



TOWN OF  
**BRECKENRIDGE**

**Planning Commission Meeting Agenda**

Tuesday, December 5, 2023, 5:30 PM

Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

**5:30pm - Call to Order of the December 5, 2023 Planning Commission Meeting; 5:30pm Roll Call**

*Location Map* 2

*Approval of Minutes* 3

*Approval of Agenda*

**5:35pm - Public Comment On Historic Preservation Issues (Non-Agenda Items ONLY; 3-Minute Limit Please)**

**5:40pm - Consent Calendar**

1. Nine Rounds Residence (EM) 9 Rounds Rd; PL-2023-0554 6

**5:45pm - Work Sessions**

1. Vestibules in Conservation District 24

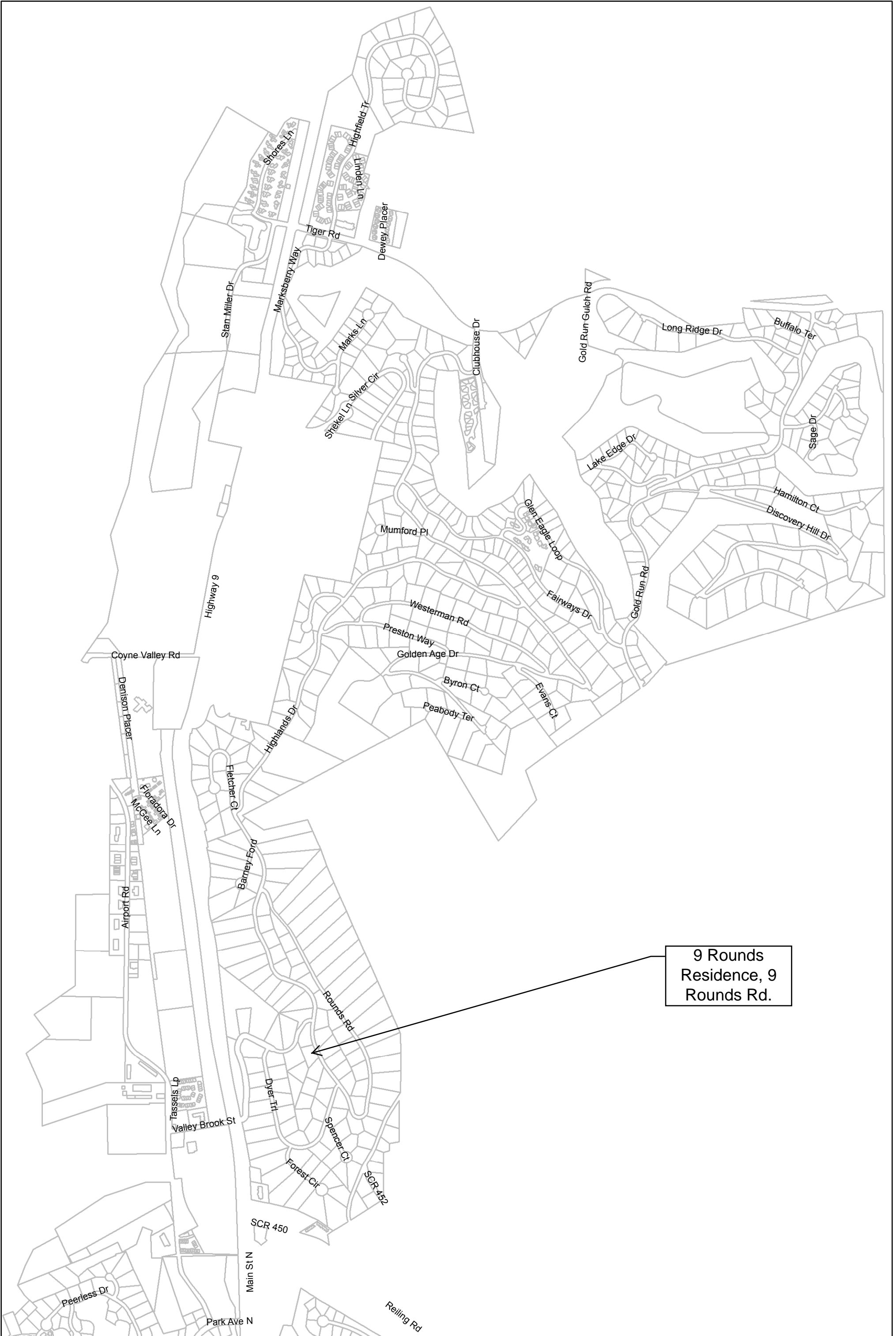
**6:15pm - Other Matters**

1. Town Council Summary

**6:30pm - Adjournment**

**For further information, please contact the Planning Department at (970) 453-3160.**

**The indicated times are intended only to be used as guides. The order of the projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**



9 Rounds Residence, 9 ROUNDS Rd.

## PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 pm by Chair Leas.

### ROLL CALL

Mike Giller	Mark Leas	Allen Frechter	Susan Propper - <b>remote</b>
Ethan Guerra	Steve Gerard	Elaine Gort	

### APPROVAL OF MINUTES

With no changes, the November 7, 2023 Planning Commission Minutes were approved.

### APPROVAL OF AGENDA

With no changes, the November 21, 2023 Planning Commission Agenda was approved.

### PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- No comments

### WORK SESSIONS:

#### 1. Historic Sheds

This item is in response to a concern voiced by Janet Sutterley on a few deteriorating historic sheds in Town. Staff has researched the topic since and would like to present findings to the Planning Commission. Ms. Muncy gave an overview of the current state of historic sheds and secondary structures within the Historic District and showed an interactive location map. The following specific questions were asked of the Commission:

1. Are there other options that the Commission suggests staff further evaluate?
2. Does the Commission have any additional comments?

#### *Commissioner Questions / Comments:*

Ms. Gort: Are owners limited to what they can use the sheds for? (Ms. Muncy: It depends on land use districts and zoning. For example, Dynamite Cookies is an historic shed but used as a cookie shop. Some are used as a secondary residence while others are used for storage and garages.) Is there a note of what the use is for each shed? (Ms. Muncy: The use is not noted, but the importance, condition, and type is listed.)

Ms. Propper: What is the distinction between well maintained and maintained? (Ms. Muncy: Well maintained has been improved, very good condition and upkeep by the owner. Maintained is just good condition.)

Ms. Gort: How do you know they are historic and not just a shed? (Ms. Muncy: Research using architectural inventory forms previously performed by a third party expert, which often include sheds. Larrisa O'Neil of Breckenridge History will be cross checking the historic status of each of the sheds. Some sheds were moved to their current location from elsewhere and we are attempting to confirm historic locations. This is a working map.)

Mr. Leas: Is there a distinction between sheds and garages which store automobiles? (Ms. Puester: We don't differentiate between sheds use. Historic sheds in Town were primarily constructed prior to automobile use but may have been converted to that use later with restoration and reuse. We could also call these "secondary structures.") (Ms. Muncy: Barns, sheds, cabins, and outhouses were the type categories used.)

Mr. Giller: We should compare these locations to Sanborn Maps to see if these have been moved from their historic location.

- Ms. Gort: What have other towns done regarding regulation for historic sheds? (Ms. Muncy: I have researched “demolition by neglect” ordinances in other towns but have not found anything specific to sheds. We are continuing to research this topic.)
- Ms. Propper: These sheds are important to the character of Breckenridge. Is there anything the Town can do to require these to be maintained? (Ms. Muncy: We are considering code changes to the landmarking regulations and possibly adding a demolition-by-neglect ordinance.)
- Mr. Guerra: The first step would be landmarking these and then stabilizing them? (Ms. Puester: Landmarking is voluntary. We could also create an ordinance to not allow for demolition by neglect which would be mandatory. If we go that route, it would require a code change. If going that route, landmarking would not be required just stabilization. Landmarking is helpful to property owners to be able to obtain tax credits and assistance from the State.) We could do landmarking or change the code, what are the pros and cons of those different paths? (Ms. Puester: Landmarking is voluntary but a code change to prohibit demolition by neglect would be mandatory for compliance. It is largely a political decision. We are concerned about the few sheds identified which require more immediate attention hence the potential partnership with Breck History in administering a grant program.)
- Mr. Leas: Can you speak more on demolition by neglect? What are the reasons for an owner to do this? (Ms. Puester: There are a multitude of reasons. Often it is lack of funding or desire to do something else on their property.)
- Mr. Frechter: Can owners remove these or remove materials if they wanted, if they are not landmarked? (Ms. Puester: I don’t believe they could remove the historic materials but we will look further into the details on that.)
- Ms. Gort: What determines if they are historic? (Ms. Muncy: Sheds prior to the Town’s period of historic significance of 1942.)
- Mr. Gerard: One of the first things we could do is reach out to owners with an informational campaign now that we have the inventory. This could help determine if we need to incentivize maintenance or have enforcement with penalties, depending upon owner support. One shed, behind the Starbucks, is a former residence. There is a great importance to that being preserved. There may be sheds in areas outside the historic district that also have significance.
- Ms. Gort: The historic museum on Main Street could also use some maintenance.

The work session was opened to public comment.

Lee Edwards: I have a design build firm in Town. A lot of the structures you are discussing I have touched over the decades. You asked if owners have been contacted, one of the red [poor condition] shed owners is aware, but you should contact all owners. A lot of these sheds are not in prime locations if restoration of the primary residence occurs; you should continue to allow moving of sheds if restoration occurs. What kind of financial numbers or financial incentives would the Council consider to help with preservation and restoration? (Ms. Puester: We will be taking this topic including a potential grant program concept to the Town Council in January. I do not have any financial numbers for the grants at this time.)

Larissa O’Neil, Breckenridge History: From the perspective of Breckenridge History we are willing to help in any way. These structures very much contribute to the character of Town. We would support creative ways to help homeowners preserve these structures in the future.

The public comment period was closed.



