



TOWN OF  
**BRECKENRIDGE**

**Planning Commission Meeting Agenda**

Tuesday, December 1, 2020, 5:30 PM

Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

**Please Note: This will not be an in-person meeting. The meeting will be conducted remotely via an online portal. For more information, including how to participate, please visit [www.townofbreckenridge.com](http://www.townofbreckenridge.com), Your Government, Councils and Commissions, Planning Commission.**

**4:00pm - Site Visit at Howe Residence, 106 S. French Street**

**5:30pm - Call to Order of the December 1, 2020 Planning Commission Meeting; 5:30pm Roll Call**

**Location Map** 2

**Approval of Minutes** 5

**Approval of Agenda**

**5:35pm - Public Comment On Historic Preservation Issues (Non-Agenda Items ONLY; 3-Minute Limit Please)**

**5:40pm Final Hearings**

1. Summit Mountain Rentals Mixed Use (CL), 1730 Airport Rd.; PL-2019-0500 **Continued** 11  
**from the November 17, 2020 Meeting**

**6:15pm - Preliminary Hearings**

1. Howe Residence Landmarking, Restoration, and Garage Addition (JL), 106 S. French St. 74  
PL-2020-0464

2. The Carlin Restaurant (LS) 200 N. Main St., PL-2020-0498 103

**7:15pm - Town Projects**

1. McCain Subdivision, Tracts A, B and C Replat (Alta Verde) (CK) 12965, 13215, 13217, 13221 and 13250 Colorado State Highway 9, PL-2020-0540 - **PULLED BY APPLICANT**

**7:45pm - Other Matters**

1. Town Council Summary (Memo Only) 129

**8:00pm - Adjournment**

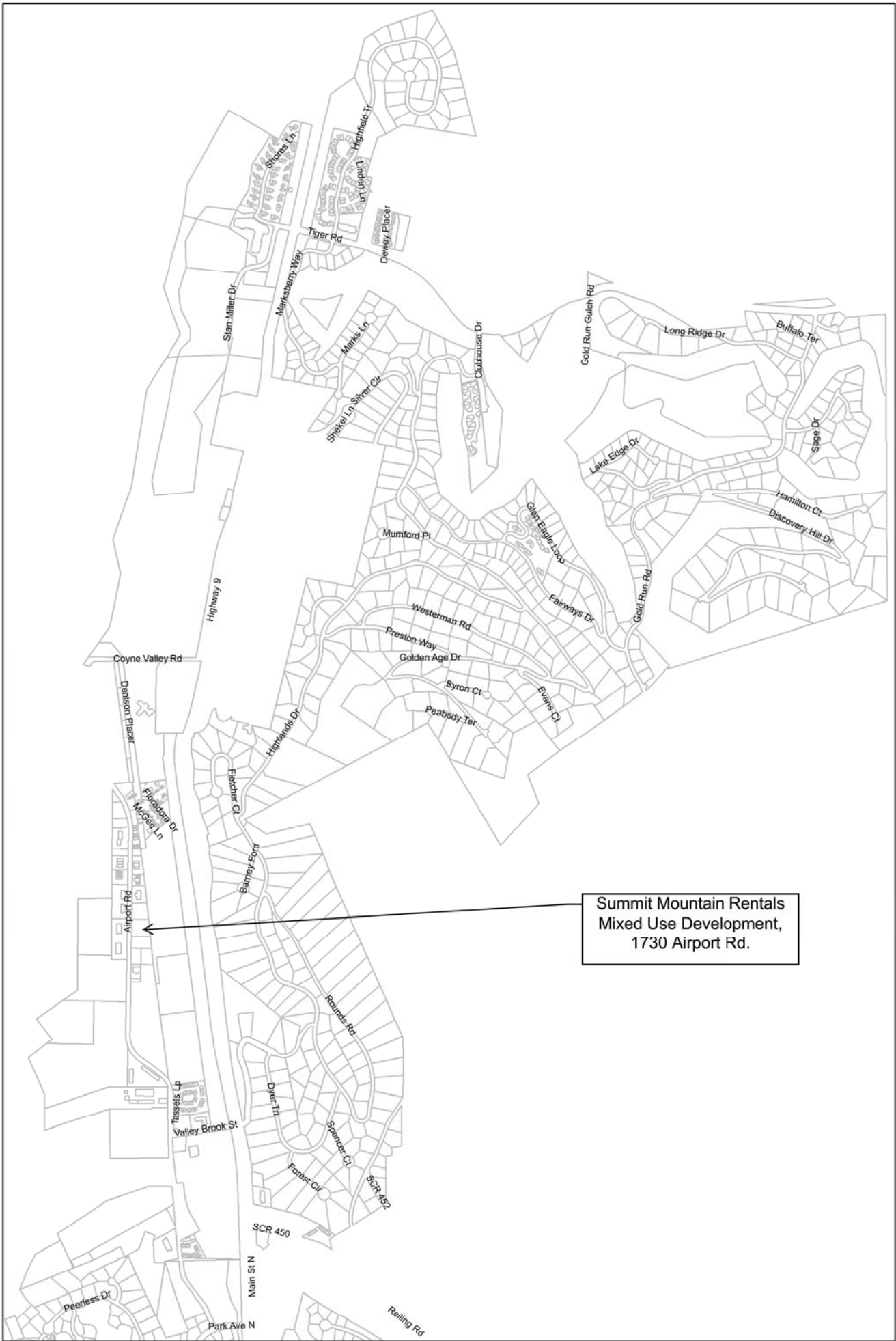
**For further information, please contact the Planning Department at (970) 453-3160.**

**The indicated times are intended only to be used as guides. The order of the projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**



**Breckenridge South**





Summit Mountain Rentals  
 Mixed Use Development,  
 1730 Airport Rd.



