. LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
9. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

NORRIS DESIGN
PEOPLE + PLACEMAKING
409 MAIN STREET SUITE 207
P.O. BOX 2320
FRISCO, CO 80443
P 970.368.7068
NORRIS-DESIGN.COM

CARTER PARK
300 S. HIGH STREET
BRECKENRIDGE, CO

OWNER:
TOWN OF BRECKENRIDGE

150 SKI HILL ROAD
BRECKENRIDGE, CO
970-453-3373

NOT FOR CONSTRUCTION

DATE:
04/10/24: FOR BID

SHEET TITLE:
LANDSCAPE NOTES

LP-001



LANDSCAPE MATERIAL SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-01	LANDSCAPE MULCH	WASHINGTON CEDAR MULCH	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	866.600.0652 PIONEERCO.COM	NATURAL/GORILLA HAIR	SEE PLANS FOR AREA, MINIMUM 3" DEPTH	N/A	SEE LANDSCAPE NOTES AND SPECIFICATIONS.
M-02	FLAGSTONE PAVERS	N/A	TOWN OF BRECKENRIDGE STORAGE	N/A	NATURAL	SEE PLANS FOR AREA. 1"-3" DEPTH, RANDOM SIZES	7 / LP-502	ITEMS ARE ALREADY ACQUIRED BY THE TOWN OF BRECKENRIDGE AND SHOULD BE USED FIRST BEFORE ORDERING ADDITIONAL MATERIALS. SEE DETAILS FOR INSTALLATION.
M-03	DOG RUN MIX	SAND / PEA GRAVEL MIX	PIONEER SAND (OR APPROVED EQUAL)	866.600.0652	PEA GRAVEL - COLORADO AND BROWN MASON SAND	3/8" WASHED RIVER ROCK & BROWN MASON SAND, 6" DEPTH	N/A	70% SAND / 30% PEA GRAVEL MIX. ALL RIVER ROCK SHOULD BE WASHED AND FREE OF DEBRIS. MIX SHALL BE INSTALLED ON TOP OF WEED CONTROL FABRIC. INSTALL 6" DEPTH MINIMUM IN DOG PARK
M-04	DECORATIVE GRAVEL	CLEAR CREEK GRANITE	PIONEER SAND (OR APPROVED EQUAL)	866.600.0652 PIONEERCO.COM	NATURAL GREY / TAN	1-1/2"		ALL ROCK SHOULD BE WASHED AND FREE OF DEBRIS. INSTALL 6" DEPTH MINIMUM ON TOP OF WEED CONTROL FABRIC.
M-05	CRUSHER FINES	N/A	TOWN OF BRECKENRIDGE STORAGE	N/A	NATURAL	SEE PLANS FOR AREA	5 / LP-502	ITEMS ARE ALREADY ACQUIRED BY THE TOWN OF BRECKENRIDGE AND SHOULD BE USED FIRST BEFORE ORDERING ADDITIONAL MATERIALS. SEE DETAILS FOR INSTALLATION.
M-06	PLAZA PAVERS	80 MM HOLLAND PAVER	KEYSTONE HARDSCAPES	KEYSTONEHARDSCAPES.COM	EDDINGTON BLEND, CHARCOAL AND LIGHT PEWTER	REFER TO PLANS FOR AREA	1 & 2 / LP-503	SEE DETAILS AND MANUFACTURERS RECOMMENDATION FOR INSTALLATION.
M-07	BENDA BOARD EDGER	BENDA BOARD EDGER	EPIC PLASTICS (OR APPROVED EQUAL)	209.333.6161	TEAK	SEE PLANS FOR LENGTH, EDGER 1" X 6" X 20"	8 / LP-501	TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
M-08	LANDSCAPE BOULDERS	N/A	TOWN OF BRECKENRIDGE STORAGE	N/A	NATURAL	2'-4" DIAMETER BOULDERS	9 / LP-501	REPURPOSE ON-SITE BOULDERS FIRST. ITEMS ARE ALREADY ACQUIRED BY THE TOWN OF BRECKENRIDGE AND SHOULD BE USED FIRST BEFORE ORDERING ADDITIONAL MATERIALS. SEE DETAILS FOR INSTALLATION.
M-09	NATURAL STONE EDGER	NEW MEXICO BUFF ROCK 4IN	PIONEER SAND	866.600.0652 PIONEERCO.COM	NATURAL TAN	4" MAX. DEPTH	4 / LP-502	SEE DETAILS FOR INSTALLATION.
M-10	PLAZA PAVER JOINING COMPOUND	JOINING COMPOUND	KEYSTONE HARDSCAPES	N/A	GREY SAND	REFER TO MANUFACTURER	1 / LP-503	TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
M-11	PLAZA PAVER EDGING	SNAP EDGE PAVER EDGING	SEK SUREBOND	N/A	BLACK	REFER TO PLANS	1 / LP-503	TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
M-12	5' METAL GATE	MONTAGE STEEL SINGLE SWING GATE	AMMERISTAR (OR APPROVED EQUAL)	888.333.3422 AMERISTARPERIMETER.COM	COLOR: BLACK STYLE: MAJESTIC	5'H	2 / LP-502	TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

AMENITY SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
S-01	PICNIC TABLE	N/A	TOWN OF BRECKENRIDGE STORAGE (OR APPROVED EQUAL)	N/A	N/A	GREEN	N/A	REPURPOSE ON-SITE AMENITIES FIRST. ITEMS ARE ALREADY ACQUIRED BY THE TOWN OF BRECKENRIDGE AND SHOULD BE USED FIRST BEFORE ORDERING ADDITIONAL MATERIALS
S-02	BENCH	N/A	TOWN OF BRECKENRIDGE STORAGE	N/A	N/A	GREEN	N/A	REPURPOSE ON-SITE AMENITIES FIRST. ITEMS ARE ALREADY ACQUIRED BY THE TOWN OF BRECKENRIDGE AND SHOULD BE USED FIRST BEFORE ORDERING ADDITIONAL MATERIALS
S-03	SHADE STRUCTURE	WESTERN SKYLINE	POLIGON	616.888.3500	WSL 14X14	SLATE GRAY ROOF AND BUMPER BLACK FRAME	14' X 14' X 15'-4"	INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATION, STRUCTURAL FOUNDATIONS TO BE SET SO THEY ARE NOT VISIBLE ABOVE ADJACENT PAVING SURFACE, REFER TO DETAIL 1/LS-504.
S-04	PET WASTE STATION	ALUMINUM HEADER PAK DOGIPOT SET STATION	DOGI POT	800.364.7681	1003HP-L	GREEN AND STAINLESS STEEL	15" X 13" X 73"H	INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATIONS AND QUANTITY.
S-05	TRASH RECEPTICLE	TRASH ENCLOSURE	BEAR SAVER	800.851.3887	HA-P	BLACK	24" X 24" X 46"H (40 GAL)	SURFACE MOUNT. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATIONS AND QUANTITY.
S-06	DOG WATER FOUNTAIN	DOG WATERING STATION	DOG ON IT	877.348.3647	7213	TEXTURED FAIRWAY GREEN	22.5" X 13" X 32"H	TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
S-07	SHADE CANOPY	10'X15' CANOPY	WEATHERPORT SHELTER SYSTEMS	970.399.5909	WP-1015-CANOPY-AL	VINYL COVER WITH ALUMINIUM FRAME	10' X 15' X 9'-6"H	BRECKENRIDGE PUBLIC WORKS TO PURCHASE AND INSTALL.

CODE	DESCRIPTION	DETAIL
N-01	TREE PLANTING, TYP.	1/LP-501
N-02	SHRUB PLANTING, TYP.	2/LP-501
N-03	TREE TO REMAIN, PROTECTION, TYP.	3/LP-501
N-04	ORNAMENTAL GRASS & PERENNIAL PLANT LAYOUT	4/LP-501
N-05	SPADE CUT EDGE	5/LP-501
N-06	BENDA BOARD EDGER	6/LP-501
N-07	LANDSCAPE BOULDER	7/LP-501
N-08	4' WOOD FENCE	1/LP-502
N-09	5' WOOD FENCE	1/LP-502
N-10	4' METAL GATE, RELOCATED	2/LP-502
N-11	5' METAL GATE	2/LP-502
N-12	5' WOOD MAINTENANCE GATE	3/LP-502
N-13	REMOVABLE FENCE ACCESS PANEL	5/LP-502
N-14	STONE EDGE	4/LP-502
N-15	CRUSHER FINES	3/LP-503
N-16	FLAGSTONE PAVERS	6/LP-502
N-17	PLAZA PAVERS	1&2/LP-503
N-18	DRAINAGE SWALE	SEE CIVIL
N-19	CONCRETE FLATWORK	SEE CIVIL
N-20	RETAINING WALL	SEE CIVIL
N-21	TENNIS COURT FENCE, EXISTING	
N-22	TENNIS COURT GATE, RELOCATED	
N-23	SHADE CANOPY, RELOCATED	
N-24	PARK SIGNAGE, RELOCATED	
N-25	SQUARE PLANTER, BY TOWN	