- Mr. Frechter: Maybe there is a campaign, “save our sheds”, maybe the Town funds the piece for stabilization. What about a competition? What is an interesting use or reuse for historic sheds? Overall, this would increase awareness. There are many uses, garbage, storage, and garage; if I had one I would make it a cigar lounge. Something like this could encourage awareness that preservation is needed.
- Ms. Gort: I think this is great. What about a coffee table book to spread awareness? “Sheds of Breckenridge.”
- Mr. Gerard: This is an important project. Once you become aware of the historical properties. “Save our sheds” is great, Town Council can do things like waiving density for historic sheds, waiving negative points, potential funding opportunities to make this work. The public would likely support this to preserve our history. We all see these sheds, if you read APA materials, demolition by neglect is an important issue around the country. People are more interested in waiting on the building to become irreparable to use the valuable land. That may be what is happening with the museum on Main Street. We should strengthen our demolition by neglect ordinance.
- Ms. Propper: No further comments.
- Mr. Guerra: No further comments.
- Mr. Giller: Jurisdictions streamline the ADU process by standardizing materials that could easily be approved. Preservation number one is a sound roof- I would urge direction on roof and foundation work we would readily accept for owners to facilitate rehabilitation in a way that is historically acceptable to the Town. Think about a kit of parts that are acceptable. These historic outbuildings are an important part of the cultural landscape and character defining features to the Breckenridge historic district. The historic preservation community nationally has raised awareness of the parts and pieces of a district; it’s the context. These outbuildings tell the story of how early settlers lived in Breckenridge.
- Mr. Leas: I too applaud the effort to raise awareness and make this an issue. Often, items that don’t affect us directly are overlooked but this is important. The largest obstacle is financial. These are important to the history of Breckenridge and point to how people lived 100 years ago in Breckenridge.
- Mr. Frechter: It may be easier to persuade upkeep of the sheds if there is an intended use. (Ms. Muncy: Most of these structures that had a use besides storage were notably in a well-maintained condition.)
- Ms. Puester: We are planning to take this to Council in January for an update. In the meantime, we will be considering what demolition by neglect means to us and potentially considering a code amendment in the future.
- Lee Edwards: Possibly a financial incentive could be a loan of some sort to take care of the cost for owners.
- Ms. Puester: Two sheds are considered in danger of being lost currently; we may be more encouraging with those owners to start quickly with maintenance and preservation.

**OTHER MATTERS:**

1. Town Council Summary

**ADJOURNMENT:**

The meeting was adjourned at 6:24 pm.

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Mark Leas, Chair



TOWN OF BRECKENRIDGE  
COMMUNITY DEVELOPMENT

**Class C Major Single Family Development Review Staff Report**

<b>Project Title:</b>	Nine Rounds Residence	
<b>Proposal:</b>	Construct a new single family residence with 5,974 square feet of density. The residence will have six (6) bedrooms, six and a half (6.5) bathrooms, a dining nook, wet bar, and a three vehicle garage. The property will have two (2) gas fireplaces, one (1) outdoor gas fire table, and an outdoor barbeque with a gas hookup as well as four (4) electric fireplaces.	
<b>PC#:</b>	PL-2023-0554	
<b>Project Manager:</b>	Ellie Muncy, Planner I	
<b>PC Meeting Date:</b>	December 5, 2023	
<b>Preapplication Meeting Date (REQUIRED):</b>	September 7, 2023	Ellie Muncy & Chris Kulick
<b>Date of Report:</b>	November 16, 2023	
<b>Property Owner:</b>	Rounds Rd LLC	
<b>Agent:</b>	Tim Gerken, Rooted Architecture	
<b>Proposed Use:</b>	Single Family Residence	
<b>Address:</b>	9 Rounds Road	
<b>Legal Description:</b>	Lot 38, The Highlands at Breckenridge, Filing No. 2	
<b>Area of Site in Square Feet:</b>	46,174 sq. ft.	1.06 acres
<b>Existing Site Conditions:</b>	The rectangular lot has a slight upward slope to the east and narrows slightly to the east along Rounds Road. The lot does not feature a Building or Disturbance Envelope and is bordered by adjacent residential parcels and Rounds Road. The lot is covered with mature tree growth and shrubs. The lot has no existing easements.	
<b>Area of building:</b>	Proposed Square Footage	
Lower Level:	2,199 sq. ft.	
Main Level:	2,562 sq. ft.	
Upper Level:	325 sq. ft.	
Total Livable:	5,086 sq. ft.	
Garage*:	888 sq. ft.	
Total Above Ground Density:	5,355 sq. ft.	
Total Density:	5,974 sq. ft.	
<b>Code Policies (Policy #)</b>		
<b>Land Use District (2A/2R):</b>	6	
<b>Density (3A/3R):</b>	Unlimited	Proposed: 5,974 sq. ft.
<b>Above Ground Density (3/A):</b>	1:8.50 (or 5432 sq. ft.)	Proposed: 5,355 sq. ft.
<b>F.A.R.</b>	1:8.62 FAR	

<b>No. of Main Residence Bedrooms:</b>	6 bedrooms	
<b>No. of Main Residence Bathrooms:</b>	6.5 bathrooms	
<b>Height (6A/6R):</b>	29.9 feet overall	
*Max height of 35' for single family outside Conservation District <u>unless</u> otherwise stated on the recorded plat.		
<b>Ridgeline and Hillside Development (8A):</b>	Staff has considered this policy and find the proposal complies with Policy 8.	
<b>Lot Coverage/Open Space (21R):</b>		
Drip line of Building/Non-Permeable Sq. Ft.:	4,558 sq. ft.	9.87%
Hard Surface/Non-Permeable Sq. Ft.:	2,206 sq. ft.	4.78%
Open Space / Permeable:	39,410 sq. ft.	85.35%
<b>Snowstack (13A/13R):</b>		
Required Square Footage:	552 sq. ft.	25% of paved surfaces is required
Proposed Square Footage:	656 sq. ft.	(29.74% of paved surfaces)
<b>Outdoor Heated Space (33A/33R):</b>		
	NO	
<b>Parking (18A/18/R):</b>		
Required:	5 spaces	
Proposed:	6 spaces	
<b>Fireplaces (30A/30R):</b>		
<b>Number of Gas Fired:</b>	3 Gas Fired	
	Two (2) interior fireplaces, One (1) exterior fire table	
<b>No. of EPA Phase II Wood Burning:</b>	None	
<b>Building/Disturbance Envelope?</b>	None	
<b>Site and Environmental Design (7R):</b> Staff has considered this policy and find the proposal complies with Policy 7.		
<b>Setbacks (9A/9R):</b>		
<b>Front:</b>	Relative: 25', Absolute: 15'	34' Proposed: Front Yard Setback
	Relative: 50' combined, Absolute: 40' combined, 15' minimum	31' Proposed: Side Yard Setback
		85' Proposed: Side Yard Setback
	<b>Rear:</b>	Relative: 15', Absolute: 15'
<b>Architectural Compatibility (5/A &amp; 5/R):</b>	The proposed architecture and finishes match the existing home and that of the other homes in the neighborhood.	

<p><b>Exterior Materials and Colors:</b></p>	<p>See Color/Material Board  <b>Metal Roof:</b> STANDING SEAM METAL ROOFING - MBCI 'Midnight Bronze'  <b>Shingle Roof:</b> ASPHALT SHINGLE ROOFING - Certaineed Landmark TL 'Black'  <b>Window:</b> ALUMINUM CLAD WOOD WINDOWS &amp; DOORS - Anderson 'Dark Bronze'  <b>Wood Trim:</b> WOOD - Sherwin Williams 'Hill Country' SW 3522  <b>Siding:</b> 1X4 CEDAR VERTICAL WOOD - Sherwin Williams 'Hill Country' SW 3522; 1X8 CEDAR HORIZONTAL WOOD - Sherwin Williams 'Crossroads' SW 3521  <b>Stone Veneer:</b> REAL STONES - Edwards Stone 'Aspenwood'  <b>Fascia:</b> PRE-FINISHED METAL - Black; WOOD - Sherwin Williams 'Charwood' SW 3542  <b>Wood Accent Beams:</b> ROUGH SAWN GLU-LAMS - Sherwin Williams 'Charwood' SW 3542  <b>Accent:</b> NICHHA WALL PANEL - Tuffblock'Pewter'  <b>Soffits:</b> 1X4 T&amp;G CEDAR - Sherwin Williams 'Clear Cedar' Natural</p> <p>The proposed material usage falls within the 25 percent or less threshold for non-natural materials on each facade.</p>													
<p><b>Roof:</b></p>	<p>ASPHALT SHINGLE ROOFING - Certaineed Landmark TL 'Black'  STANDING SEAM METAL ROOFING - MBCI 'Midnight Bronze'</p>													
<p><b>Garage Doors:</b></p>	<p>Wood clad garage doors</p>													
<p><b>Landscaping (22A/22R):</b> Staff finds that sufficient mature spruce and aspen trees exist to provide screening/buffering from the adjacent streets and neighboring lots. The applicant is proposing additional plantings that will provide buffering from the right-of-way and reinforce the buffering from the adjacent lots.</p>														
	<table border="1"> <thead> <tr> <th data-bbox="508 814 872 856">Planting Type</th> <th data-bbox="508 856 872 898">Quantity</th> <th data-bbox="508 898 872 940">Size</th> </tr> </thead> <tbody> <tr> <td data-bbox="508 856 872 898">Aspen</td> <td data-bbox="508 898 872 940">15</td> <td data-bbox="508 940 872 982">1.5" caliper, 50% multistem</td> </tr> <tr> <td data-bbox="508 982 872 1024">Colorado Spruce</td> <td data-bbox="508 1024 872 1066">5</td> <td data-bbox="508 1066 872 1108">6' Tall</td> </tr> <tr> <td data-bbox="508 1108 872 1150">Native Shrubs</td> <td data-bbox="508 1150 872 1192">15</td> <td data-bbox="508 1192 872 1234">5 Gallon</td> </tr> </tbody> </table>	Planting Type	Quantity	Size	Aspen	15	1.5" caliper, 50% multistem	Colorado Spruce	5	6' Tall	Native Shrubs	15	5 Gallon	
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Aspen	15	1.5" caliper, 50% multistem												
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<p><b>Defensible Space (22A):</b></p>	<p>Complies</p>													
<p><b>Drainage (27A/27R):</b></p>	<p>Positive drainage away from the residence is proposed.</p>													
<p><b>Driveway Slope:</b></p>	<p>8.00%</p>													
<p><b>Point Analysis (Sec. 9-1-17-3):</b></p>	<p>This application has met all Absolute and Relative policies.</p>													
<p><b>Staff Action:</b></p>	<p>Staff approves the Nine Rounds Residence, PL-2023-0554, Lot 38, The Highlands at Breck, Filing No. 2, with a passing point analysis of zero points, located at 9 Rounds Road, with the attached Findings and Conditions.</p>													
<p><b>Additional Findings:</b></p>	<p><b>6. Staff finds the proposed retaining walls in the front of the property do not warrant negative points under Policy 7R since they are below four (4) feet in height and are necessary for meeting Engineering standards for driveway slope.</b></p>													
<p><b>Additional Conditions of Approval:</b></p>														

TOWN OF BRECKENRIDGE

Nine Rounds Residence  
Lot 38, The Highlands at Breckenridge, Filing No. 2  
9 Rounds Road  
PL-2023-0554

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **November 16, 2023**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **December 5, 2023** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. **Staff finds the proposed retaining walls in the front of the property do not warrant negative points under Policy 7R since they are below four (4) feet in height and are necessary for meeting Engineering Standards for driveway slope.**

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **June 12, 2025**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

5. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.
6. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
7. Applicant shall field locate utility service lines to avoid existing trees.
8. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
9. At no time shall site disturbance extend beyond the limits of the platted building/site disturbance envelope, including building excavation, and access for equipment necessary to construct the residence.
10. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
11. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

12. Applicant shall submit proof of ownership of the project site.
13. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
14. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
15. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
16. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
17. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
18. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

19. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
20. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