Breckenridge North



## PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 p.m. by Chair Moore. The meeting was a virtual electronic meeting through the Zoom platform, as a result of the COVID-19 crisis.

### ROLL CALL

Christie Mathews-Leidal	Ron Schuman	Jay Beckerman	Tanya Delahoz
Mike Giller	Steve Gerard	Lowell Moore	

### APPROVAL OF MINUTES

Mr. Gerard: After the nomination of Chair and Vice Chair nominations, I would like to add when I said that “I would like to recognize Dan Schroder and Jim Lamb for their many years of service on the Planning Commission and to the community”.

With that change, the October 20, 2020 Planning Commission Minutes were approved.

### APPROVAL OF AGENDA

With no changes, the November 3, 2020 Planning Commission Agenda was approved.

### PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- None.

### WORK SESSIONS:

#### 1. Accessory Dwelling Unit (ADU) Code Update (LS)

Mr. Sponable reviewed recent concerns from the Commission in regards to Accessory Dwelling Units (ADUs), and asked the Commission for recommendations, concerns, and comments on the topic.

#### *Commissioner Questions / Comments:*

Mr. Giller: Would you mind giving a summary of how the short-term rentals are managed? (Mr. Sponable: Each residence is required to obtain a license to short term rent the residence or a portion of it. Detached structures can be licensed separately but attached “lock-off” units are not permitted separately. The capacity for each property is based on total bedrooms recognized by the Summit County Assessor. There can be separately rented portions of the house as long as the total advertised capacity for the given address is at or below the allowed capacity.)

Mr. Schuman: I think it’s similar to parking, it’s a complaint based system.

Mr. Beckerman: If there is an 8 bedroom house, the bolt license is assessed on 8 bedrooms even if they are only renting 1 bedroom. (Mr. Sponable: Yes) Are the independent consultants currently monitoring compliance? How many are in compliance. (Mr. Sponable: I do not have specific details but my understanding is that monitoring is underway and the vast majority are in compliance.

Mr. Moore: My understanding is most rentals are in compliance because of the monitoring.

Mr. Gerard: No questions.

Ms. Delahoz: We should be very careful with changes due to Covid, because I am finding that as a realtor, customers are wanting au pairs and other staff in their homes but somewhat separate.

Ms. Leidal: We have provisions that allow for staff but most owners do not want to limit due to short-term rentals. We need to tighten up definitions.

Ms. Puester: Once you have an ADU approved there is a restrictive covenant recorded against the property and additional PIFs. For that reason, most people don’t want something tied to their property- that seems to be the comment we get from homeowners most.

- Mr. Beckerman: We could define if it has the majority of certain items but the architect could always design around.
- Mr. Giller: Might be something to the concept of being able to readily be a lock-off and separate.
- Mr. Moore: We have seen plenty of these where there is some separation.
- Mr. Giller: Maybe it's a combination of internal circulation, separate entrance and separate parking.
- Mr. Gerard: A wet bar area in a very remote corner of the home is certainly pointing towards a separate unit.
- Mr. Moore: I like the term circulation.
- Mr. Giller: Something that restricts the circulation, or be readily modified and has a separate entrance. (Mr. Sponable: I agree but many have a walk-out lower level basements near wet bar areas. We shouldn't restrict those.)
- Ms. Leidal: Maybe we should restrict 220V?
- Ms. Puester: It is possible to have a full kitchen without 220. (Mr. Truckey: Like with gas appliances).
- Mr. Gerard: I'm neither here nor there with two units, I am concerned about short-term rentals and parties exceeding the occupancy restrictions. We should call them what they are.
- Ms. Delahoz: Why can't we have more regulation of short-term rentals? I not an advocate for more ADUs or lock-offs but I see the benefit of having one. (Mr. Sponable: The Finance Department's database isn't set-up to monitor ADUs. Short term rental properties will not have their occupancy increased if something functions as two units on one property. It's one property, one license, one total occupancy count.)
- Ms. Leidal: I don't have a problem with ADUs but when the Policy was enacted it was designed for the purpose of long-term rentals. Until recently they weren't used for short-term.
- Mr. Schuman: It is difficult to manage intent.
- Mr. Truckey: Perhaps we just get some feedback. Any last thoughts on specifics such as separate entrances?
- Mr. Moore: People should have a right to know what a property is being used as. It's different if it's used by families or a group of twenty-somethings.
- Ms. Leidal: Short-term rentals have a big impact on the neighborhood.
- Mr. Truckey: I will remind you that short-term rentals are legal.
- Ms. Puester: The short-term rental policies are the same whether they are used as one or two units. It is one license per house, the capacity is the same either way.
- Mr. Giller: I share my fellow Commissioner's frustration with this.
- Mr. Moore: We should look at this again, it is very difficult to craft the appropriate regulations.
- Ms. Leidal: Would Council want to remove the short-term rental restriction on ADUs? That is what everybody is trying skirt. (Mr. Sponable: Likely not since that would seem to be going in the wrong direction but there may be an opportunity if we can identify a better overall solution.)
- Mr. Giller: Are there other incentives we could invoke to get more long-term rental ADUs?
- Mr. Truckey: We have looked at offering Housing Helps funds to subsidize ADUs.