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
DECIDUOUS TREES					
PO TR	11	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	2.5" CAL.
PO NM	6	POPULUS TREMULOIDES 'CLUMP FORM'	QUAKING ASPEN	B & B	6' HT.
ORNAMENTAL TREES					
PU VI	1	PRUNUS VIRGINIANA 'SCHUBERT'	SCHUBERT CHOKECHERRY	B & B	6' HT.
DECIDUOUS SHRUBS 2-4' SPREAD					
PH MO	8	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT.	#5
PO KA	11	POTENTILLA FRUTICOSA 'KATHERINE DYKES'	KATHERINE DYKES BUSH CINQUEFOIL	CONT.	#5
RO WO	5	ROSA WOODSII	MOUNTAIN ROSE	CONT.	#5
SA TT	3	SAMBUCUS PUBENS	NATIVE RED BERRIED ELDER	CONT.	#5
DECIDUOUS SHRUBS 5-7' SPREAD					
CO AC	5	COTONEASTER ACUTIFOLIUS	PEKING COTONEASTER	CONT.	#5
LO TA	4	LONICERA TATARICA 'ARNOLD'S RED'	ARNOLD'S RED HONEYSUCKLE	CONT.	#5
PH NA	3	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	CONT.	#5
EVERGREEN SHRUBS					
PI MU	8	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	CONT.	#5
ORNAMENTAL GRASSES					
DE CE	32	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	CONT.	#1
SO NU	19	SORGHASTRUM NUTANS	INDIAN GRASS	CONT.	#1

DRYLAND NATIVE GRASS SEED MIXTURE (WATER CONSERVING)

COMMON NAME	% OF TOTAL	LBS. PER 1000 S.F.
EPHRAIM CRESTED WHEATGRASS	30%	7.5 LBS.
SHEEP FESCUE	25%	6.25 LBS.
PERENNIAL RYEGRASS	20%	5.0 LBS.
CHEWING FESCUE	15%	3.75 LBS.
CANADA BLUEGRASS	10%	2.5 LBS.
TOTAL	100%	25 LBS.

- ALL DISTURBED AREA WILL BE RE-SEEDED WITH DRYLAND NATIVE SEED MIX

IRRIGATED LOW WATER TURF BLEND

COLORADO BLACK BEAUTY FESCUE SOD

SITEONE
SOD: COLORADO BLACK BEAUTY FESCUE SOD
2197 W. COLLEGE AVE. ENGLEWOOD, CO 80110
PH: 303.922.6392
WEB: WWW.SITEONE.COM

CARTER PARK
300 S. HIGH STREET
BRECKENRIDGE, CO

OWNER:
TOWN OF BRECKENRIDGE
150 SKI HILL ROAD
BRECKENRIDGE, CO
970-453-3373

NOT FOR
CONSTRUCTION

DATE:
04/10/24: FOR BID

SHEET TITLE:
LANDSCAPE
SCHEDULES





LEGEND

- LANDSCAPE MULCH
 - PHASE LINE
 - - - SPADE-CUT EDGE
 - - - DRAINAGE SWALE
 - 4' WOOD FENCE
 - 5' WOOD FENCE
 - EXISTING TENNIS COURT FENCE
 - ⊗ EXISTING TREES TO REMAIN
- | CODE | DESCRIPTION |
|------|---------------------|
| M-01 | LANDSCAPE MULCH |
| M-02 | FLAGSTONE PAVERS |
| M-03 | DOG RUN MIX |
| M-04 | DECORATIVE GRAVEL |
| M-05 | CRUSHER FINES |
| M-06 | PLAZA PAVERS |
| M-07 | BENDA BOARD EDGER |
| M-08 | LANDSCAPE BOULDERS |
| M-09 | NATURAL STONE EDGER |
- | SYMBOL | DESCRIPTION |
|--------|--------------------|
| [S-01] | PICNIC TABLE |
| [S-02] | BENCH |
| [S-03] | SHADE STRUCTURE |
| [S-04] | PET WASTE STATION |
| [S-05] | TRASH RECEPTICLE |
| [S-06] | DOG WATER FOUNTAIN |
| [S-07] | SHADE CANOPY |

PLANT SCHEDULE

CODE	QTY	COMMON NAME
DECIDUOUS TREES		
PO TR	11	QUAKING ASPEN
PO NM	6	QUAKING ASPEN
ORNAMENTAL TREES		
PU VI	1	SCHUBERT CHOKECHERRY
DECIDUOUS SHRUBS 2-4' SPREAD		
PO KA	11	KATHERINE DYKES BUSH CINQUEFOIL
PH MO	8	MOUNTAIN NINEBARK
RO WO	5	MOUNTAIN ROSE
SA TT	3	NATIVE RED BERRIED ELDER
DECIDUOUS SHRUBS 5-7' SPREAD		
LO TA	4	ARNOLD'S RED HONEYSUCKLE
PH NA	3	DWARF NINEBARK
CO AC	5	PEKING COTONEASTER
EVERGREEN SHRUBS		
PI MU	8	WHITE BUD MUGO PINE
ORNAMENTAL GRASSES		
SO NU	19	INDIAN GRASS
DE CE	32	TUFTED HAIR GRASS

KEY NOTES

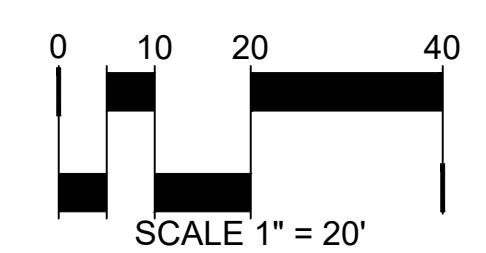
CODE	DESCRIPTION	DETAIL
N-01	TREE PLANTING, TYP.	1/LP-501
N-02	SHRUB PLANTING, TYP.	2/LP-501
N-03	TREE TO REMAIN, PROTECTION, TYP.	3/LP-501
N-04	ORNAMENTAL GRASS & PERENNIAL PLANT LAYOUT	4/LP-501
N-05	SPADE CUT EDGE	5/LP-501
N-06	BENDA BOARD EDGER	6/LP-501
N-07	LANDSCAPE BOULDER	7/LP-501
N-08	4' WOOD FENCE	1/LP-502
N-09	5' WOOD FENCE	1/LP-502
N-10	4' METAL GATE, RELOCATED	2/LP-502
N-11	5' METAL GATE	2/LP-502
N-12	5' WOOD MAINTENANCE GATE	3/LP-502
N-13	REMOVABLE FENCE ACCESS PANEL	5/LP-502
N-14	STONE EDGE	4/LP-502
N-15	CRUSHER FINES	3/LP-503
N-16	FLAGSTONE PAVERS	6/LP-502
N-17	PLAZA PAVERS	182/LP-503
N-18	DRAINAGE SWALE	SEE CIVIL
N-19	CONCRETE FLATWORK	SEE CIVIL
N-20	RETAINING WALL	SEE CIVIL
N-21	TENNIS COURT FENCE, EXISTING	
N-22	TENNIS COURT GATE, RELOCATED	
N-23	SHADE CANOPY, RELOCATED	
N-24	PARK SIGNAGE, RELOCATED	
N-25	SQUARE PLANTER, BY TOWN	