#### **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

21. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
22. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
23. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
24. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
25. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
26. Applicant shall screen all utilities.
27. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
28. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
29. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
30. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these

requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

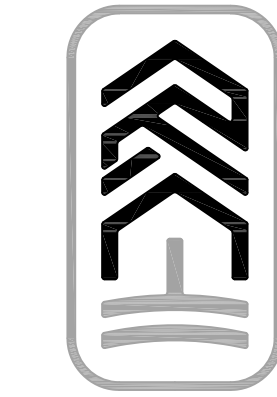
31. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
32. **Applicant shall be held responsible for any deterioration or damages caused by development or construction activities to any Town infrastructure, public rights-of-way, or public property. This includes but is not limited to deterioration or damages to roadway surfaces, curbs, drainage systems, sidewalks, and signage. Applicant must rectify such deterioration or damages to the previous condition at their own expense. Town shall provide written notification to permittee if Town believes that permittee has caused deterioration or damages which would enact this condition. If permittee fails to rectify deterioration or damages in violation of this condition, permittee agrees that the Town may resolve such deterioration or damages and permittee agrees to reimburse the Town for the costs incurred by the Town. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit. Any failure to rectify deterioration or damages or provide reimbursement without Town approval may also result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.**
33. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

\_\_\_\_\_  
(Initial Here)



# NINE ROUND RESIDENCE

9 ROUNDS RD - BRECKENRIDGE, CO



**ROOTED**  
ARCHITECTURE

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NINE ROUNDS RESIDENCE

Lot 38 The Highlands at Breckenridge  
9 Rounds Road Breckenridge, CO 80424

## GENERAL NOTES

**1) COPYRIGHT:**  
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ROOTED ARCHITECTURE, LLC. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR OR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

**2) CODES:**  
THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION AS ADOPTED BY THE TOWN OF BRECKENRIDGE, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

**3) FIELD VERIFICATION:**  
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

**4) DIMENSIONS:**  
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR OP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

**5) DISCREPANCIES:**  
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

**6) DUTY OF COOPERATION:**  
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

**7) CHANGES TO THE WORK:**  
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

**8) WORKMANSHIP:**  
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

**9) SUBSTITUTIONS:**  
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.

**10) CONSTRUCTION SAFETY:**  
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

**11) EXCAVATION PROCEDURES:**  
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

**12) FIELD CUTTING OF STRUCTURAL MEMBERS:**  
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

**13) EXTERIOR MATERIAL MOCK UP:**  
THE GENERAL CONTRACTOR SHALL PROVIDE A MOCK UP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT AND INTERIOR DESIGNER. THIS MOCK UP SHALL BE PROVIDED AND SIGNED OF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'X3' SAMPLE OF EXTERIOR STONE WORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

**14) WEATHER CONDITIONS:**  
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

**15) BUILDING AREA**  
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

**16) PROJECT STAKING**  
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

**17) SITE DISTURBANCE**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

**18) PROJECT GRADES**  
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

**19) EXISTING CONDITIONS**  
THE PLANNED MODIFICATIONS AND ADDITIONS INCLUDED IN THESE DOCUMENTS DO NOT REQUIRE CHANGES OR MODIFICATIONS TO THE EXISTING STRUCTURAL COMPONENTS OF THIS BUILDING. THE GENERAL CONTRACTOR IS TO FIELD VERIFY ALL STRUCTURAL CONDITIONS ARE UNCHANGED DURING DEMOLITION AND CONSTRUCTION. ANY AND ALL STRUCTURAL COMPONENTS DISCOVERED TO REQUIRE MODIFICATION SHALL BE REPORTED TO THE ARCHITECT AND IF REQUIRED, REFERRED TO A STRUCTURAL ENGINEER FOR EVALUATION AND RECOMMENDATION BEFORE WORK PROCEEDS IN AFFECTED AREA.

**20) 3D MODELING**  
THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA. UNLESS OTHERWISE AGREED IN WRITING, ANY USE OF, TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.

**21) SUSTAINABILITY:**  
SUSTAINABLE DESIGN CONCEPTS ARE KEYS TO THE SUCCESS OF ANY DESIGN PROJECT, CONSTRUCTION, AND OPERATION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE EXPECTED TO UNDERSTAND AND IMPLEMENT THESE CONCEPTS TO THE FULLEST EXTENT POSSIBLE. CONTACT DESIGNER WITH CONSTRUCTIVE INPUT OR IF MORE INFORMATION IS NEEDED TO UNDERSTAND AND IMPLEMENT THESE CONCEPTS MORE FULLY.

## PROJECT DATA

**LEGAL DESCRIPTION:**  
9 ROUNDS ROAD - BRECKENRIDGE, COLORADO 80424  
LOT 38 THE HIGHLANDS at BRECKENRIDGE

## USGS DATUMS

LOWER LEVEL	= 100'-0"	(9,624.0' USGS)
GARAGE LEVEL	= 110'-0"	(9,634.0' USGS)
MAIN LEVEL	= 110'-1 3/4"	(9,634.15' USGS)
ENTRY LEVEL	= 111'-1 3/4"	(9,635.15' USGS)
UPPER LEVEL	= 121'-1 3/4"	(9,644.15' USGS)

## AREAS CALCULATIONS

	FINISHED	UNFINISHED	TOTAL
LOWER LEVEL	2,199 SF	0 SF	2,199 SF
MAIN LEVEL	2,562 SF	888 SF	3,450 SF
UPPER LEVEL	325 SF	0 SF	325 SF
<b>TOTAL:</b>	<b>5,086 SF</b>	<b>888 SF</b>	<b>5,974 SF</b>

NOTE: SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES

## CODE INFORMATION

TOWN OF BRECKENRIDGE ADOPTED CODES:

- 2018 International Residential Code with Town Amendments
- 2021 International Energy Conservation Code with Town Amendments
- Town of Breckenridge Land Use Development Code

## ENERGY REQUIREMENTS

**SUSTAINABLE BUILDING CODE CHECKLIST FOR NEW SINGLE FAMILY RESIDENCE  
2021 IECC PRESCRIPTIVE PATH OPTION;**

**THERMAL ENVELOPE REQUIREMENTS  
(2021 IRC CH. 11 - SUMMIT COUNTY ZONE 7)**

ROOF/ CEILING:	R60 or R49 UNCOMPRESSED OVER THE TOP PLATE
ABOVE GRADE WALLS:	R30 CAVITY or R20 CAVITY, R5 CONTINUOUS INSULATION (CI) or R13 CAVITY, R10 CI or R20 CI
SLABS/ SLAB EDGE:	R10
FENESTRATIONS:	MAX U 0.32
FLOOR R-VALUE:	R38
BASEMENT WALL:	R15 CI or R19 CAVITY or R13 CAVITY, R5 CI
MASS WALL:	n/a
CRAWL SPACE WALL:	n/a
BLOWER DOOR:	ACH 2.7 - PRESSURE 0.2" W.G. (50 PASCALS)

THESE SPECIFICATIONS ARE BASED OFF OF THE 2021 IECC RESIDENTIAL THERMAL ENVELOPE REQUIREMENTS AS DESCRIBED IN TABLE R402.1.3, WHICH SHOULD BE REFERRED TO FOR INTERPRETATION REASONS.

**THIS PROJECT SHALL ALSO INCLUDE THE FOLLOW SPECIFICATIONS:**

- RADIANT HEATING SYSTEM, MINIMUM 95% AFUE
- HIGH-EFFICACY LED LIGHTS, MINIMUM 100%
- ENERGY EFFICIENT WATER HEATER.  
- GAS, MINIMUM 0.76 ENERGY FACTOR
- PROVIDE AN ELECTRICAL CAR CHARGING ROUGH IN, INCLUDING A BLANKED ELECTRICAL BOX, AND A RACEWAY TERMINATING IN THE ELECTRICAL PANEL PER ARTICLE 625 OF THE 2020 NEC.
- PROVIDE PV READY CONSTRUCTION INCLUDING A METAL RACEWAY FROM THE ELECTRICAL PANEL TO THE ROOF LOCATION WHERE THE PANELS WILL BE INSTALLED, INCLUDING A ROOF JACK, A #8 COPPER GROUND, A (2) TWO PULL BLANK IN THE ELECTRICAL PANEL AND AN ELECTRICAL CONDUIT FROM THE ELECTRICAL PANEL OUT TO THE ELECTRIC METER.
- WATERSENSE FIXTURES THROUGHOUT
- HRV/ ERV, 65% SENSIBLE HEAT RECOVERY EFFICIENCY, MEETING MINIMUM AIRFLOW RATES PER IRC INSTALLED.
- PROGRAMMABLE THERMOSTATS.

## SHEET INDEX

- A-0 COVER SHEET & GENERAL NOTES
- A-0.1 OVERALL SITE PLAN
- A-0.2 SITE GRADING PLAN
- A-0.3 LANDSCAPE PLAN
- A-0.4 --
- A-1 LOWER LEVEL FLOOR PLAN
- A-2 MAIN LEVEL FLOOR PLAN
- A-3 UPPER LEVEL FLOOR PLAN
- A-4 ROOF PLAN
- A-5 BUILDING ELEVATIONS
- A-6 BUILDING ELEVATIONS
- A-7 3D VIEWS

## LOCATION MAP



No. Date Revisions

Project No: 2023.10  
Stage: PRELIM REVIEW  
Date: 2023-11-03  
Scale:

DRAWING TITLE:

COVER SHEET

DRAWING NO:

A-0

## SURVEYOR

Schmidt Land Surveying, LLC  
P.O. Box 5761  
Frisco, CO 80443  
liz@schmidtlandsurveying.com  
970.409.9963

## INTERIOR DESIGN

IBD Design Studio  
PO Box 3610; 306 1/2 South Ridge St.  
Breckenridge, CO 80424  
jenise@ibddesignstudio.com  
970.453.9020

## STRUCTURAL ENGINEER

Sundquist Design Group  
PO Box 676  
Conifer, CO 80433  
joe@sudquistdesign.com  
303.838.2222

## CONTRACTOR

Szram LLC  
PO Box 8871  
Breckenridge, CO 80424  
aszram@hotmail.com  
970.420.0080

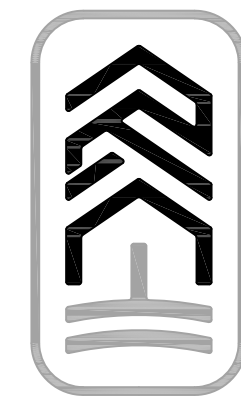
## ARCHITECT

ROOTED Architecture, LLC  
TIM GERKEN  
tim@rootedar.ch.com  
970.485.9003

## OWNER

ROUNDS RD LLC  
barrie@go2breck.com  
970.390.2560





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**NINE ROUNDS RESIDENCE**  
Lot 38 The Highlands at Breckenridge  
9 Rounds Road Breckenridge, CO 80424

No.	Date	Revisions
#1	TOB	2023-11-08

Project No: 2023.10  
Stage: PRELIM REVIEW  
Date: 2023-11-03  
Scale: 1" = 20'-0"

DRAWING TITLE:  
**OVERALL SITE PLAN**

DRAWING NO:

**A-0.1**



**BUILDING SETBACKS**

Per the Town of Breckenridge Development Code;  
25' Front Setback  
15' Rear Setback  
50' Combined Side Setbacks

**1 A-0** **OVERALL SITE PLAN**

SCALE: 1" = 40'-0"

N

# SITE NOTES

Topographical information obtained from survey by Schmidt Land Surveying, Inc. dated July 18, 2023 job #2857. The Contractor shall verify all existing conditions in the field.