**FINAL HEARINGS:**

1. Summit Mountain Rentals Mixed Use (CL), 1730 Airport Rd., PL-2019-0500

Mr. LaChance presented a proposal to build a 7,531 sq. ft. commercial office/retail building and seven (7) two bedroom apartments totaling 7,000 sq. ft. of residential space.

*Commissioner Questions:*

- Mr. Giller: Small clarification, the illustrative site plan provided is from the preliminary hearing, it should be updated. (Mr. LaChance: The illustrative site plan has been updated but it appears there are few things they missed such as the sidewalk connection and crosswalks to match the line drawing site plan. We are holding them to the line drawing site plan not the illustrative site plan rendering for the purposes of inspections.)
- Mr. Schuman: None

M. Gerard: None

Mr. Beckerman: I was not present or on the Commission during the Preliminary Hearing. Are some of the parking spaces being used as snow storage? (Mr. LaChance: No parking spaces are being used as snow storage. It complies with Policy 14. Mr. LaChance: went over the snow storage diagram. The trees are located outside the designated snow storage areas.)

Ms. Delahoz: None

Ms. Leidal: I appreciate the changes the applicant has made. C2 calls out a modular wall, is that finished or textured? (Mr. LaChance: That is a question for the applicant.) It should be finished. I am concerned with precedent regarding the dumpster enclosure. I appreciate the definitions provided in report. Definition of structure was overlooked. The dumpster building is a structure. Quoted definition of "structure" and "floor to area ratio." Town used to have a standard for dumpster enclosures, which was open aired and was counted as mass. We've gone down a slippery slope. If we don't call this a structure and count it as square footage in some manner, what would stop what someone from building a 500 sq. ft. shed that has no electricity and no heating with the same design with the 3 ft. mesh around the top of it. How about a carport? Could somebody enclose their carport and leave a 3 inch mesh around the top? We have open ourselves up. If this is not a structure, could it go into the setbacks? Could it be placed in a utility easement? I think we need to think through the ramifications of not calling this mass and the precedent is set. Quoted mass definition. Why isn't this mass? (Mr. LaChance: One clarification: staff does consider the dumpster building to be a structure, but that is mostly relative to setback compliance under Policy 9 Placement of Structures, not the mass discussion. Staff is of the opinion that a structure can meet the definition of structure and still not have mass.) Quoted definition of "floor area ratio" again. A structure can have mass and square footage. (Mr. Kulick: Staff understands your interpretation, but that is not how it has been applied to structures that are not enclosed. The best example is any of the parking structures that we have approved that are obviously much larger than this, including the Town Parking Structure adjacent to Town Hall currently under construction, the Tiger Dredge Lot structure, and the parking structure at Peak 8. Those were not counted as mass, and yet they would have floor area inside there. There is precedent for not counting open aired structures as mass.) I appreciate that, but then we are not using our Code correctly. Quoted definition of "floor area ratio" again. It talks about a roof and vertical projections, so it is either in a wall or under a roof. (Mr. Kulick: That is inconsistent with how we have applied it to previous projects.) Why did it change after 2005? We used to count mass for dumpster enclosures that are open air up until 2005. I know that for a fact. (Mr. Kulick: When we went back and looked at precedent for projects, including the ones I just cited, we found that we had counted things enclosed as mass and things open aired as not mass.) Somebody can propose a 1,000 sq. ft. storage shed that had 3 ft. of mesh on it, and it does not count as mass or density. Do you see the precedent I am concerned with. (Mr. Kulick: The precedent for parking structures is very similar, where they are walled and then have screened openings for ventilation. In terms of impact of being a large structure, I cannot imagine anything larger than the Town Parking Structure, and that was not treated as mass.)

Mr. Giller: What would limit the size of a shed, outbuilding, or dumpster building? (Mr. LaChance: We count structures with walls that go all the way up to the ceiling as mass.) Your answer was limited. What would limit the size of the dumpster building with the 3 ft. of metal mesh on the uppermost portion of the wall? If they wanted to a building 3 or 4 times the size, could they? (Mr. LaChance: If the dumpster building is fully enclosed, they would just have to stay under the mass limitation. There is not necessarily a maximum size specific to dumpster buildings.) So if the building itself is at the maximum mass limit, and they are building a dumpster building with mesh tops on the walls, there is not limit? (Mr. LaChance: Yes, that is what staff is recommending. If the Commission were to find that was not the case, this project would be 285 sq. ft. or 1.6% over the recommended maximum mass.)