NOT FOR CONSTRUCTION

DATE:
 04/10/24: FOR BID

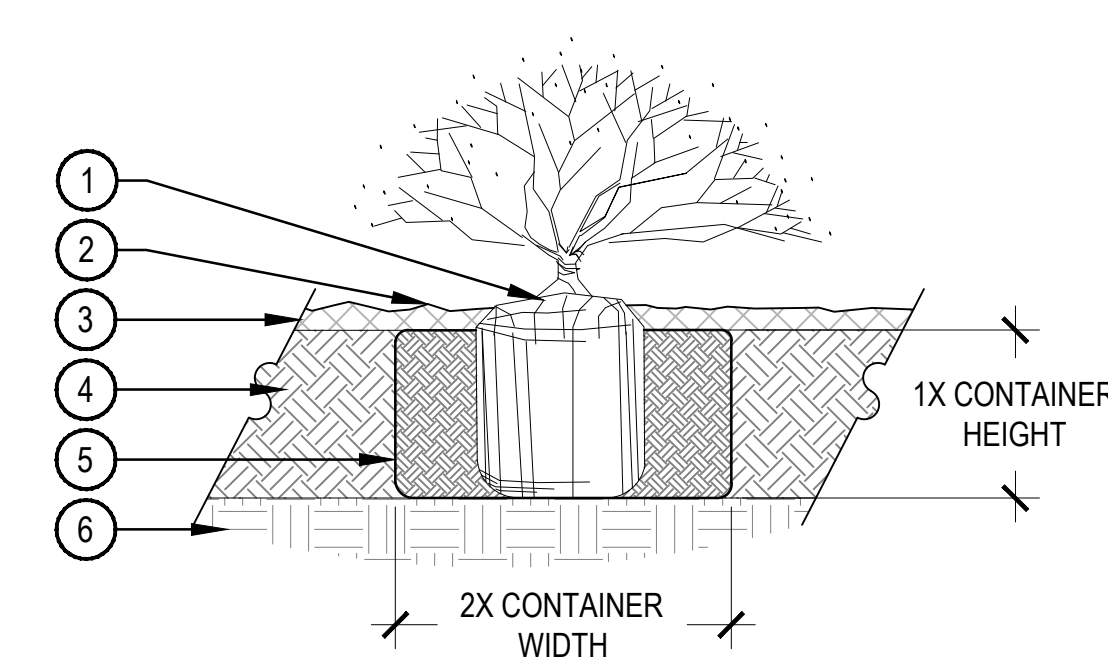
SHEET TITLE:
 LANDSCAPE PLAN

LP-101



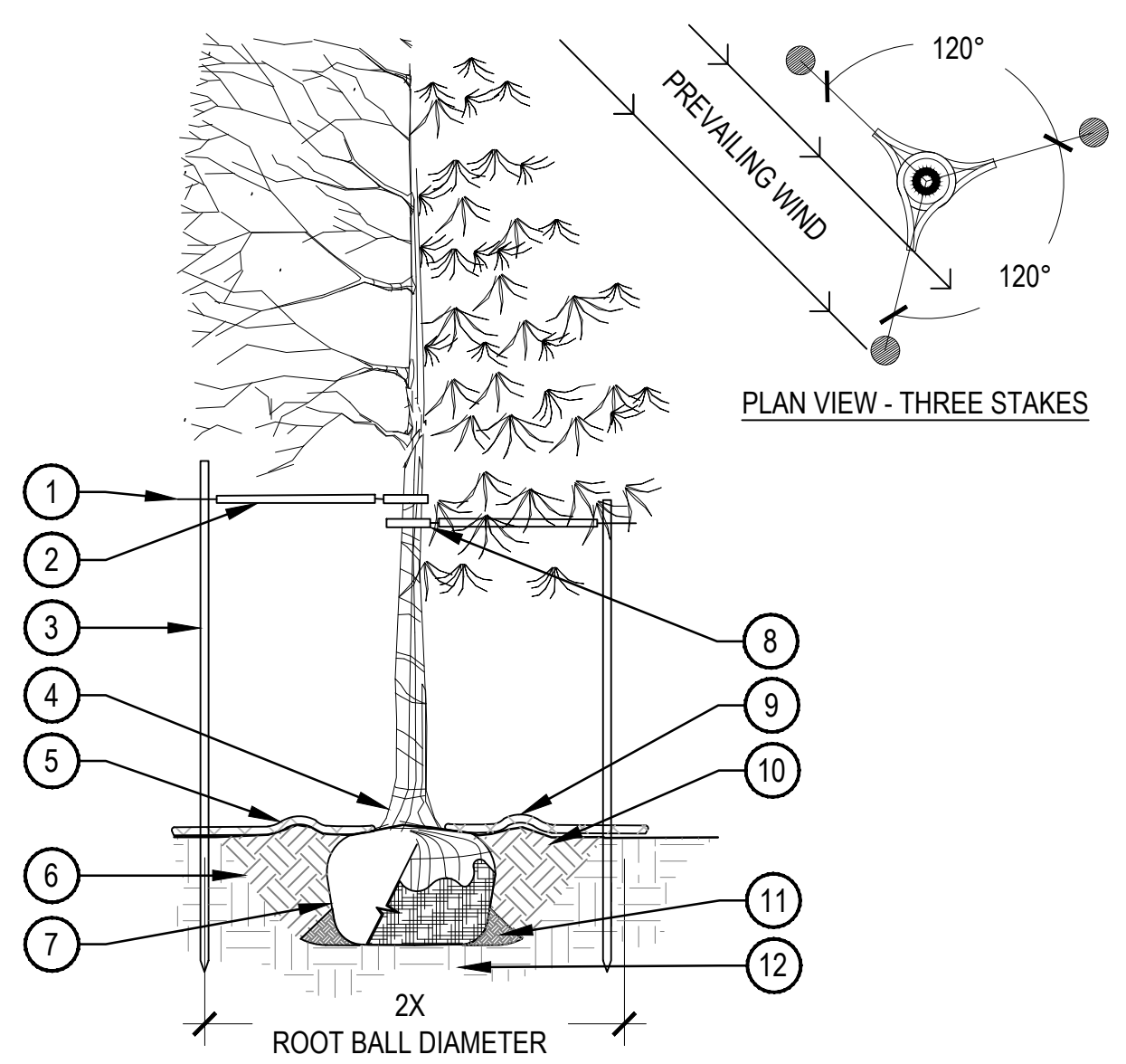
CHECKED BY: AY
 DRAWN BY: CG

- 1 SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- 2 FINISH GRADE (TOP OF MULCH)
- 3 SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE SHEET LP-002
- 4 TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- 5 BACKFILLED AMENDED SOIL
- 6 UNDISTURBED SOIL



- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.
 6. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.

- 1 GALVANIZED WIRE
- 2 PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- 3 INSTALL STAKING PER SPECIFICATIONS
- 4 PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE
- 5 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, ON TOP OF WEED FABRIC, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 6 1:1 SLOPE ON SIDES OF PLANTING HOLE
- 7 REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
- 8 GROMMETED NYLON STRAPS
- 9 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- 10 BACKFILL AROUND ROOTBALL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
- 11 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- 12 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

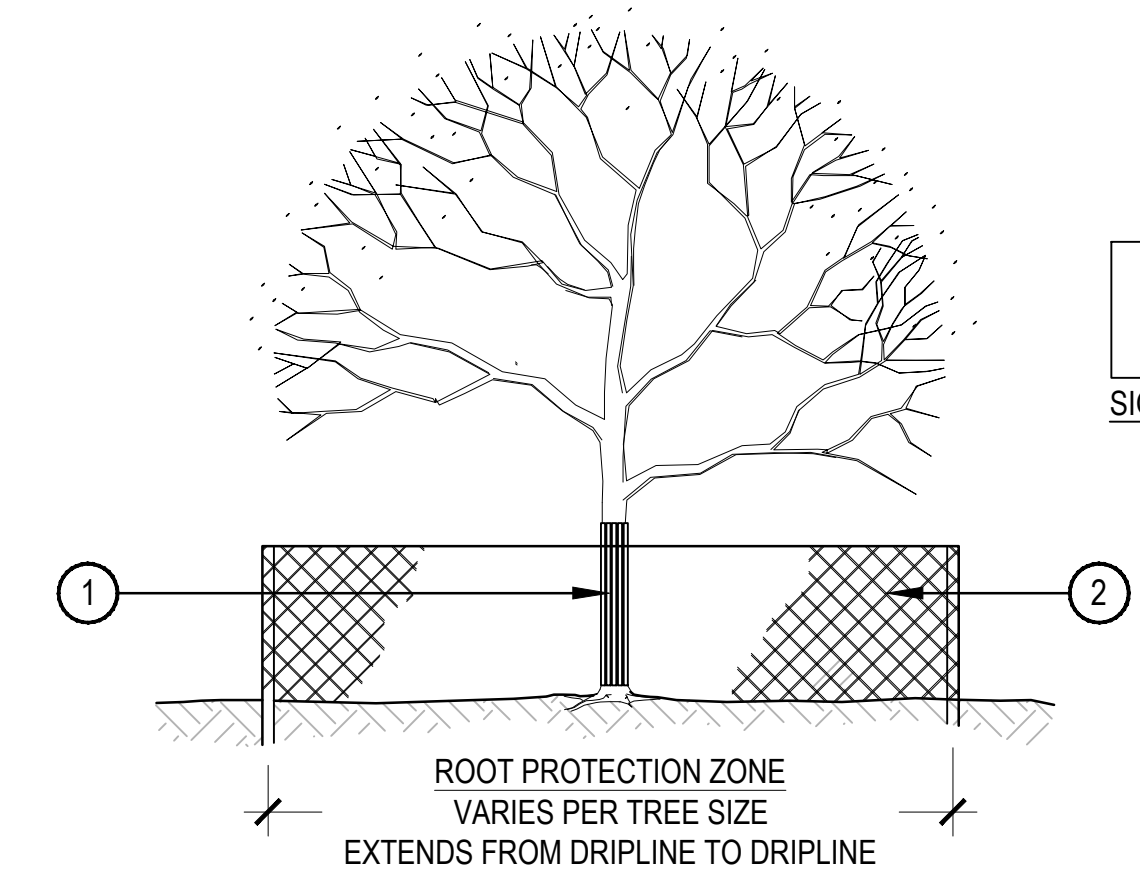


- NOTES:
1. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
 - a. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - b. EVERGREEN TREES - 3 STAKES PER DIAGRAM.
 - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
 2. WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
 3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
 4. TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.

1 TREE PLANTING

SCALE: 3/16" = 1'-0"

- NOTES:
1. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
 2. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
 3. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
 4. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
 5. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
 6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIPLINE TO TRUNK. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
 7. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
 8. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.

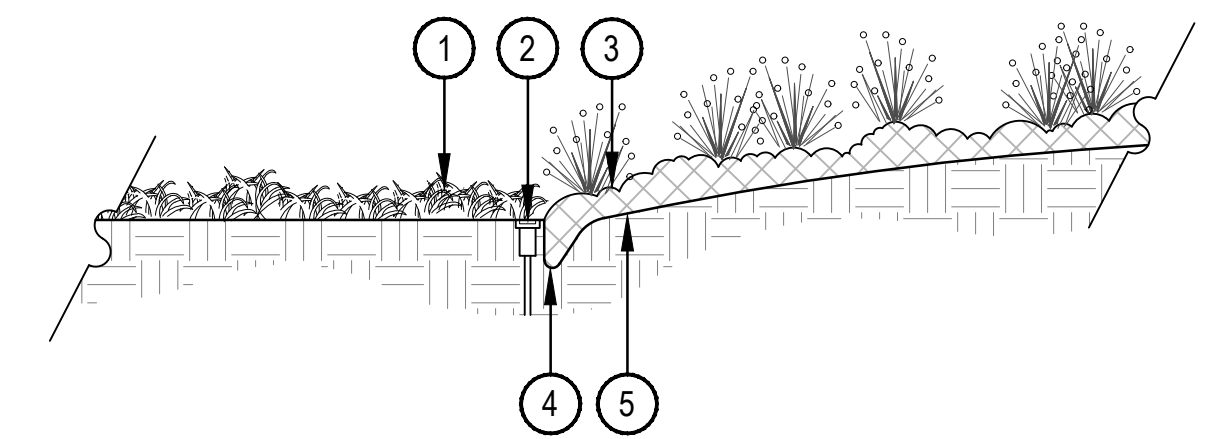


- 1 TRUNK PROTECTION - 1" BOARDS NO LESS THAN 5' LONG OR TO REACH FIRST SCAFFOLD BRANCH, WIRE TO HOLD BOARDS IN PLACE, NO NAILS PERMITTED. INCLUDE WRAPPING OF BURLAP UNDER BOARDS.
- 2 BRANCH PROTECTION - PROTECT LOWER BRANCHES OF TREE CANOPY, PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIPLINE MINIMUM.
- 3 PLACE SIGNS EVERY 50', PLACE SIGNS WHERE VISIBLE, ATTACH TO FENCING.