Utility locations are shown approximately or existing. Contact appropriate authorities to field locate all utilities prior to excavation.

Contractor shall identify all existing trees, which are specified on the site plan to be retained by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the certificate of occupancy.

Contractor shall submit and obtain approval from the Town a construction staging plan indicating the location of all construction material storage, fill, and excavation material storage areas, portolet, and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way. Any dirt tracked upon the public road shall be the contractor's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the County, and cars must be moved for snow removal. A project contact person is to be provided to the public works department prior to issuance of the building permit.

Finish grade to provide positive drainage away from building foundation at all areas. Revegetate all disturbed areas per landscape notes. Planting and landscape areas are to be provided by the owner/contractor. USGS datum per survey.

# SITE CALCULATIONS

	SQ. FT.	PERCENTAGE %
BUILDING FOOTPRINT (INCLUDES OVERHANGS)	4,558 SF	9.8%
HARDSCAPE AREAS (DRIVEWAY)	2,206 SF	4.7%
SNOW STACK AREAS	656 SF	29.7%
OPEN SPACE	39,410 SF	85.5%
TOTAL LOT SIZE	46,174 SF	100%

# BUILDING HEIGHT CALCULATIONS

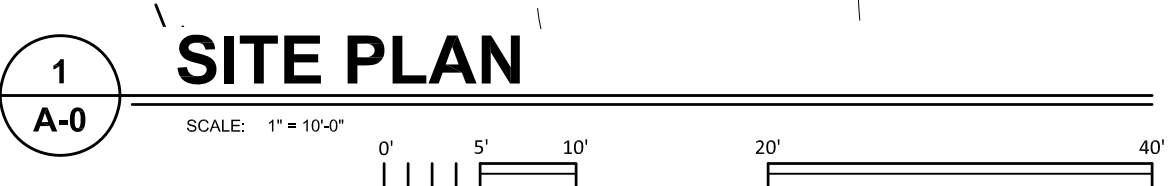
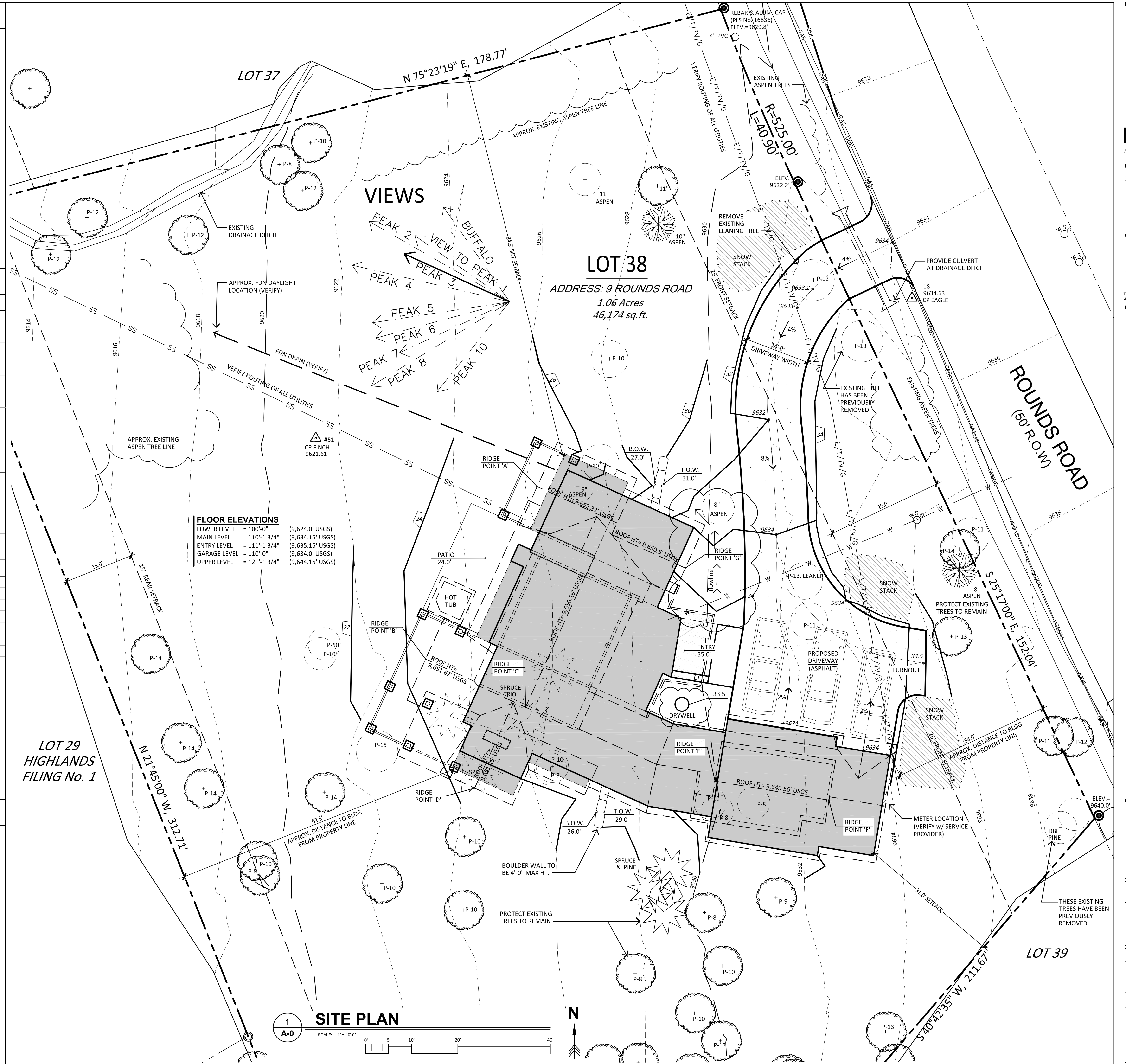
POINT	ROOF ELEV	NAT. GRADE ELEV	FIN. GRADE ELEV	MEASURED FROM	CALCULATIONS	HEIGHT
A	9,652.33'	9,626.25'	9,625.0'	FIN. ELEV	9,652.33' - 9,625.0'	27.33'
B	9,651.67'	9,623.5'	9,624.0'	NAT. ELEV	9,651.67' - 9,624.0'	27.67'
C	9,656.16'	9,625.75'	N/A	NAT. ELEV	9,656.16' - 9,625.75'	29.91'
D	9,651.15'	9,624.15'	9,624.0'	FIN. ELEV	9,651.15' - 9,624.0'	27.15'
E	9,649.56'	9,630.0'	N/A	NAT. ELEV	9,649.56' - 9,630.0'	19.56'
F	9,649.56'	9,632.5'	N/A	NAT. ELEV	9,649.56' - 9,632.5'	17.06'
G	9,650.5'	9,629.6'	9,634.5'	NAT. ELEV	9,650.5' - 9,629.5'	21.00'


ALLOWED BUILDING HEIGHT = 30.00' PER HIGHLANDS DRB  
PROPOSED BUILDING HEIGHT = 29.91' (HIGHEST - POINT 'C')

# BUILDING SETBACKS

Per the Town of Breckenridge Development Code;

- 25' Front Setback
- 15' Rear Setback
- 50' Combined Side Setbacks





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XXX/XX/XX

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NOT FOR CONSTRUCTION

**NINE ROUNDS RESIDENCE**

Lot 38 The Highlands at Breckenridge  
9 Rounds Road Breckenridge, CO 80424

No. Date Revisions

#1 TOB 2023-11-08

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Project No: 2023.10

Stage: PRELIM REVIEW

Date: 2023-11-03

Scale: 1" = 10'-0"

DRAWING TITLE:

**SITE PLAN**

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DRAWING NO:

**A-0.2**



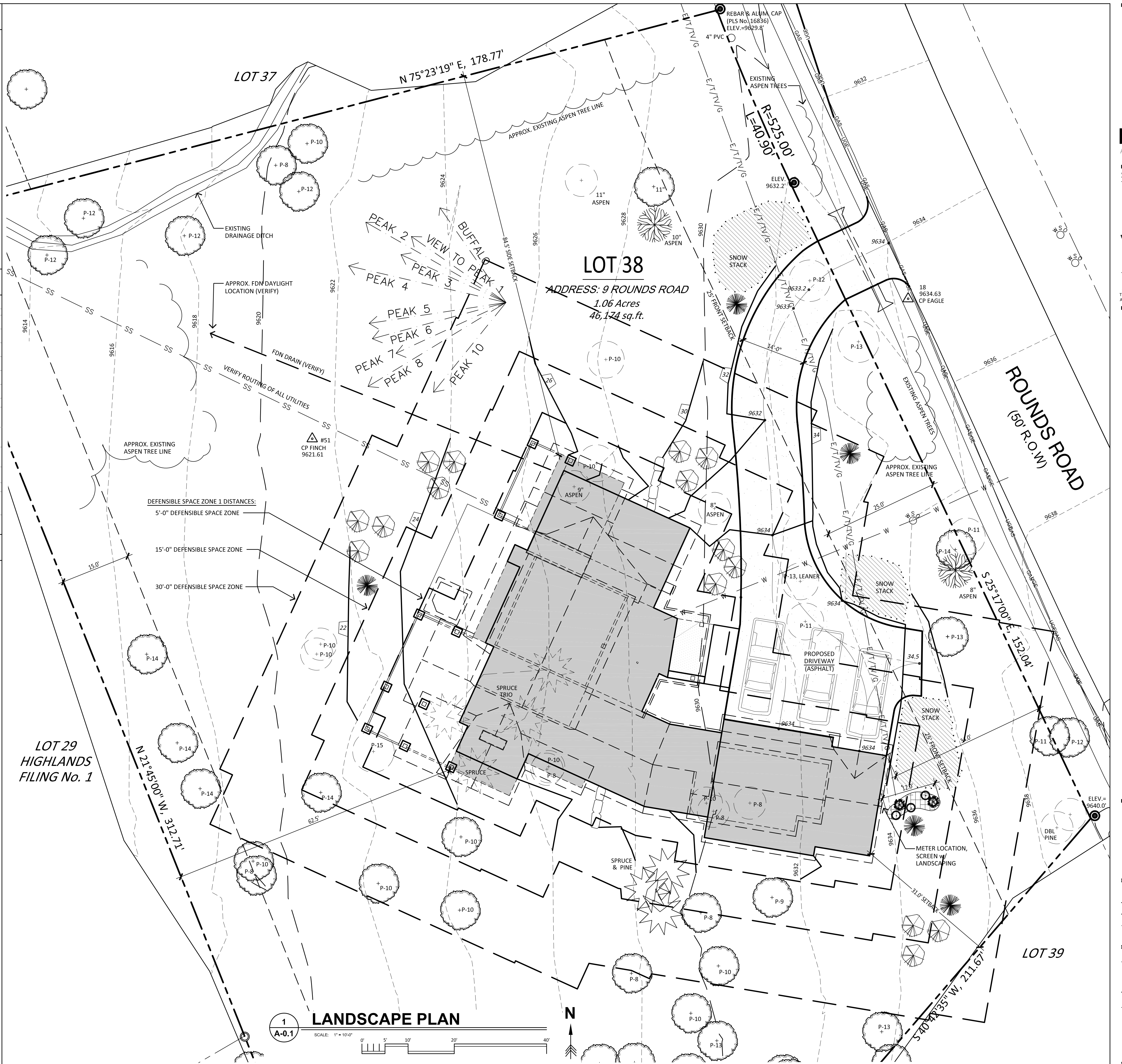
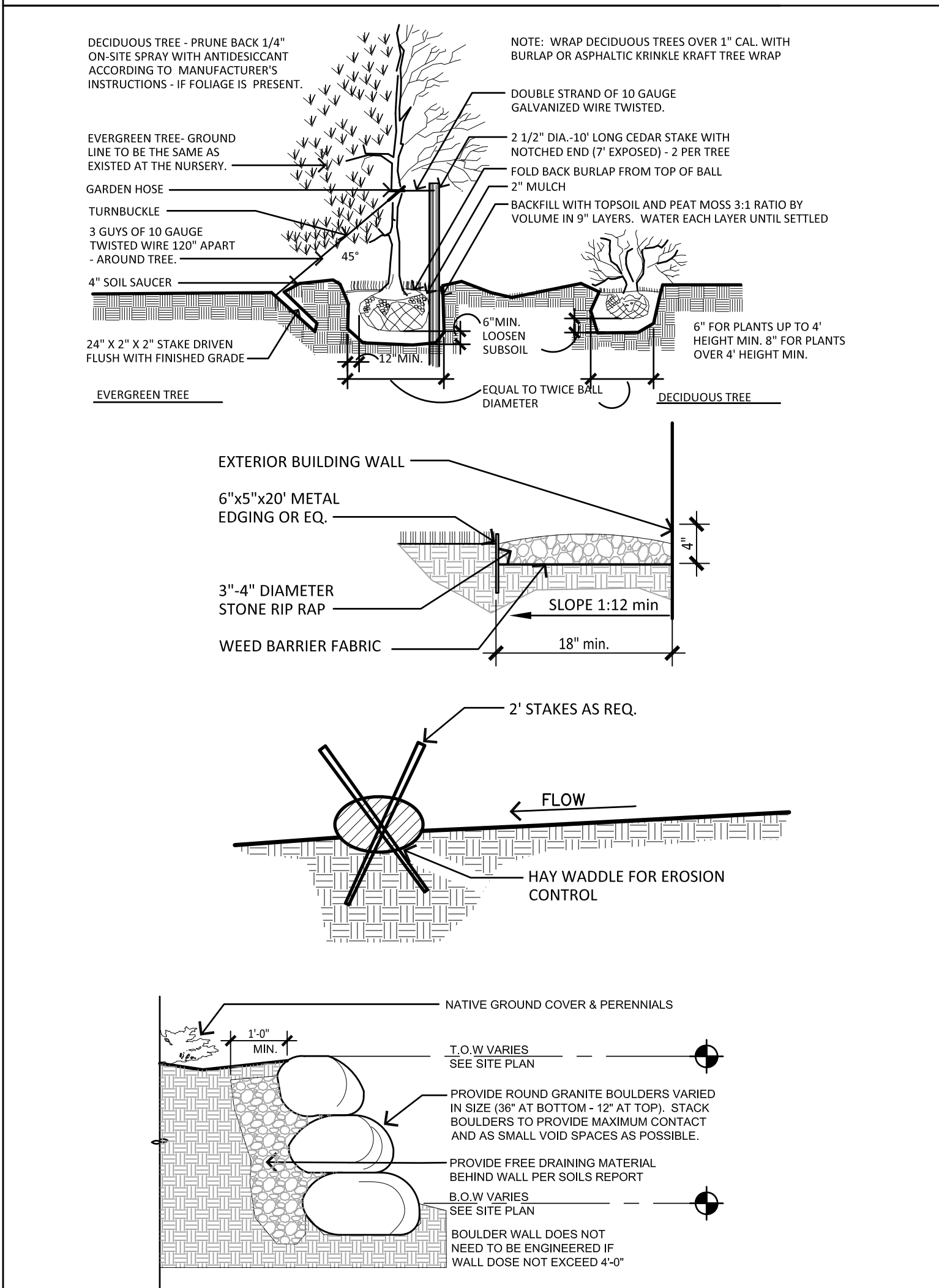
# LANDSCAPE NOTES

- Revegetate all disturbed areas with native short seed mix and 3" of topsoil (min). Slopes greater than 3:1 shall receive erosion control netting.
- Locate new plantings to avoid snow stack areas and ice slide 'drip' areas.
- An irrigation system may be required for all new landscaping. Provide temporary drip irrigation system for native landscape areas. Irrigation to have moisture sensor devices to prevent over watering.
- Trees that are to remain shall be protected with fencing to reduce compaction around tree base and grading changes. Fencing to be located at tree driplines.
- Provide Defensible Space as outlined per the Town's requirements.
- Provide cobble rock (3"-6" in dia) over weed barrier fabric at roof dripline areas. Provide cobbles around building at a minimum 1'-6" from walls.
- All plant materials shall be back filled with equal parts of organic amendments and native soil.
- All shrub and tree wells shall receive 3" shredded bark mulch.
- All newly planted trees shall be root fed at the time of installation and are to be high altitude grown or collected to ensure better survival.
- General Contractor shall provide positive drainage away from all building foundations (min 1:12 slope).

# LANDSCAPE LEDGED

SYM	NAME	NO.	SIZE & NOTE
●	EXISTING	--	VERIFY ON SITE PLAN
○	REMOVE	--	VERIFY ON SITE PLAN
●	COLORADO BLUE SPRUCE or ENGELMANN SPRUCE	5	6' TALL
●	ASPEN	15	1.5" MIN CAL, 50% MULTI-STEM
●	SHRUBS	10	5 GAL.
●	BUFFALO JUNIPER	5	5 GAL.
<b>PATTERNS</b>			
[Pattern]	WOOD MULCH AT LANDSCAPE ISLANDS		
[Pattern]	COBBLE RIP RAP, 3 - 4"		
[Pattern]	PROPOSED REVEGETATION AREAS		varied seed mix for 'no-mow' grasses & native wildflowers
[Pattern]	PROPOSED SNOW STORAGE AREAS		
<b>BOULDERS</b>			
[Pattern]	RETAINING WALL/ LANDSCAPING BOULDERS		24" - 48"

# TYPICAL LANDSCAPE DETAILS



**ROOTED ARCHITECTURE**

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**NINE ROUNDS RESIDENCE**

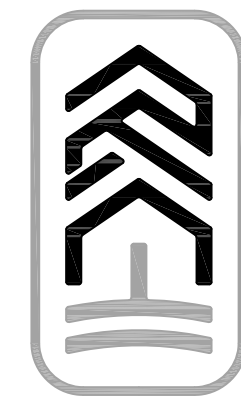
Lot 38 The Highlands at Breckenridge  
9 Rounds Road Breckenridge, CO 80424

No.	Date	Revisions
#1	TOB	2023-11-08

Project No: 2023.10  
Stage: PRELIM REVIEW  
Date: 2023-11-03  
Scale: 1" = 10'-0"

**DRAWING TITLE:**  
LANDSCAPE PLAN

**DRAWING NO:**  
A-0.3



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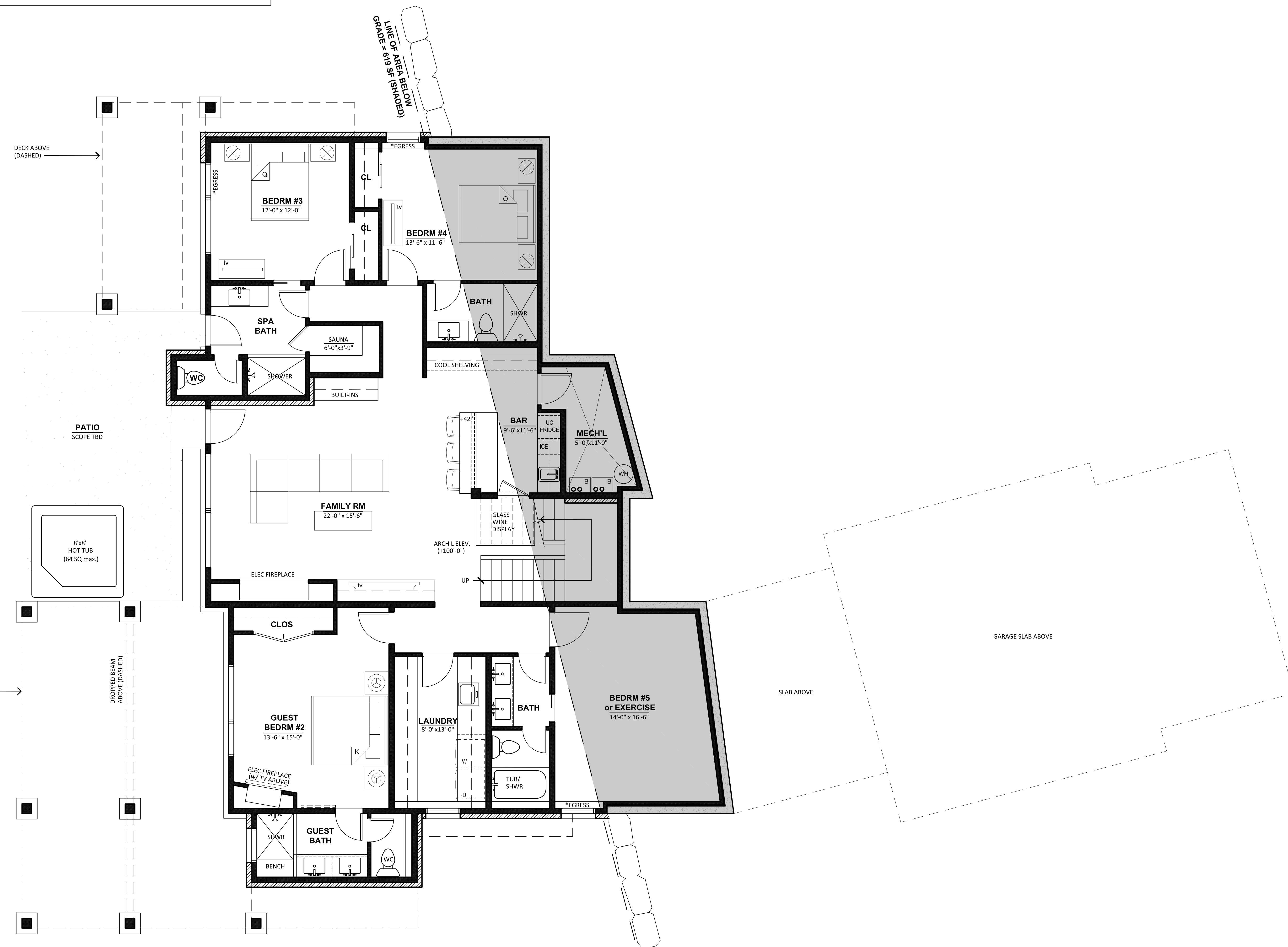
No.	Date	Revisions
#1	TOB	2023-11-08