Mr. Beckerman: Can you explain the dumpster precedent for not being counted as mass? (Mr. LaChance: The Distillery property does not have any remaining mass available, and any additional proposed would require TDRs. The Distillery dumpster was modified after original submittal from having 4 solid sides, which would have counted as mass and required a TDR, to having one side being open aired, and was approved by staff with a Class D Minor Development and not counted as mass.)

Ms. Leidal: Can they utilize a density transfer of up to 5% and be exempt? (Mr. Truckey: They could be eligible to transfer up to 5% without incurring negative points.) Maybe that is the way to do it? How much is a TDR, because they would only have to purchase a portion of a TDR? (Mr. Truckey: A TDR is approximately \$85,000, so if the overage was 250 square feet it would be approximately \$21,000 at today's TDR price.)

Mark Provino, Architect, presented:

Chapin and staff have done an awesome job and we really appreciate it. Vibrant and high quality project. Much needed in that neighborhood. Intent of residential portion is to provide housing for SMR staff. Those units will not be going into the rental pool. Regarding dumpster building, there seems to be clear precedent that open air structures are not counted as mass. If we were to just place a fence for screening and eliminate the roof we wouldn't be having this discussion and it would be to the detriment of the neighbors. Staff has documented that there is already precedent for not being counted as mass. To change a policy and interpretation at a final hearing is onerous, considering there were only two concerned Commissioners at the Preliminary Hearing and the majority of the Commission did not have concerns. Purpose of Development Code is to limit impact, but there is not impact on the site or community by putting a roof on it and keeping the weather and the animals out. People are not going to hang out and occupy this space. We are going to put refuse and recycling in it. Illustrative plan was not revised because we were trying to keep design fees down. Regarding snow stack, all trees are out of the snow stack.

*Commissioner Questions:*

Mr. Schuman: I appreciate the changes, good project.

Mr. Gerard: What will the retaining wall along northern property line be finished with? (Mr. Provino: The wall will be a modular concrete wall it will be finished to not have exposed grey concrete.) With respect to the dumpster, I appreciate that you are not proposing just a chain link fence around dumpster. It is a great looking dumpster enclosure but we are running into a technical issue.

Ms. Puester: For clarification, Policy 15A requires dumpsters to be enclosed.

Mr. Beckerman: None.

Ms. Leidal: I agree with Steve's comments pertaining to the dumpster.

Ms. Delahoz: None.

Mr. Moore: None.

Mr. Moore opened the hearing for public comment.

Ms. Gail Marshall, 1705 Airport Road:

I have lived out here since it was first developed. I am concerned with the increased amount of traffic after I got rear ended last summer. Blue 52, Peak 7 development and satellite skier parking has contributed to the increase. There is an accident at least once a week and people slide off the road. I am concerned with how vehicles will access the property. Plans look beautiful and I think it will help neighborhood quite a bit. Concerned about traffic, knowing what skier traffic is like. Buses used to use Fraction Rd. but now they exit behind Airport Auto. Since traffic has become so busy, I can't walk across the street and have to get in my car to cross the street. I am concerned with the increased number of people with Covid. I was recently diagnosed myself. People who come out here are a different kind of breed. Great neighborhood. Like mixed use area. I do think employee housing is important. Many employee housing is unaffordable. There are issues with

overcrowding in employee housing. Summit Mountain Rentals is a great company with good people but they may sell the company. What will happen down the road? Nobody has a crystal ball but that is one of the things that I try to do. Look at the plan for the future and what will be best for the community and the environment.

With no additional comment, the Public Comment was closed.

*Commissioner Comments:*

- Mr. Gerard: Great looking project. I am concerned with not counting the dumpster as mass and the precedent that could be set. Not because I don't like the dumpster but I think it should be treated as mass. Otherwise I like the project. I think people are still going to walk across the parking lot to get to the bus, but there is nothing that is going to stop human nature.
- Mr. Beckerman: There is nothing I can add to Christie or Steve's comments. I don't think there is a direct connection from a parking structure to a dumpster design.
- Ms. Delahoz: Great looking project. Excited about this.
- Ms. Leidal: I have concerns about density and mass. We are all over the place. Policy 15 requires an enclosed dumpster storage and if we are not considering this to be enclosed then it does not meet Policy 15. We should change the code. The project does not meet Policy 3 Density or Policy 4 Mass. The project should be reduced or have density transferred in. This is a beautiful project and it is not about this project. It is about the precedent that we are setting and the definition in the code for me.
- Mr. Giller: Great project. I agree with Christie and Stephen's comments pertaining to the dumpster. The project is over on mass.
- Mr. Schuman: Policy 15/A is really clear. Staff has counted past applications correctly. I don't think any change is needed, as long as we continue along the path that the staff has progressed to this point. It is actually doing exactly what we wanted. We want dumpster enclosures in all of Breckenridge. The Policy has worked as designed. I appreciate the changes. Really good looking project. Look forward to seeing it in the ground.
- Mr. Moore: Great looking project. I appreciate that the applicant is going to keep some of their own employees in the residential units. The Town Attorney has been consulted and he says that it should not be counted as Mass. I respect his opinion that it is not going to be a problem for us in the future. If the commission felt it was mass it is fixable by buying a TDR.
- Mr. LaChance: I would suggest a solution to keep this project moving forward if that is what the Commission wants but the majority wants to address the mass issue. Proposed to allow the applicants to add a condition that allows less than 5% of additional mass to be transferred in with a TDR without the assignment of negative points. It is not failing an Absolute Policy, it would just be a matter of a Condition of Approval for the TDR to exempt from the negative points. (Ms. Puester: If the Commission decides to move in this direction, than we really need to hear the applicant respond to that condition, if they are willing to accept that being added.)
- Mr. Waldman: It is unfair of the Commission to ask me about the options that I do not understand. We already have a legal ruling from the Town Attorney. I think it would be irresponsible of me as a business person not to seek legal counsel and to see the options are. I need to understand the ramifications of the Commission's mass determination.
- Mr. Truckey: I agree with your concerns and Stephen's suggestion for a continuance may be a best course of action for everyone. That will allow you additional time to get information and for us to get with our Attorney. Going to denial tonight would mean you would have to resubmit an application and go through this process all over again that you started over a year ago. There is not a desire by anyone to see you do that.
- Mr. Waldman: I am disappointed. It is crazy that we are here at this point right now. Is it illegal to make a non-official tally regarding mass?
- Mr. Moore: I don't think we can do that at this point. A couple of weeks for a continuance is probably not that much in the grand scheme.