3 TREE PROTECTION

SCALE: 1/8" = 1'-0"

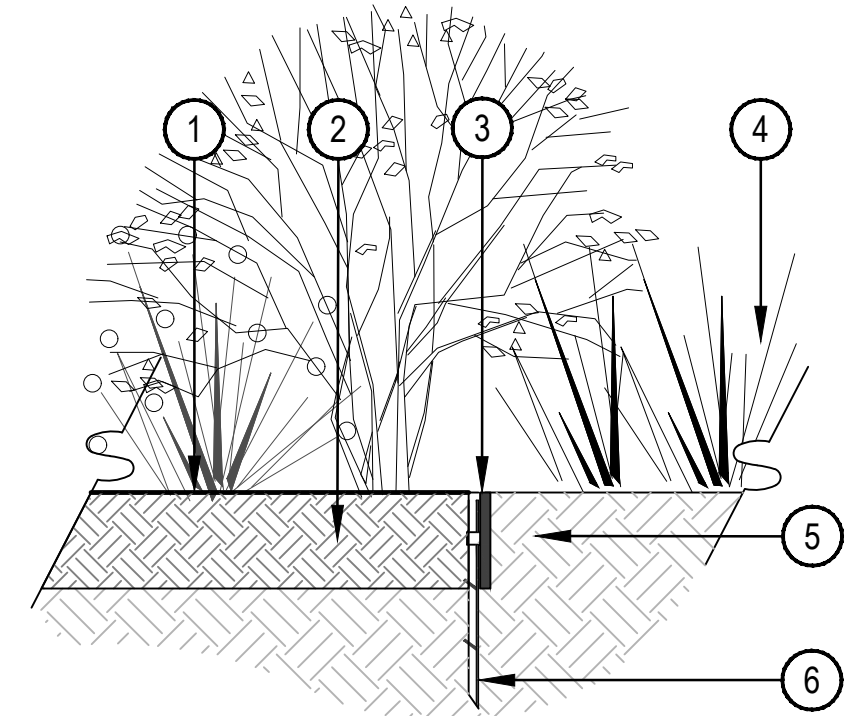
- 1 TURFGRASS OR DYLAND SEED
- 2 IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT
- 3 PLANTING BED
- 4 VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE
- 5 SPECIFIED DEPTH OF MULCH, TYPICALLY WOOD MULCH 3"-4" DEEP



5 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"

- 1 FINISH GRADE
- 2 ADJACENT LANDSCAPE, SEE LANDSCAPE PLANS FOR TYPE
- 3 BENDA BOARD EDGER, REFER TO MATERIAL SCHEDULE LP-002
- 4 NATIVE SEED OR ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
- 5 SUBGRADE
- 6 EDGER STAKE, INSTALL PER MANUFACTURER SPECIFICATIONS

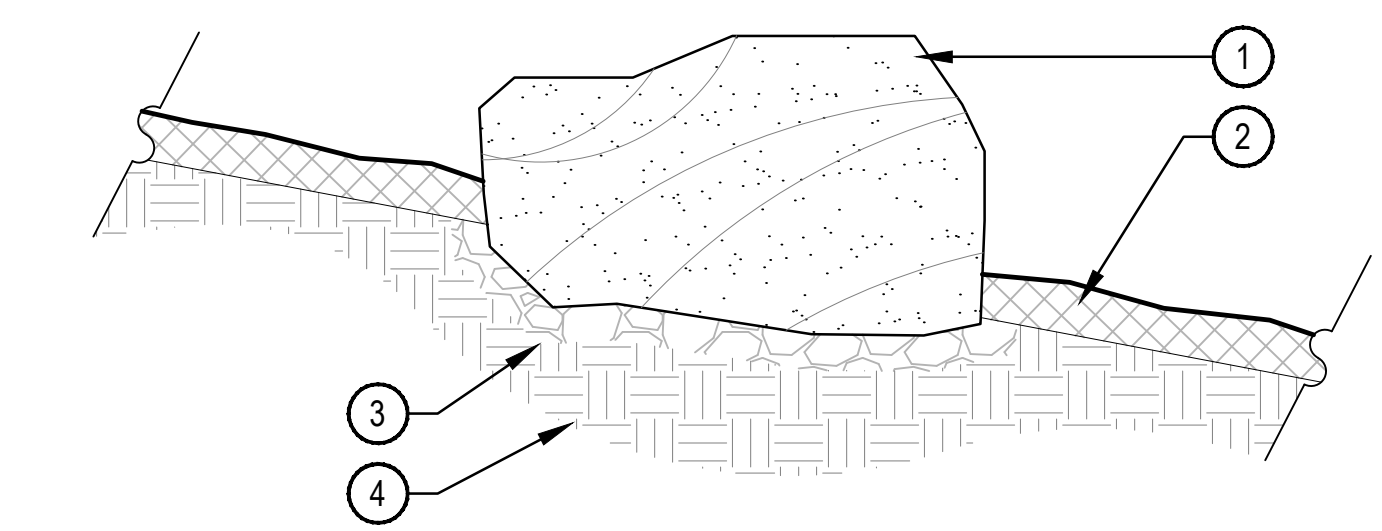


6 BENDA BOARD EDGER

SCALE: 1" = 1'-0"

4 ORNAMENTAL GRASS AND PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"



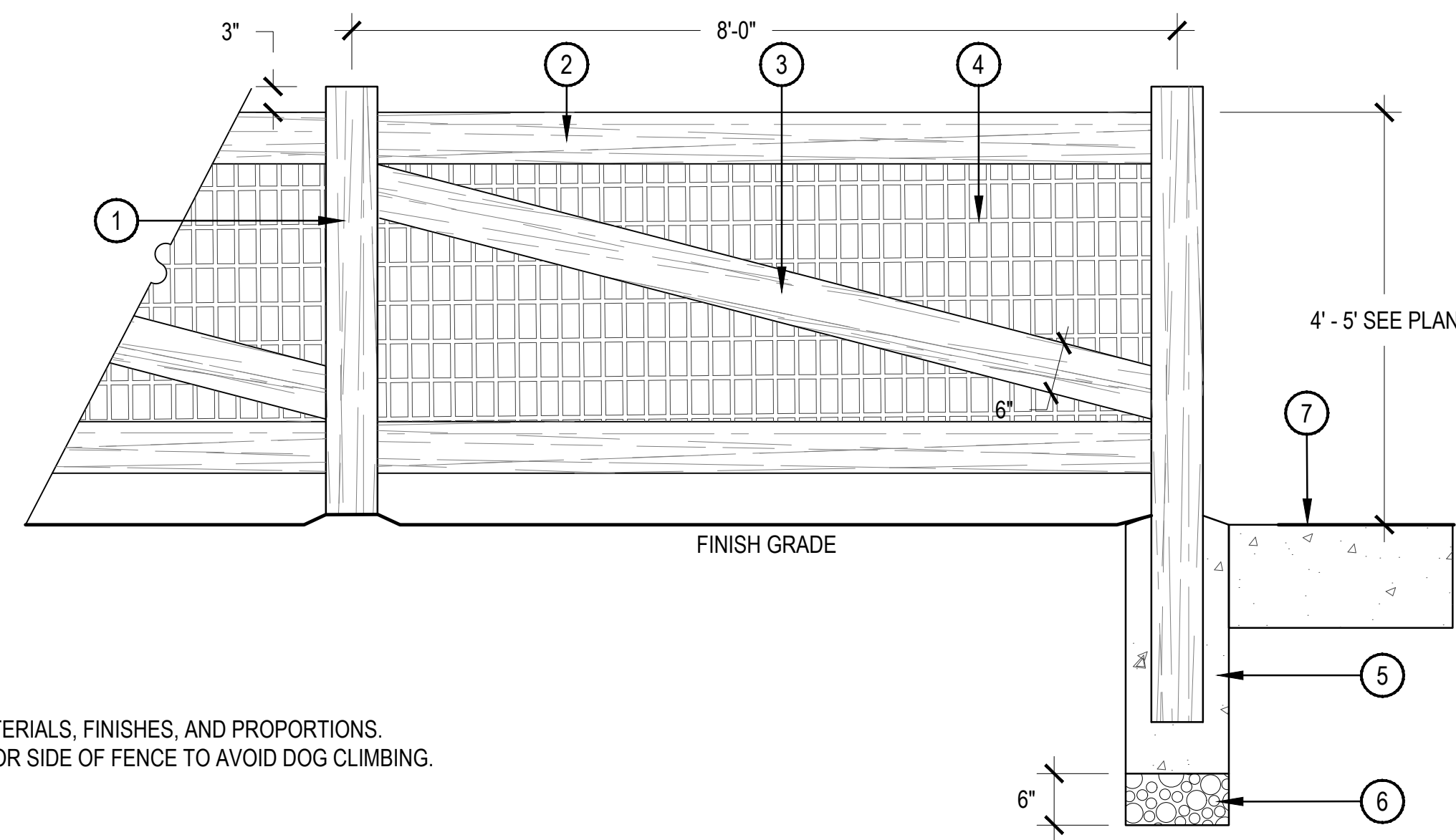
BOULDER SIZES		
QTY.	ITEM	SIZE
37	B' SIZED BOULDER	30 - 48" DIAMETER X 18" MINIMUM DEPTH
3	C' SIZED BOULDER	48 - 60" DIAMETER X 24" MINIMUM DEPTH

- 1 BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE, REFER TO MATERIAL SCHEDULE, SHEET LP-002
- 2 ADJACENT LANDSCAPE, SPECIFIED MULCH, CRUSHER FINES OR COBBLE, REFER TO PLAN
- 3 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY
- 4 UNDISTURBED GRADE

- NOTES:
1. THESE ARE FREE STANDING BOULDERS ONLY AND DOES NOT INCLUDE BOULDER RETAINING WALLS. THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 2. CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.