Project No: 2023.10  
Stage: PRELIM REVIEW  
Date: 2023-11-03  
Scale: 1/4" = 1'-0"

DRAWING TITLE:  
**FLOOR PLAN**

DRAWING NO:

**A-1**



**1**  
**A-1**

**LOWER LEVEL PLAN** FIN - 2,199 SF

SCALE: 1/4" = 1'-0"

0 2 4 8 12

**N**





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ARCHITECTURE

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xxx/xx/xx  
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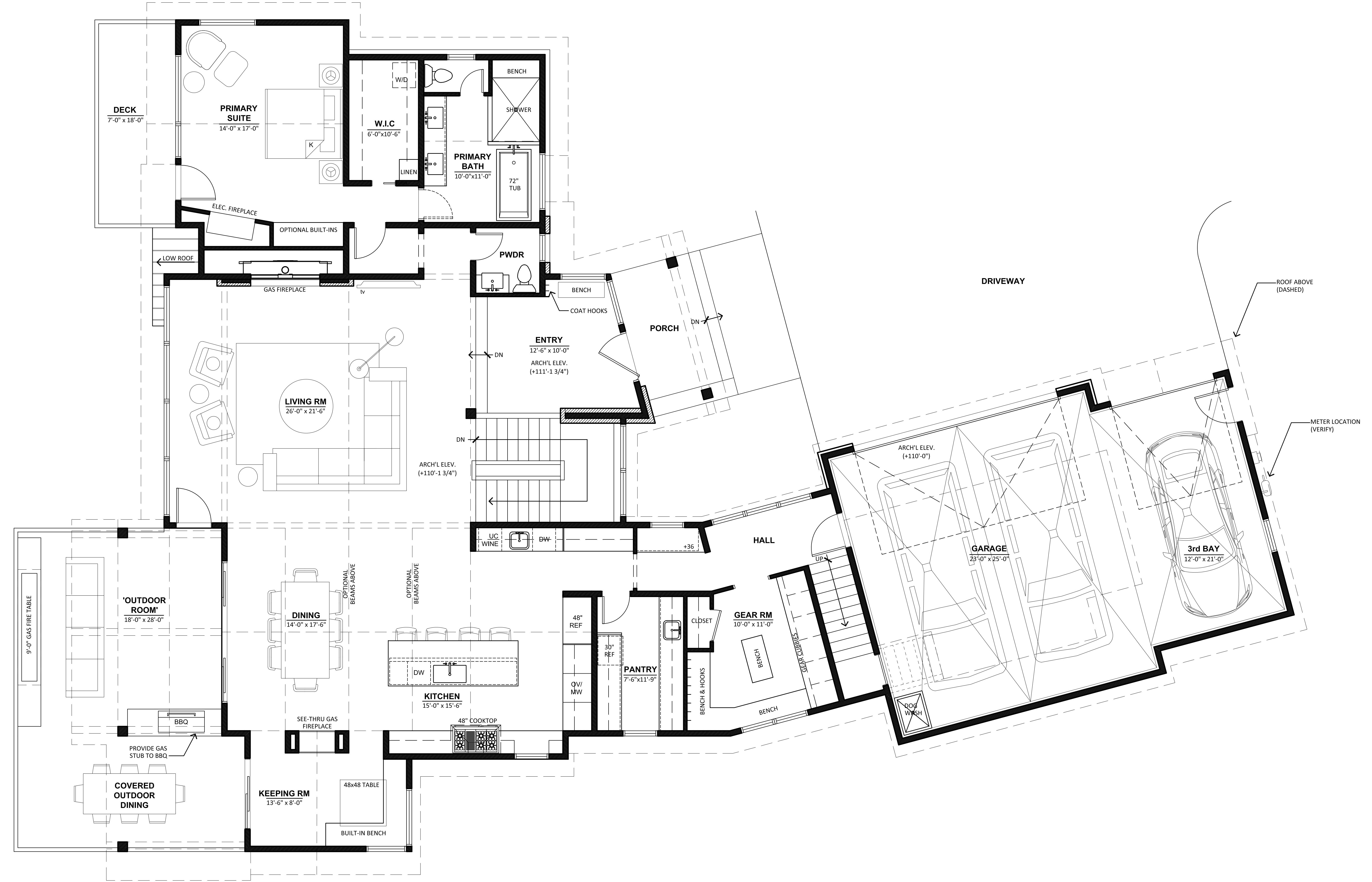
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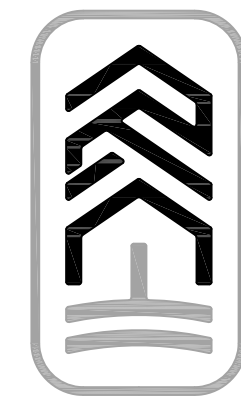
DRAWING TITLE:  
**FLOOR PLAN**

DRAWING NO:

**A-2**



**1 MAIN LEVEL PLAN** FIN - 2,562 SF GARAGE - 888 SF  
 SCALE: 1/4" = 1'-0"  
 0 2 4 8 12  
 N

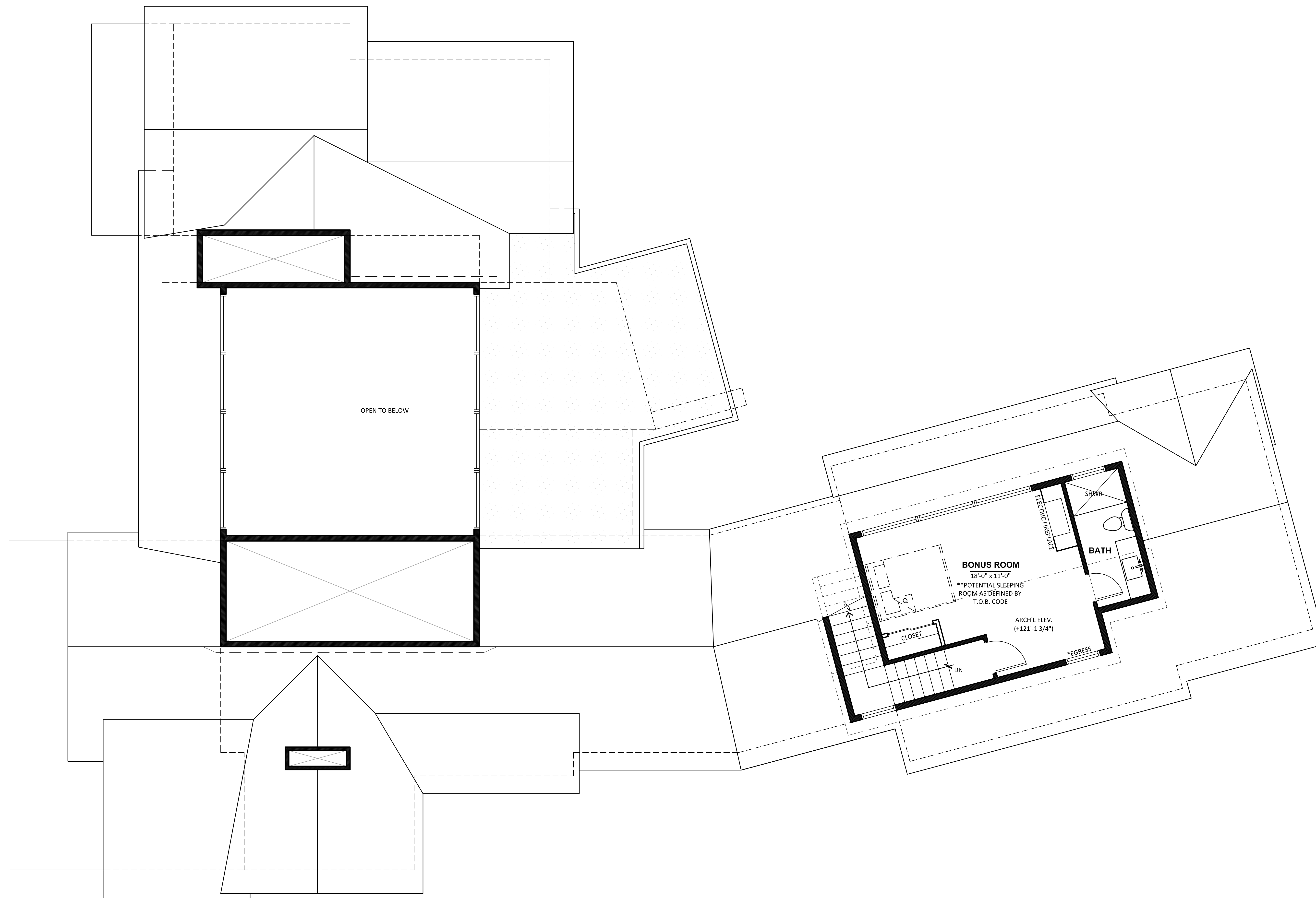


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**NINE ROUNDS RESIDENCE**  
Lot: 38 The Highlands at Breckenridge  
9 Rounds Road Breckenridge, CO 80424

No.	Date	Revisions
#1	TOB	2023-11-08

Project No: 2023.10  
Stage: PRELIM REVIEW  
Date: 2023-11-03  
Scale: 1/4" = 1'-0"

DRAWING TITLE:  
**FLOOR PLAN**

DRAWING NO:

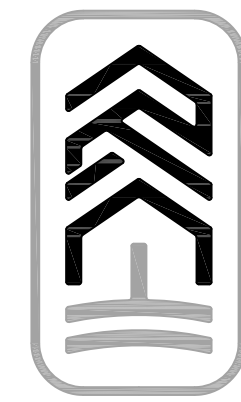
**A-3**

**1**  
**A-3**

**UPPER LEVEL PLAN** FIN - 325 SF

SCALE: 1/4" = 1'-0"

**N**



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Date: 2023-11-03  
Scale: 1/4" = 1'-0"

DRAWING TITLE:  
**ROOF PLAN**

DRAWING NO:

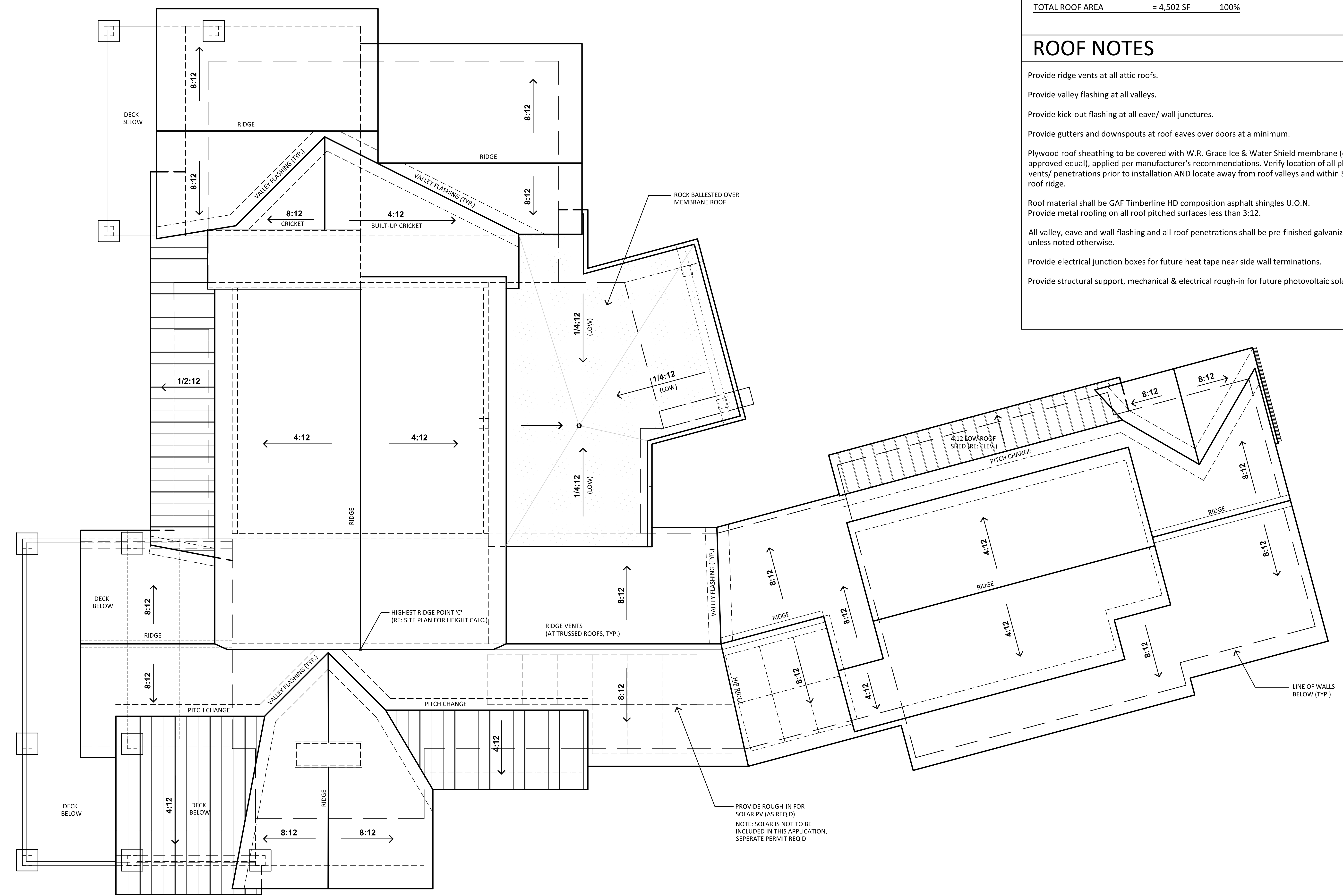
**A-4**

### ROOF PITCH CALCULATIONS

8:12 MAJOR ROOF PITCH	= 2,420 SF	53.8%
4:12 MINOR ROOF PITCH	= 1,338 SF	29.7%
LESS THAN 4:12 ROOF PITCH	= 744 SF	16.5%
<b>TOTAL ROOF AREA</b>	<b>= 4,502 SF</b>	<b>100%</b>

### ROOF NOTES

- Provide ridge vents at all attic roofs.
- Provide valley flashing at all valleys.
- Provide kick-out flashing at all eave/ wall junctures.
- Provide gutters and downspouts at roof eaves over doors at a minimum.
- Plywood roof sheathing to be covered with W.R. Grace Ice & Water Shield membrane (or approved equal), applied per manufacturer's recommendations. Verify location of all plumbing vents/ penetrations prior to installation AND locate away from roof valleys and within 5'-0" of roof ridge.
- Roof material shall be GAF Timberline HD composition asphalt shingles U.O.N. Provide metal roofing on all roof pitched surfaces less than 3:12.
- All valley, eave and wall flashing and all roof penetrations shall be pre-finished galvanized metal, unless noted otherwise.
- Provide electrical junction boxes for future heat tape near side wall terminations.
- Provide structural support, mechanical & electrical rough-in for future photovoltaic solar panels.



**1**  
**A-4**  
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**N**



**EXTERIOR MATERIAL SCHEDULE**

E1	ASPHALT ROOFING	CERTAINTEED 'LANDMARK' TL (BLACK)
E1.2	MTL ROOFING	MBCI STANDING SEAM MTL (MIDNIGHT BRONZE)
E2	MTL. FASCIA TRIM	PRE-FINISHED BLACK METAL
E2.2	WD FASCIA TRIM	2x FASCIA (PER DTL) / SHERWIN WILLIAMS (CHARWOOD SW 3542)
E3	SOFFITS	1x4 CLEAR CEDAR T&G / SHERWIN WILLIAMS (NATURAL CLEAR CEDAR)
E4	VERTIAL SIDING	1x4 CLEAR CEDAR VERT./ SHERWIN WILLIAMS (HILLCOUNTRY SW 3532)
E5	HORIZONTAL SIDING	1x8 CLEAR CEDAR HORZ./ SHERWIN WILLIAMS (CROSSROADS SW 3521)
E6	ACCENT SIDING	NICHIHA WALL PANELS (TUFFBLOCK 'PEWTER')
E7	CORNER TRIM	FLASHING TO MATCH MTL.
E8	DOOR & WNDW CLAD	ANDERSON CLAD-WOOD (DARK BRONZE)
E9	DOOR & WNDW TRIM	2x, SHERWIN WILLIAMS (HILL COUNTRY SW 3522)
E10	BAND/ FREEZE TRIM	N/A
E11	BEAMS	EXPOSED BEAMS/ SHERWIN WILLIAMS (CHARWOOD SW 3542)
E12	DECKING	1X EVERGRAIN (WEATHERED WOOD)
E13	STONE VENEER	EDWARDS STONE (ASPENWOOD) w/ SANDSTONE CAP

**NOTES:**

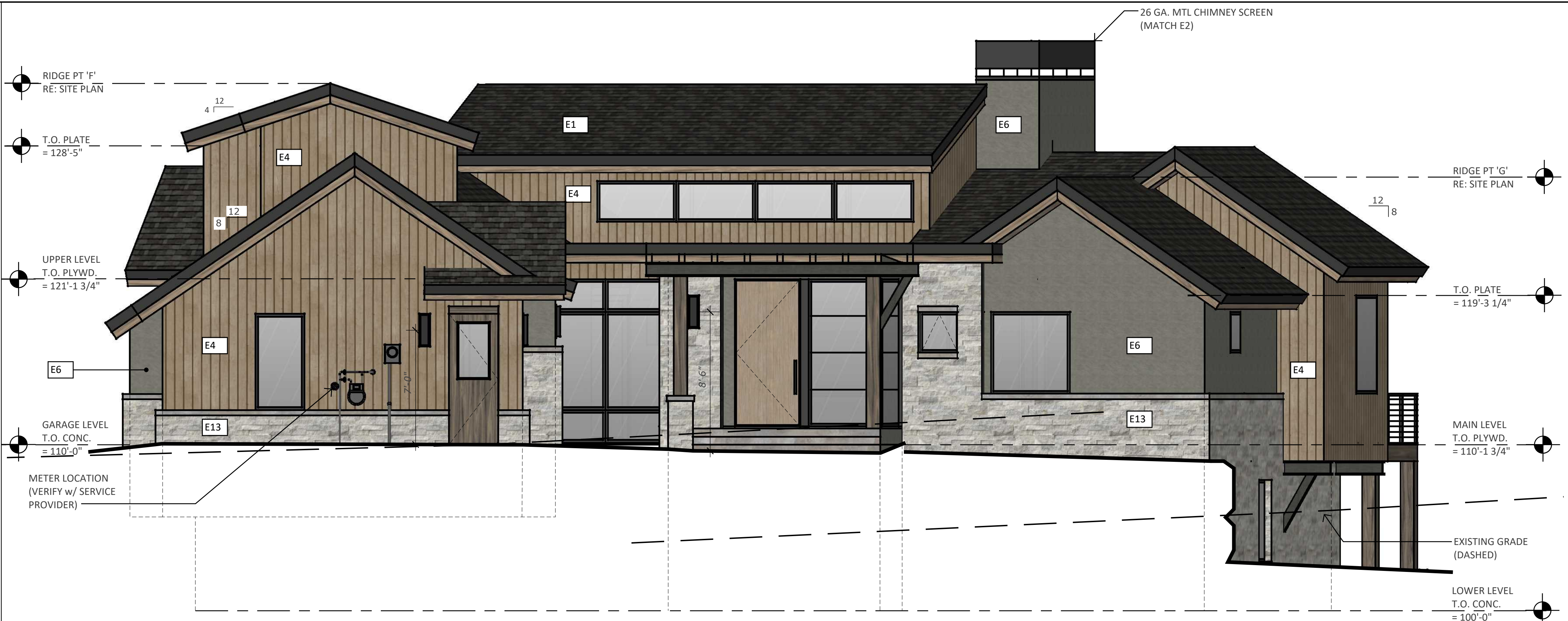
IF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.

PROVIDE 2x2 P.T. EMBEDDED NAILERS AT ALL CONCRETE WALLS WITH OVER 12" CONCRETE ABOVE PROPOSED GRADE.

ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIP, UTILITY BOXES, SHALL BE PAINTED TO MATCH ADJACENT MATERIALS UNLESS OTHERWISE NOTED.