Mr. Waldman: I don't have another choice, so I ask for a continuance. We are business people. Because of COVID, we are talking about millions of dollars of loss. I am sensitive to the discussion of numbers. They represent a pretty serious situation in today's environment.

Mr. Gerard made a motion to continue to the next meeting, seconded by Ms. Leidal. Motion passed 6-1.

**OTHER MATTERS:**

1. Town Council Summary

Mr. Truckey: The Council adopted a plastic bag ban which will go into effect in September, 2021. The Council had a first reading on extending the Amenity Club Moratorium to allow staff more time to work on code revisions. The Council is working on amending resale calculations for deed restrictive properties on a voluntary basis to provide allowances for maintenance and reduce realtor commissions.

**ADJOURNMENT:**

The meeting was adjourned at 7:42 pm.

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Lowell Moore, Chair

**Planning Commission Staff Report**

**Subject:** Summit Mountain Rentals Mixed Use Development  
(Class A Development, Final Hearing-Continued; PL-2019-0500)

**Proposal:** The applicant proposes a 7,531 sq. ft. commercial office/retail building and seven (7) two –bedroom apartments totaling 7,000 sq. ft. of residential space.

**Project Manager:** Chapin LaChance, AICP - Planner II

**Date:** November 24, 2020 (for the meeting of December 1, 2020)

**Owner:** MW One LLC

**Applicant/Agent:** Mark Provino, Provino Architecture

**Address:** 1730 Airport Road

**Legal Description:** Lot 4, Block 5, Breckenridge Airport Sub

**Lot 7B Area:** 1.0434 acres (45,451sq. ft.)

**Land Use District:** 31: 1:4 FAR, Commercial, Industrial

**Site Conditions:** The site is vacant, with approximately nine (9) ft. of grade change across the site as it falls from the southeast to the northeast.

**Adjacent Uses:** North: Gateway Commercial Condo (mixed use)  
South: Fraction Road right-of-way, Kraus Condo (automotive repair)  
East: Block 11 (vacant, skier parking)  
West: Airport Road right-of-way, Airoad Condo (mixed use)

**Density:** Allowed per LUGs (1:4 FAR, Commercial): 14,582 sq. ft. (Based on 58,327 sq. ft. lot size prior to Fraction Road right-of-way dedication)

Proposed: 7,531 sq. ft. commercial (52%)  
7,000 sq. ft. residential (48%)  
13,531 sq. ft. total (excluding proposed 1,000 sq. ft. employee housing)

**Employee Housing:** Proposed: 1,000 sq. ft. (6.9% of density)  
Recommended: 655 sq. ft.+ (4.51%+ of density)

**Height:** Recommended: 35 ft.  
Proposed: 34.6 ft.

**Parking:** Required:

- Commercial office use (1/400 sq. ft.): 19 spaces
- Residential apartment (1.5 per dwelling unit.): 11 spaces

30 spaces TOTAL

Proposed (on-site): 44 spaces

**Setbacks:** **COMMERCIAL**

Required (Absolute):

Front: 1 ft.  
 Side: 1 ft.  
 Rear: 1 ft.

Proposed:

Front: 1 ft.  
 Sides: 8.5 ft. (north, to dumpster enclosure)  
 76 ft. (south)  
 Rear: 99 ft.

**RESIDENTIAL**

Required (Absolute):

Front: 10 ft.  
 Side: 3 ft.  
 Rear: 10 ft.

Recommended (Relative):

Front: 15 ft.  
 Side: 5 ft.  
 Rear: 15 ft.

Proposed:

Front: 159 ft.  
 Sides: 5 ft. (north)  
 5 ft. (south)  
 Rear: 15 ft.

**Snow Storage:** Recommended: 5,424 sq. ft. (25%)  
 Proposed: 5,437 sq. ft. (25.1%)

**Open Space:** Recommended: 10,090 sq. ft. (22%, pro-rata)  
 Proposed: 16,087 sq. ft. (35.5%, pro-rata)

**History**

The Commission reviewed this application at a Preliminary Hearing on February 4, 2020 and at a Final Hearing on November 17, 2020, where the Hearing was continued to the December 1, 2020 meeting.