7 LANDSCAPE BOULDER

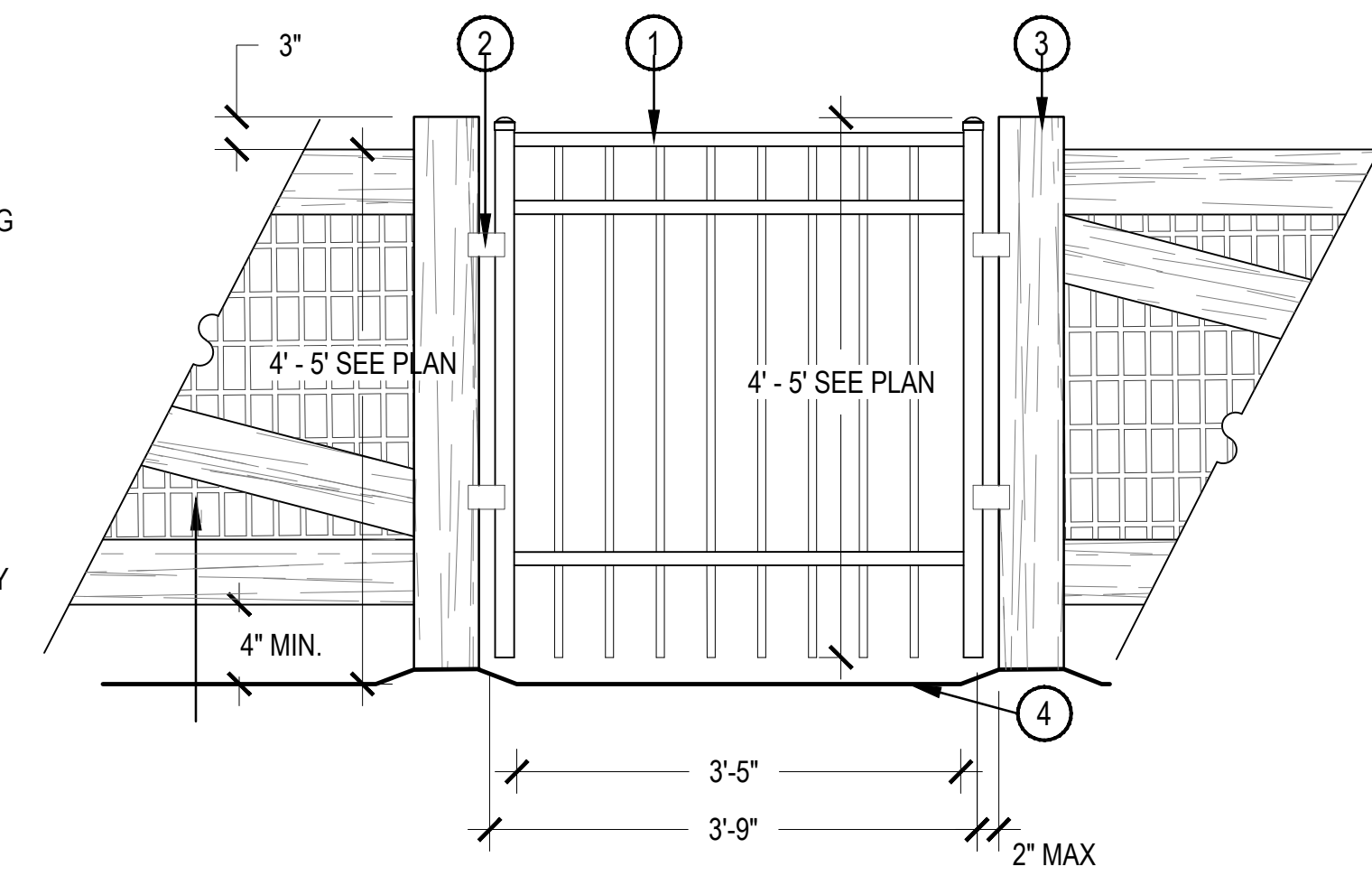
SCALE: 3/4" = 1'-0"



NOTES:
1. INTENTION OF DRAWING IS TO CONVEY MATERIALS, FINISHES, AND PROPORTIONS.
2. CROSS BEAM TO BE INSTALLED ON EXTERIOR SIDE OF FENCE TO AVOID DOG CLIMBING.

1 WOOD FENCE

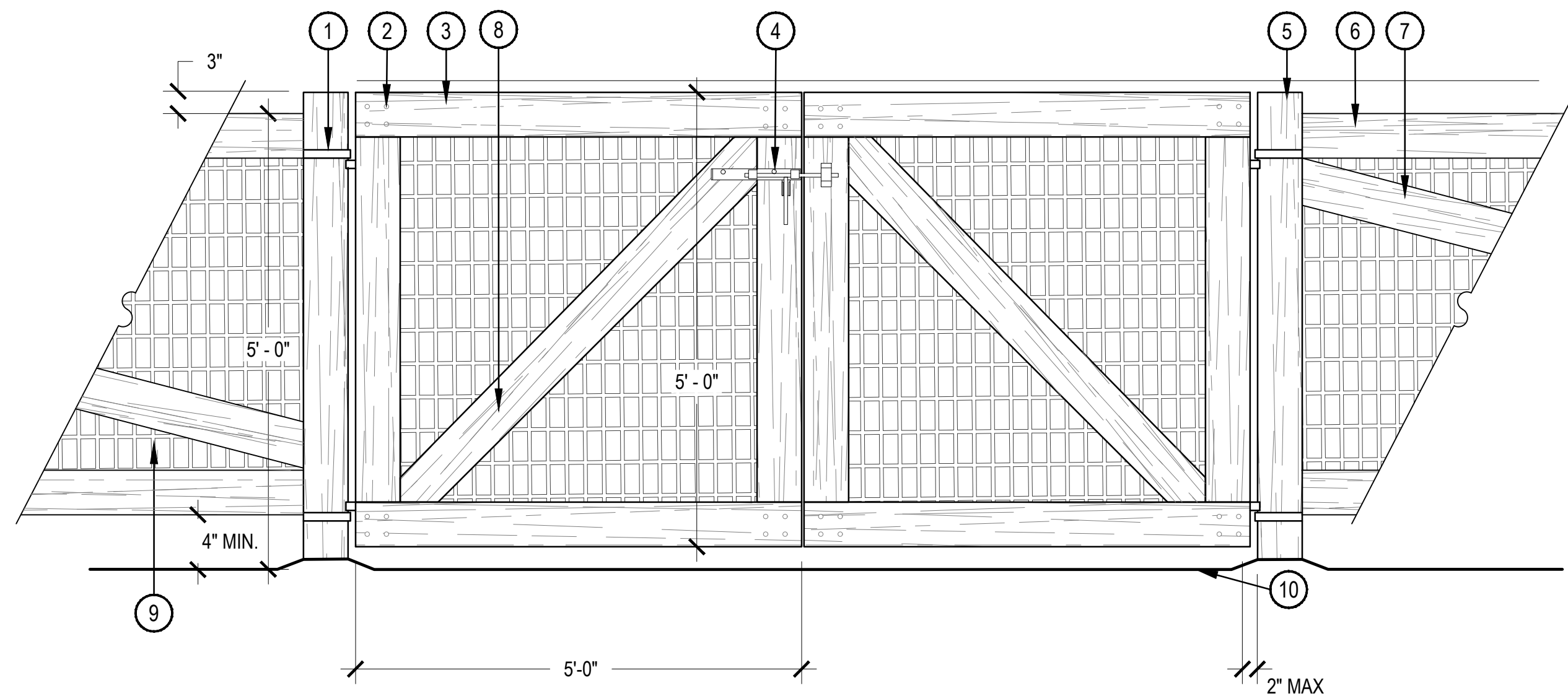
SCALE: 3/4" = 1'-0"



NOTES:
1. INTENTION OF DRAWING IS TO CONVEY MATERIALS, FINISHES, AND PROPORTIONS.
2. 4" INNER GATES TO BE REPURPOSED FROM EXISTING, SPRING LOADED AND NO LATCH.
3. 5" OUTER GATES TO HAVE CATCH/LATCH MECHANISM AND NOT SPRING-LOADED.