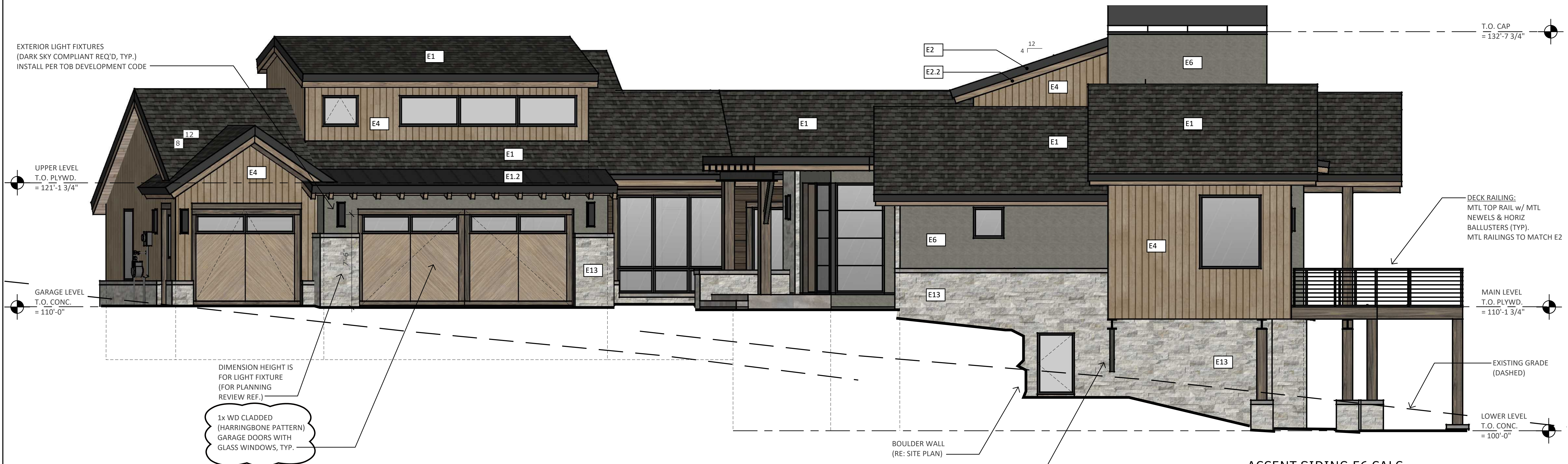
TYPICAL SIDEWALL FLASHING: ICE & WATER SHIELD 30" VERT. UP WALL; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.

EXTERIOR PAINT & STAIN AREAS TO RECEIVE (2) COATS MINIMUM, PLUS PRIMER COAT.



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ACCENT SIDING E6 CALC.**  
TOTAL EAST FACADE AREA = 948 SF  
TOTAL E6, EAST AREA = 156 SF  
EAST E6 AREA = APPROX. 16% OF EAST FACADE



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**ACCENT SIDING E6 CALC.**  
TOTAL NORTH FACADE AREA = 837 SF  
TOTAL E6, NORTH AREA = 186 SF  
NORTH E6 AREA = APPROX. 22% OF NORTH FACADE



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#1.	TOB	2023-11-08

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Date: 2023-11-03  
Scale: 1/4" = 1'-0"

DRAWING TITLE:  
**ELEVATIONS**

DRAWING NO:  
**A-5**



**EXTERIOR MATERIAL SCHEDULE**

E1	ASPHALT ROOFING	CERTAINTEED 'LANDMARK' TL (BLACK)
E1.2	MTL ROOFING	MBCI STANDING SEAM MTL (MIDNIGHT BRONZE)
E2	MTL. FASCIA TRIM	PRE-FINISHED BLACK METAL
E2.2	WD FASCIA TRIM	2x FASCIA (PER DTL) / SHERWIN WILLIAMS (CHARWOOD SW 3542)
E3	SOFFITS	1x4 CLEAR CEDAR T&G / SHERWIN WILLIAMS (NATURAL CLEAR CEDAR)
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E13	STONE VENEER	EDWARDS STONE (ASPENWOOD) w/ SANDSTONE CAP

**NOTES:**  
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 TYPICAL SIDEWALL FLASHING: ICE & WATER SHIELD 30" VERT. UP WALL; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.  
 EXTERIOR PAINT & STAIN AREAS TO RECEIVE (2) COATS MINIMUM, PLUS PRIMER COAT.



**1 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

**ACCENT SIDING E6 CALC.**  
 TOTAL WEST FACADE AREA = 1,027 SF  
 TOTAL E6, WEST AREA = 184 SF  
 WEST E6 AREA = APPROX. 18% OF WEST FACADE



**2 SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

**ACCENT SIDING E6 CALC.**  
 TOTAL SOUTH FACADE AREA = 1,637 SF  
 TOTAL E6, SOUTH AREA = 298 SF  
 SOUTH E6 AREA = APPROX. 18% OF SOUTH FACADE



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DRAWING TITLE:  
**ELEVATIONS**

DRAWING NO:  
**A-6**

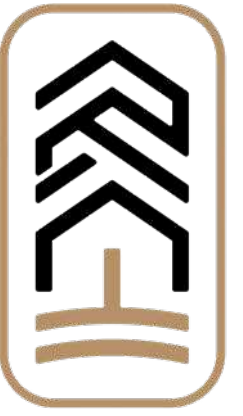




1  
A-7  
N.T.S. **SOUTHWEST VIEW**



2  
A-7  
N.T.S. **NORTHEAST VIEW**



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DRAWING TITLE:  
**3D VIEWS**

DRAWING NO:

**A-7**



# Memo

To: Planning Commission  
From: Mark Truckey, Community Development Director  
Date: November 29, 2023 (for December 5 Work Session)  
Subject: Vestibules in the Conservation District

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Staff has observed several examples of exterior vestibules in the Conservation District (examples shown below). Our interpretation of the Handbook of Design Standards is that exterior vestibules are not allowed in the Conservation District. However, it has also been noted that vestibules can help provide a barrier of sorts in the wintertime that prevents excessive heat loss within a commercial structure. As such, the use of vestibules may help encourage sustainable energy use, especially in the winter with cold temperatures. This work session is intended to further explore vestibules to see if there is any merit in allowing them under certain conditions within the Conservation District.

Please note the examples below are exterior vestibules that were allowed during the COVID period relaxation of rules for businesses downtown. Some still remain and staff is actively working with the owners to get them removed. Staff finds these meet the definition of temporary structures, which are generally not allowed in the Conservation District.



## Design Standards and Historic Properties

Staff believes the Handbook of Design Standards does not allow for the use of exterior vestibules on historic structures. There are numerous policies that support this interpretation, some of which are listed below. The placement of a non-historic vestibule addition on the front façade of an historic structure acts to obscure the historic entrance door and thus alter the appearance of the structure in a way that may compromise its historic integrity.

*Policy 21*

*Minimize intervention with historic elements.*

*Policy 23*

*Avoid removing or altering any historic material or significant character defining features.*

**Preserve original doors, windows, and porches.** » *Preserve original facade materials.* » *Examples of historically significant character defining features include architectural features such as porches, turned columns, brackets, and jig-saw ornaments. Other significant elements may be the overall building form, or roof form.*

*Priority Policy 37 (excerpted)*

*The historic building front facade shall remain the primary front facade. The addition should be set back behind the historic building and not compromise the front façade.*

*Policy 39 (excerpted)*

*Alterations that cover significant features are also inappropriate.*

*Priority Policy 45 (excerpted)*

*Maintain recessed entries where they exist.*

*Policy 55*

*Preserve the functional and decorative features of original doors.* » *Such features can include frames, sills, heads, jambs, and moldings.*

It seems clear that a permanently constructed exterior vestibule would be in conflict with the Design Standards. Staff would like to get Planning Commission input on whether the use of temporary vestibules during the winter months is something that might be acceptable. Staff notes we have seen temporary exterior vestibules on historic structures in other cold weather climates in the country and there may be a case for their use from a sustainability perspective (see discussion later). The primary reason staff is asking this question is because a temporary structure is reversible and does not permanently alter the character of the historic front façade. Priority Policy 36 addresses this:

*Design additions to historic buildings such that they will not destroy any significant character defining features of historic architectural or cultural material.* » *Additions also should not obscure significant character defining features.* » *Set back additions from primary facades in order to allow the original proportions and character to remain prominent, or set them apart from the main building and connect them with a "connector element." See Policy 80A and 80B.* » ***They should be "reversible," such that a future owner may be able to restore the building to its historic condition if they so desire.***

Staff acknowledges that the temporary vestibules may not be aesthetically pleasing and it may be difficult to regulate their appearance. If they were allowed, some limitation on size and timeframe when they can be used would need to be established.

## **New Development**

The Design Standards are less clear on whether non-historic structures can have an exterior vestibule constructed. In some locations, such as the Core Commercial Character Area (100 Block South Main Street), the Design Standards clearly desire storefronts against the sidewalk (with a recessed entrance door) and there is no room for exterior vestibules to be placed at the front door. However, in many other commercial areas there is room in the front yard to allow for a vestibule.

There are also areas, such as the southern portions of Main and Ridge streets, that are located in the transition area and the standards do not appear to conflict with the use of exterior vestibules:

#### *South Main Transition Character Area*

*Design Standard: 352. **The character of windows, doors and architectural details generally are not as critical in the South Main Transition Character Area.** An exception is when such elements are so configured as to affect the overall scale or character of a building as it relates to other design standards in this document.*

Staff believes that, with the exception of the Core Commercial Area, permanently constructed exterior vestibules could be permitted on new or existing non-historic buildings. Does the Planning Commission agree? What are the Planning Commission's thoughts on allowing temporary exterior vestibules on non-historic buildings?

#### **Density**

In many cases commercial buildings are at or over their allowed density and thus could not add on an exterior vestibule. In this case a vestibule area could be created on the interior of the building. However, that would reduce the useable square footage within the building for the commercial purpose. As a result, we have seen some of these temporary exterior vestibules pop up. Staff would like to hear Planning Commission comments on the appropriateness of waiving density to allow for these exterior temporary vestibules on commercial structures.

#### **Sustainability**

There would appear to be a decrease in heat loss and energy use if a vestibule is used to provide a barrier between the interior and outside. Staff has had some initial discussions with our Sustainability Division regarding this. Their initial reaction is that the vestibules do act as a thermal buffer between inside and outside air. However, they have not yet located any studies that would substantiate the amount of energy efficiency that this represents.

Another option to a vestibule is to install an air curtain. An air curtain is equipment that is installed above an entrance doorway which fans air downwards to the floor and acts as a barrier that keeps cold air outside and warm air inside. Air curtains work by emitting a downward flow of air strong enough to form a barrier across the door opening to protect the interior of a building from the unwanted conditions found outside of the buildings, specifically cool air. Additionally, air curtains do not create an obstruction that pedestrians and plowing equipment must navigate around.



Although staff is not very familiar with air curtains, they seem to provide a good alternative approach to addressing heat loss issues. We have talked with commercial property owners about these, and we received some feedback that air curtains can not always be implemented in existing buildings.

In a quick check with other Colorado mountain towns staff received some input from Aspen. In Aspen, either a vestibule/airlock or an air curtain is required for most commercial buildings. Their Planning staff discourages the use of exterior vestibules because of similar historic integrity issues that Breckenridge

has. Thus, Aspen's experience has been that most new developments opt to use an air curtain as opposed to using valuable interior space for a vestibule.

### **Questions for Planning Commission**

- Does the Commission believe that the use of temporary vestibules on historic structures during the winter months is something that might be acceptable?
- Does the Commission agree with staff's interpretation that permanently constructed exterior vestibules can be permitted on new or existing non-historic buildings, with the exception of the Core Commercial Area?
- Does the Commission believe that temporary exterior vestibules on non-historic buildings are appropriate?
- Does the Commission support waiving density requirements for exterior vestibules?
- Does the Commission have other comments?