**February 4, 2020 Preliminary Hearing and November 17, 2020 Final Hearing Consensus Items**

**Land Use (2/A & 2/R):** The Commission supported negative four (-4) points for the proposed multi-unit residential use not complying with the Land Use Guidelines recommendation of commercial use within LUD 31.

**Density/Intensity (3/A & 3/R):** Complies.

**Architectural Compatibility (5/A & 5/R):** Complies.

**Building Height (6/A & 6/R):** Complies.

**Placement of Structures (9/A & 9/R):** Complies.

**Snow Removal and Storage (13/R):** Complies.

**Storage (14/A & 14/R):** Complies.

**Refuse (15/A & 15/R):** Complies.

**Internal/External Circulation (16/A & 16/R; 17/A):** Complies.

**Parking (18/A & 18/R):** The driveway is proposed to be shared between the residential and commercial uses, so the Commission supported positive one (+1) point for a common driveway consistent with past precedent. The Commission unanimously agreed that positive one (+1) point for a joint parking facility was not warranted. In order meet the requirement of parking for the residential units to be onsite, and guarantee that vehicles for the commercial users do not use those spaces, the Commission supported a Condition of Approval requiring the installation of signage reserving the minimum number of required parking spaces for the residential use.

**Loading (19/R):** The majority of the Commission (4 of 6) agreed with not awarding positive points for the proposed loading area.

**Open Space (21/R):** Complies.

**Landscaping (22/A & 22/R):** The Commission supported positive two (+2) points for a landscape plan that provides some public benefit. A Condition of Approval has been added that prior to issuance of a Building Permit, the final Landscape Plan specify two (2) trees between the northernmost proposed parking spaces and the northern property line.

**The Social Community (24/A & 24/R):** The Commission found the project meets the 4.51% employee housing requirement, and warrants positive four (+4) points for 6.9% of project (a 1,000 sq. ft. residential unit) proposed as deed restricted employee housing. The recording of an employee housing Restrictive Covenant and Agreement has been added as a Condition of Approval. Because this project was submitted prior to the May 2020 adoption of Ordinance 17, Series 2020 which amended this Policy, it is not subject to the employee generation housing mitigation requirements of that amendment.

**Energy Conservation (33/R):** At the Preliminary Hearing in February, the Commission supported positive one (+1) point for a solar and electric vehicle ready project. In June of 2020, the Town Council passed Ordinance No. 24, Series 2020 which amended this Policy to only award positive points for additional Electric Vehicle (EV) Capable and Electronic Vehicle Supply Equipment (EVSE) installed spaces over the required minimum as determined in the IECC. This project was submitted prior to the amendment, so it is not subject to that amendment. Since the Preliminary Hearing, charging outlets are now designated as 240-volt as required by this Policy at the time of submittal. A Condition of Approval has been added requiring the installation of conduit from building roofs to future electrical equipment locations, and requiring the main electrical panel on each building to have space for future solar.

**Infrastructure (26/A):** Complies.

**Drainage (27/A & 27/R):** The Commission supported a Condition of Approval that any additional storm water detention capacity required by Engineering will be met through subgrade detention facilities that will not affect the site plan or currently proposed above grade improvements. A standard Condition of Approval is included regarding Engineering approval of final drainage, grading, utility, and erosion control plans prior to issuance of a Building Permit. An additional Condition of Approval has also been added that the applicant shall record any Drainage Easements required by the Town’s Engineering Division with the Summit County Clerk and Recorder, in a form acceptable to the Town Attorney.

**Exterior Lighting (46/A):** Complies.

**Staff Comments**

**Mass (4/R):** At the last Hearing, four (4) of the seven (7) Commissioners expressed concern that the proposed 324 sq. ft. (162 sq. ft. residential/162 sq. ft. commercial) open-aired dumpster enclosure should be counted as mass. Since the Hearing, staff conducted considerable research on previously permitted dumpster enclosures, finding the 16 past precedents listed below, some processed at a staff level and some through the Planning Commission public hearing process. Eight (8) of the 16 were open-aired, and all of those were not counted as mass. Five (5) of the 16 were fully enclosed and also not counted as mass. Two (2) of the 16 were associated with Class A workforce housing developments, were fully enclosed and were counted as mass.