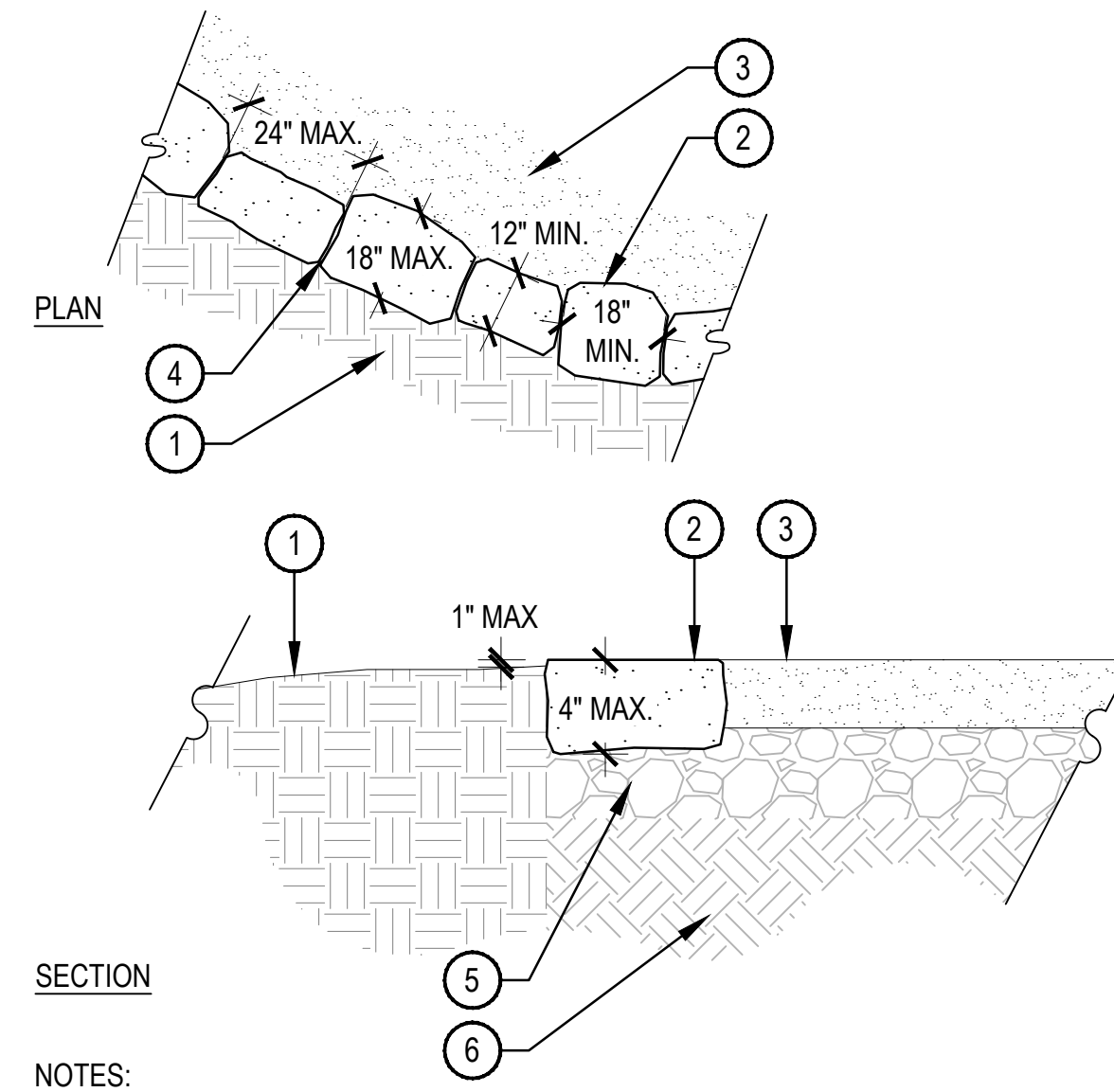
2 METAL GATE

SCALE: 3/4" = 1'-0"



3 5' WOOD MAINTENANCE GATE

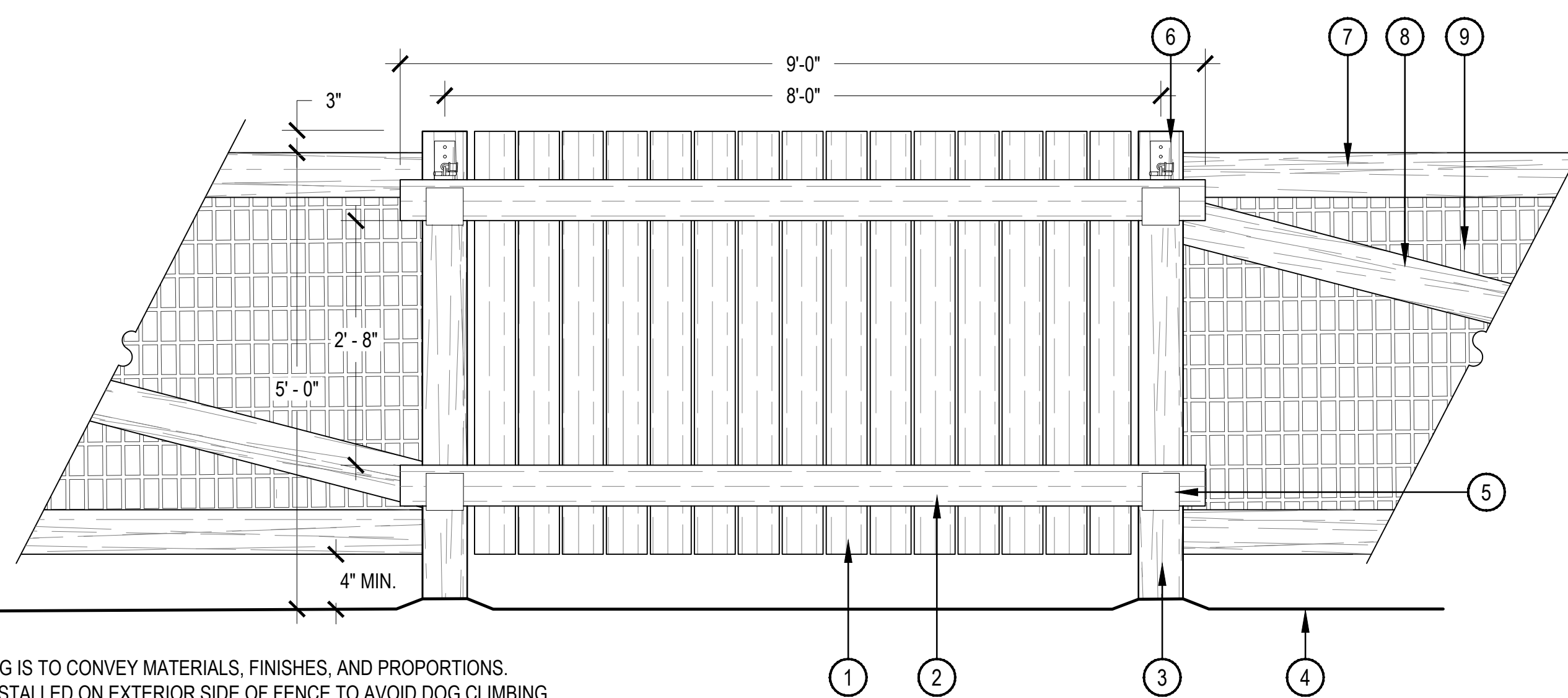
SCALE: 3/4" = 1'-0"



NOTES:
1. TOP OF STONE TO BE MAX. 1/8" ABOVE ADJACENT CRUSHER FINES SURFACE.

4 STONE EDGE

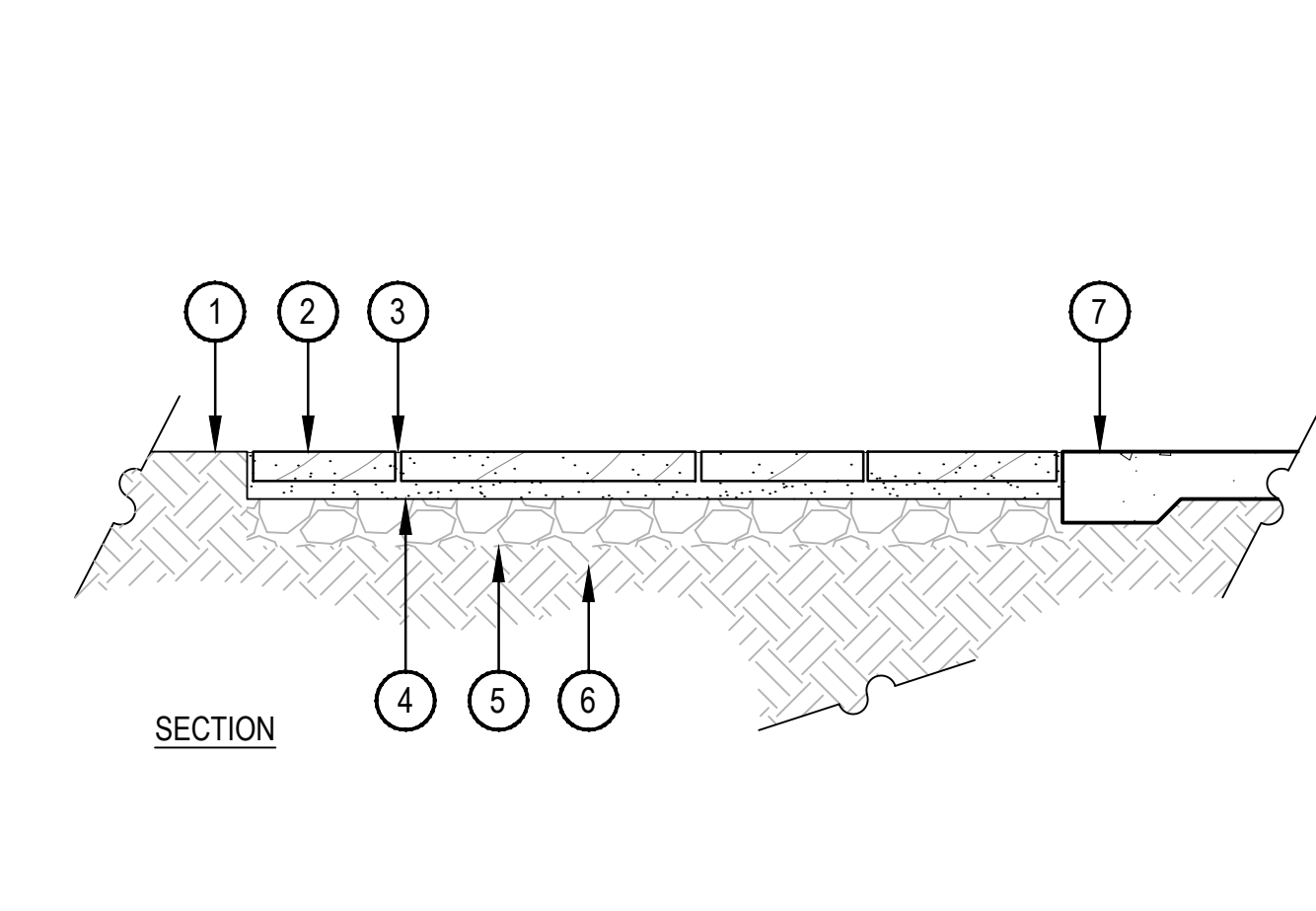
SCALE: 1 1/2" = 1'-0"