	<b><u>Development Permit #</u></b>	<b><u>Classification</u></b>	<b><u>Project</u></b>	<b><u>Address</u></b>	<b><u>Planner</u></b>	<b><u>Open-aired?</u></b>	<b><u>Counted as mass?</u></b>
1	2020-0235	A	Alta Verde	13250 Co Hwy 9	Chris Kulick	No	Yes
2	2019-0397	D Minor	Breckenridge Distillery	1925 Airport Rd.	Chapin LaChance	Yes	No
3	2014-0174	A	Shock Hill Overlook Master Plan	260 Shock Hill Dr.	Mike Mosher	Yes	No
4	2016-0011	A	Denison Placer Housing Phase 1	107 Denison Placer Rd.	Julia Puester	No	Yes

			(Blue 52 Townhomes)				
5	13-064	D Minor	Peak 8 Maintenance Building	351 SCR 705	Chris Neubecker	Yes	No
6	12-365	D Minor	Stillson Patch Placer	710 Wellington Rd.	Julia Puester	Yes	No
7	11-271	D Minor	Cimarron Condos	305 S. Park Ave.	Michael Mosher	No	No
8	11-295	D Minor	Great Divide Lodge	550 Village Rd.	Chris Nuebecker	Yes	No
9	10-188	D Minor	White Wolf HOA	1152 Settlers Lane	Julia Puester	No	No
10	09-066	D Minor	Bison Crossing	211 N. Main St.	Matt Thompson	Unknown	No
11	09-263	D Minor	Now Colorado	1087 Broken Lance Dr.	Matt Thompson	No	No
12	05-085	D Minor	Tyra II	620 Four O' Clock Rd.	Chris Neubecker	Yes	No
13	04-080	D Minor	Spruce Island Condo	1386 Broken Lance Dr.	Chris Neubecker	No	No
14	03-180	D Minor	Asgard Haus Condo	246 Broken Lance Dr.	Chris Neubecker	Yes	No
15	00-217	D Minor	Longbranch Condo	107 N. Harris St.	Chris Neubecker	Yes	No
16	1998-054	A	Fieldstone Cluster Master Plan	14 The South Road	Cliff Kanz	No	No

The Town Attorney has reviewed these past precedents and has provided the attached memorandum to the Planning Commission supporting staff's analysis that the proposed open aired dumpster enclosure should not be counted as mass. Not counting the dumpster enclosure as mass, staff finds the proposed 14,531 sq. ft. of mixed use complies with the mass recommendation of 14,582 sq. ft. (1:4 FAR), with 51 sq. ft. remaining. If the Commission disagrees and finds the open aired dumpster enclosure to be mass, the project would exceed the recommended mass by 285 sq. ft. (1.6%)

**Site and Environmental Design (7/R):** At the last Hearing, members of the Commission expressed concern regarding the material of the 3 ft. tall retaining wall along the northern property line. Staff has added a Condition of Approval that prior to issuance of a Building Permit, the retaining wall shall be

specified to be made of, or faced with, natural materials such as rock or timbers, or other materials that are similar in finish to natural materials. Due to the adjacency of the proposed retaining wall on the north side of the property to the northern property line, chain link fencing is required to be installed on the property line throughout construction of the project, and for the fence posts to be installed in concrete footings along the northern property line. The applicant has specified this on the Construction Management Plan and staff has added this as a Condition of Approval.

**Point Analysis (Section: 9-1-17-3):** Staff has evaluated this application for compliance with all Absolute and Relative Policies. Staff finds that all Absolute Policies are being met or are addressed with Conditions of Approval. Under the Relative Policies, staff recommends points as follows:

Positive points:

- +1: Parking (Policy 18/R), for the sharing of a common driveway by more than one use,
- +2: Landscaping (Policy 22/R), for a landscaping plan that provides some public benefit,
- +4: Social Community (Policy 24/R), for the provision of 1,000 sq. ft. of employee housing which is 6.9% of the commercial and multi-unit residential development,
- +1: Energy Conservation (Policy 33/R) D., for new construction built solar and electric vehicle ready,

Negative points:

- 4: Land Use (Policy 2/R) for residential use proposed within a commercial use District.

TOTAL: Staff suggests positive eight (+8) points and negative four (-4) points for a total score of positive four (+4) points (PASSING).

**Recommendation**

Staff recommends the Planning Commission approve the Summit Mountain Rentals Mixed Use Development, PL-2019-0500, located at 1730 Airport Rd. with a passing point analysis of positive four (+4) points, along with the attached Findings and Conditions.

MEMO

TO: Planning Commission

FROM: Town Attorney

RE: Summit Mountain Rentals Mixed Use Application; 1730 Airport Road

DATE: November 23, 2020 (for December 1<sup>st</sup> meeting)

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I understand that the final hearing on this application was continued to your December 1<sup>st</sup> meeting because of uncertainty as to whether the proposed open-air trash enclosure should be counted as mass under the Town's relative mass policy (Policy 4R).

Based on the research that Chapin LaChance and Chris Kulick performed since your last meeting, it appears to me that no mass should be assigned to the proposed open-air trash enclosure.

My opinion is based on Section 9-1-17-6C of the Development Code that provides as follows:

C. The Director shall maintain a file of applications and decisions. If a proposed development is in substantially the same factual situation in relation to a policy as a previous development and implements the policy in substantially the same manner and degree as the previous development, there is a rebuttable presumption that it will be treated the same as the previous development.

Since it appears that all of the open-air trash enclosures that Mr. LaChance and Mr. Kulick identified were approved without the enclosure being counted as mass, it seems that 9-1-17-6C requires that no mass be assigned to the proposed open-air enclosure being proposed by the applicant.