NOTES:
1. INTENTION OF DRAWING IS TO CONVEY MATERIALS, FINISHES, AND PROPORTIONS.
2. CROSS BEAM TO BE INSTALLED ON EXTERIOR SIDE OF FENCE TO AVOID DOG CLIMBING.

5 REMOVABLE FENCE ACCESS PANEL

SCALE: 3/4" = 1'-0"



NOTES:
1. CONTRACTOR SHALL COORDINATE SCORING PATTERN OF THE ADJACENT CONCRETE WORK WITH THE SETTING OF THE STONES.
2. TAMP STONES WITH VIBRATOR TO LOCK STONES INTO PLACE.
3. FINISH GRADE OF STONES MUST BE FLUSH WITH ADJACENT FLATWORK.

6 FLAGSTONE PAVERS

SCALE: 3/4" = 1'-0"

CARTER PARK
300 S. HIGH STREET
BRECKENRIDGE, CO

OWNER:
TOWN OF BRECKENRIDGE
150 SKI HILL ROAD
BRECKENRIDGE, CO
970-453-3373

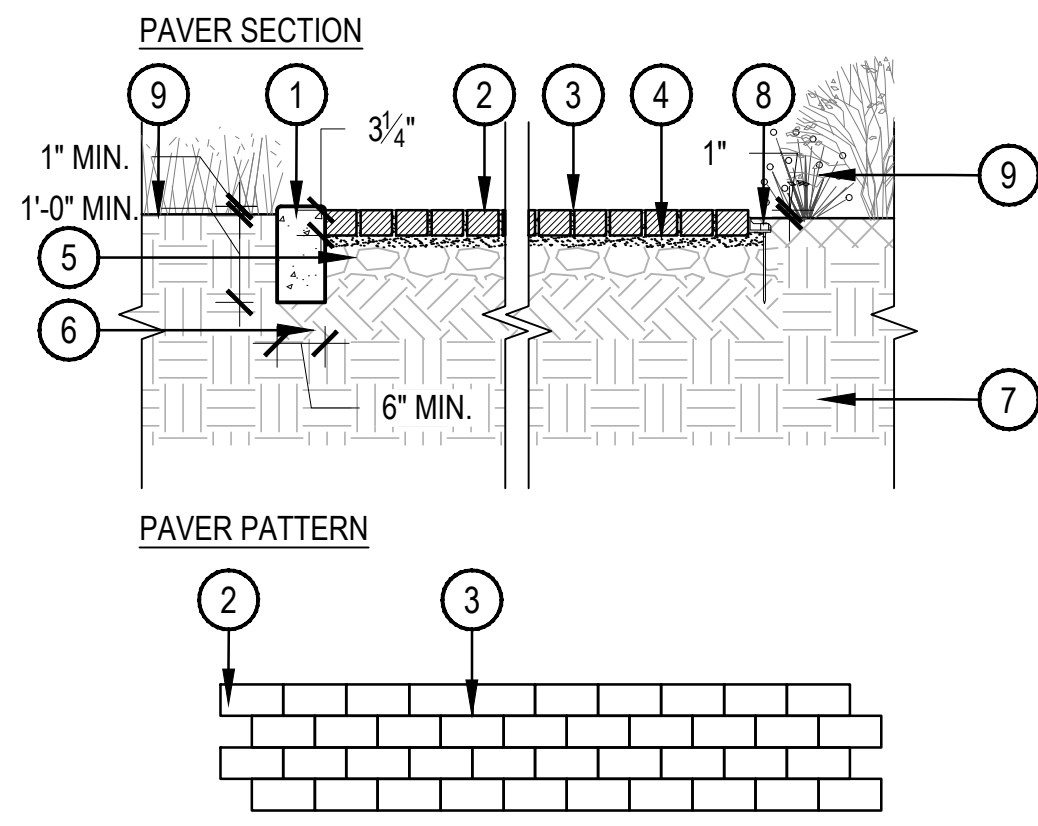
NOT FOR
CONSTRUCTION

DATE:
04/10/24: FOR BID

SHEET TITLE:
LANDSCAPE
DETAILS

LP-502





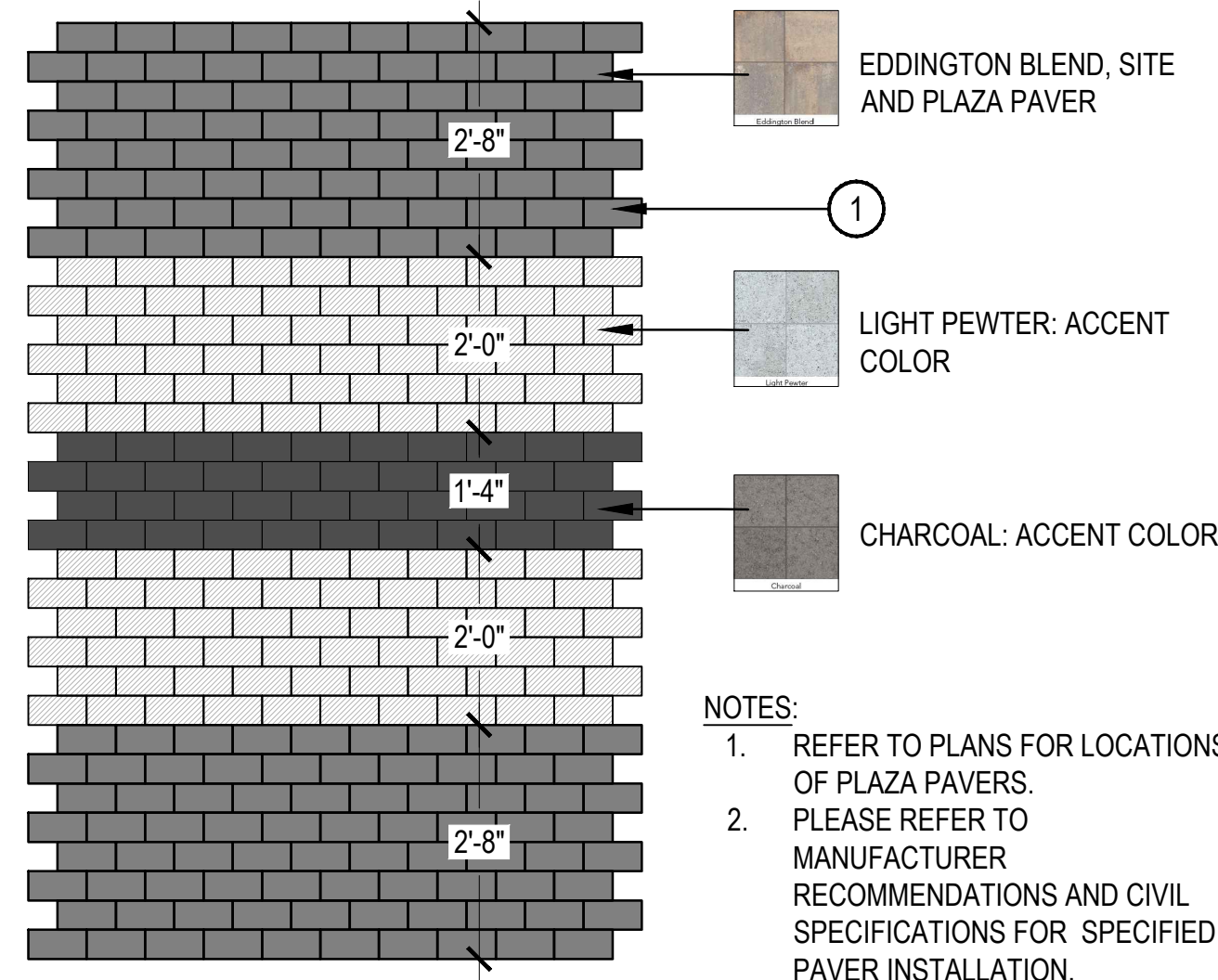
- ① CONCRETE CURB, REFER TO PLANS
- ② SITE AND PLAZA PAVER IN RUNNER BOND, REFER TO MATERIAL SCHEDULE, SHEET LP-002. SEE DETAIL 2, SHEET LP-503 FOR PLAZA PAVER PATTERN LAYOUT
- ③ SAND SWEEP JOINTS, REFER TO MATERIALS SCHEDULE, SHEET LP-002 FOR PAVER JOINTING COMPOUND
- ④ MINIMUM 1.5" ASTM C 33 GRADE WASHED SAND SETTING LAYER
- ⑤ CDOT 6 ROAD BASE, COMPACTED TO 95% STANDARD PROCTOR DENSITY, 4" DEPTH MINIMUM PER MANUFACTURER RECOMMENDATION, REFER TO GEOTECH FOR FINAL SPECIFICATION
- ⑥ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ⑦ UNDISTURBED SUBGRADE
- ⑧ PAVER EDGER, REFER TO MATERIAL SCHEDULE, SHEET LP-002, FOR TYPE.
- ⑨ ADJACENT LANDSCAPE, REFER TO PLANS

- NOTES:
1. REFER TO PLANS FOR LOCATIONS OF PAVERS.
 2. PLEASE REFER TO MANUFACTURER RECOMMENDATIONS AND CIVIL SPECIFICATIONS FOR SPECIFIED PAVER INSTALLATION.
 3. CURB OR PAVER EDGER NOT REQUIRED WHEN PAVERS ARE ADJACENT TO CONCRETE PAVING, WALLS OR BUILDING.

1 PLAZA PAVERS

SCALE: 1/2" = 1'-0"

PLAZA PAVER PATTERN TYPICAL

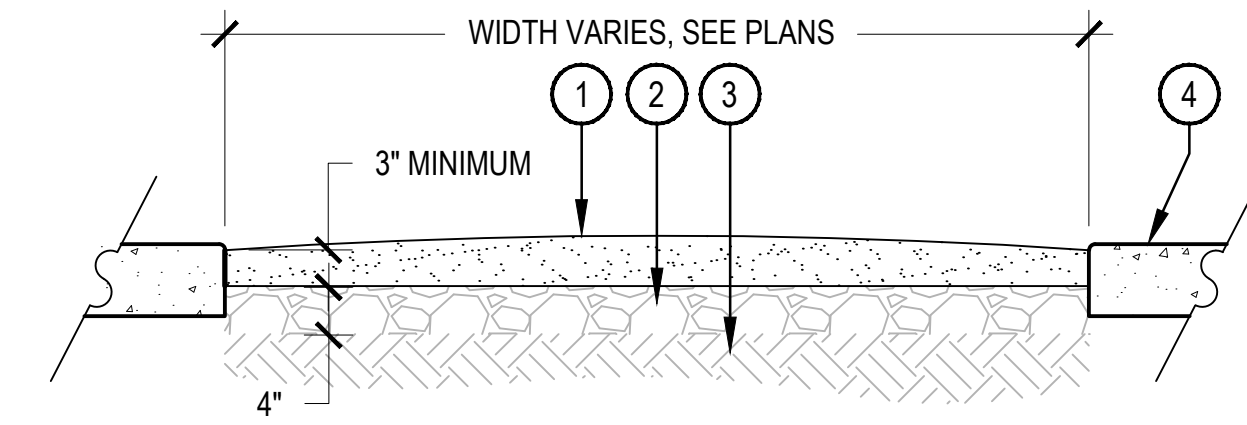


- ① REFER TO SITE PAVERS DETAIL 1, SHEET LP-503 FOR PAVER PROFILE INFORMATION
- ② REFER TO MATERIAL SCHEDULE, SHEET LP-002, FOR FINISH INFORMATION

- NOTES:
1. REFER TO PLANS FOR LOCATIONS OF PLAZA PAVERS.
 2. PLEASE REFER TO MANUFACTURER RECOMMENDATIONS AND CIVIL SPECIFICATIONS FOR SPECIFIED PAVER INSTALLATION.

2 PLAZA PAVER LAYOUT

SCALE: 1/2" = 1'-0"



- NOTES:
1. COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
 2. USE A SMALL 4' RIDING ROLLER TO COMPACT CRUSHER FINES.
 3. CROWN OF 2% IN FLAT AREAS AS SHOWN.
 4. CROSS SLOPE AREA AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
 5. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE, SEE MATERIAL SCHEDULE FOR SPECIFIED STABILIZER.

3 CRUSHER FINES

SCALE: 3/4" = 1'-0"

- ① COMPACTED, STABILIZED CRUSHER FINES, REFER TO MATERIAL SCHEDULE LP-002
- ② 4" DEPTH COMPACTED AGGREGATE BASE
- ③ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ④ CONCRETE FLATWORK, REFER TO LANDSCAPE PLANS.

CARTER PARK
 300 S. HIGH STREET
 BRECKENRIDGE, CO

OWNER:
 TOWN OF BRECKENRIDGE
 150 SKI HILL ROAD
 BRECKENRIDGE, CO
 970-453-3373

NOT FOR CONSTRUCTION

DATE:
 04/10/24: FOR BID

SHEET TITLE:
 LANDSCAPE
 DETAILS

LP-503





TOWN OF BRECKENRIDGE
TOWN COUNCIL

Only 2 Council Members at each meeting, a third just means it needs to be posted.

The Council has been invited to the following meetings and events. A quorum may be in attendance at any or all of them.

Date	Meeting	Location	Time
------	---------	----------	------

June 2024

Tuesday, June 11th, 2024	First Meeting of the Month	Council Chambers	3:00 pm / 7:00 pm
Thursday, June 13th, 2024	BTO Annual Meeting	Council Chambers	8:30am - 10:30am
Friday, June 14th, 2024	Meet Up with the Mayor	Old Masonic Hall	4:30pm - 5:30pm
Saturday, June 15th, 2024	10 Mile Pride	Riverwalk Center	All Day
June 18th - 21st	CML Annual Conference	Loveland, CO	All Day
Tuesday, June 25th, 2024	Second Meeting of the Month	Council Chambers	3:00 pm / 7:00 pm

July 2024

Thursday, July 4th, 2024	4th of July Celebrations	Main Street	All Day
Tuesday, July 9th, 2024	First Meeting of the Month	Council Chambers	3:00 pm / 7:00 pm
Saturday, July 20th	Breck Create Annual Fundraising	Arts District	5:00pm - 9:00pm
Tuesday, July 23rd, 2024	Second Meeting of the Month	Council Chambers	3:00 pm / 7:00 pm

Other Meetings

June 11th, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am / 1:30pm
	Workforce Housing Committee	Town Hall	10:30am
June 13th, 2024	QQ - Quality and Quantity - Water District	Steamboat Springs	10:00am
	Upper Blue Sanitation District	Administrative Office	5:30pm
June 17th, 2024	Social Equity Advisory Commission	Town Hall	7:30am
	Summit Combined Housing Authority	Virtual	1:00pm
	Open Space & Trails Meeting	Town Hall	5:30pm
June 18th, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am
	Liquor & Marijuana Licensing Authority	Town Hall	9:00am
	Planning Commission Meeting	Town Hall	5:30pm
June 25th, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am / 1:30pm
June 27th, 2024	Summit Stage Transit Board Meeting	Senior Center	8:15am
	Breckenridge Tourism Office Board Meeting	BTO Office	8:30am
	NWCCOG Board Meeting	Silverthorne Office	10:00am
	RW&B Board Meeting	Main Street Station	3:00pm
	Breck Create	Town Hall	3:30pm
July 2nd, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am
	Planning Commission Meeting	Town Hall	5:30pm
July 3rd, 2024	Police Advisory Committee	PD Training Room	7:30am
	Breckenridge Events Committee	Town Hall	9:00am
	Childcare Advisory Committee	Town Hall	10:00am
July 9th, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am / 1:30pm
	Workforce Housing Committee	Town Hall	10:30am
July 10th, 2024	Breckenridge History	Town Hall	Noon
July 11th, 2024	I-70 Coalition	Keystone Policy Center	11:30am
	Upper Blue Sanitation District	Administrative Office	5:30pm



TOWN OF BRECKENRIDGE
TOWN COUNCIL

Only 2 Council Members at each meeting, a third just means it needs to be posted.

The Council has been invited to the following meetings and events. A quorum may be in attendance at any or all of them.

Date	Meeting	Location	Time
July 15th, 2024	Social Equity Advisory Commission	Town Hall	7:30am
	Summit Combined Housing Authority	Virtual	1:00pm
	Open Space & Trails Meeting	Town Hall	5:30pm
July 16th, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am
	Liquor & Marijuana Licensing Authority	Town Hall	9:00am
	Planning Commission Meeting	Town Hall	5:30pm
July 23rd, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am / 1:30pm
July 25th, 2024	Summit Stage Transit Board Meeting	Senior Center	8:15am
	Breckenridge Tourism Office Board Meeting	BTO Office	8:30am
	RW&B Board Meeting	Main Street Station	3:00pm
August 6th, 2024	Board of County Commissioners Meeting	County Courthouse	9:00am
	Planning Commission Meeting	Town Hall	5:30pm
August 7th, 2024	Breckenridge Events Committee	Town Hall	9:00am
	I-70 Coalition	Keystone Policy Center	11:30am
	Childcare Advisory Committee	Town Hall	3:00pm
August 8th, 2024	NWCCOG Board Meeting	Silverthorne Office	10:00am
September 11th, 2024	Breckenridge History	Town Hall	Noon
TBD	Tourism Overlay District Advisory Committee Meeting		10:30am
	Transit Advisory Council Meeting		8:00am
	Water Task Force Meeting		9:30am