However, I would also recommend that once this application is finally dealt with, the issue of whether open-air trash enclosures should be counted as mass needs to be raised with the Town Council. If the Council thinks that the Mass Policy needs to be revised to provide that all open-air trash enclosures (or for that matter, all trash enclosures period) should be counted as mass then we can address that in an ordinance amending the Mass Policy. I would greatly prefer that approach if the way the Town has historically dealt with the mass issue for open-air trash enclosures is to be changed.

Thank you.



<b>Final Hearing Point Analysis</b>				
Project:	Summit Mountain Rentals Mixed Use Development	<b>Positive</b>	<b>Points</b>	<b>+8</b>
Plan #	PL-2019-0500			
Date:	11/24/2020	<b>Negative</b>	<b>Points</b>	<b>- 4</b>
Staff:	Chapin LaChance, AICP - Planner II			
		<b>Total Allocation:</b>		<b>+4</b>
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)	- 4	Residential use proposed in a commercial Land Use District.
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)	0	Allowed per LUGs (1:4 FAR, Commercial): 14,582 sq. ft.  Proposed: 7,531 sq. ft. commercial (52%) 7,000 sq. ft. residential (48%) 13,531 sq. ft. total (excluding proposed 1,000 sq. ft. employee housing)
4/R	Mass	5x (-2>-20)	0	Allowed: 14,582 sq. ft. Proposed: 14,531 sq. ft. Open-aired dumpster not counted as density based on past precedent.
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)	0	Architecture meets the "contemporary" recommendation of the LUGs. Building features are highly functional, including such features as south facing glazing for passive solar gain, and are without excessive detail or monument. Each elevation of each building does not exceed 25% non-natural materials, and features natural materials, including wood siding, wood beams and trim, and stone veneer.
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		Recommended: 35 ft., per LUGs. Proposed: 34.6 ft.
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		

7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)	0	Staff finds the proposed site plan to be well buffered from the adjacent properties and rights-of-way through a combination of physical distance and landscaping. Staff does not find the proposal warrants any negative or positive points under this Policy. A Condition of Approval has been added that prior to issuance of a Building Permit, the final Landscape Plan specify two (2) trees between the northernmost proposed parking spaces and the northern property line.
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		<u>COMMERCIAL Required (Absolute):</u> Front: 1 ft. Side: 1 ft. Rear: 1 ft.  <u>Proposed:</u> Front: 1 ft. Sides: 8.5 ft. (north), 76 ft. (south) Rear: 146.5 ft.  <u>RESIDENTIAL Required (Absolute):</u> Front: 10 ft. Side: 3 ft. Rear: 10 ft.  <u>Proposed:</u> Front: 159 ft. Sides: 5 ft. (north), 5 ft. (south) Rear: 15 ft.
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		<u>RESIDENTIAL Recommended (Relative):</u> Front: 15 ft. Side: 5 ft. Rear: 15 ft.  <u>Proposed:</u> Front: 159 ft. Sides: 5 ft. (north), 5 ft. (south) Rear: 15 ft.
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		Recommended: 5,375 sq. ft. (25%) Proposed: 5,425 sq. ft. (25.2%)
14/A	<b>Storage</b>	Complies		Recommended: 5% Proposed: 5.2%
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		Dumpster enclosure proposed which meets requirements. Open aired, so not counted as density or mass.

15/R	Refuse - Dumpster enclosure incorporated in principal	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		Required: 30 spaces Proposed: 44 spaces
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)	0	
18/R	Parking - Common Driveways	1x(+1)	+1	The driveway is proposed to be shared between the residential and commercial uses, so staff recommends positive one (+1) point for a common driveway.
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
19/R	Loading	1x(+1)	0	Staff does not recommend positive points under this Policy because the loading area is not "exceptional" as this Policy requires for positive points. In addition, this Policy requires physical separation from vehicular traffic areas for positive points. The loading area as proposed closely shares ingress/egress with the residential use.
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)	0	Recommended: 10,090 sq. ft. (22%, pro-rata) Proposed: 16,087 sq. ft. (35.5%, pro-rata)
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)	+2	Deciduous: 16 trees @ 2.5" caliper min. Evergreen: 15 trees @ 8 ft. tall min. Shrubs: 86 @ #5 container Staff recommends positive two (+2) points for a landscape plan that provides some public benefit.
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)	+4	1,000 sq. ft. residential unit proposed as employee housing. Accounts for 6.9% of the commercial and multi-unit residential development, which warrants positive four (+4) points under this Policy.
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	N/A		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		Conditions of Approval added for additional underground stormwater detention, Drainage Easements, and Engineering approval prior to issuance of Building Permit.
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	N/A		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			

33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60 <b>(For existing residential: 30-49% improvement beyond existing)</b>	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)	+1	32% of roof suitable for solar. Electrical equipment shown on plans. 5 EV spaces designated. Conduit and electrical panel capacity will be Conditions of Approval. Staff recommends positive one point (+1) for a solar and electric vehicle ready project.
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37/R	Cucumber Gulch/Setbacks	2x(0/+2)		
37/R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		
50/A	<b>Wireless Communication Facilities</b>	Complies		

## TOWN OF BRECKENRIDGE

Summit Mountain Rentals Mixed Use Development  
Lot 4, Block 5, Breckenridge Airport Sub  
1730 Airport Rd.  
PL-2019-0500

### FINDINGS

1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **November 24, 2020** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on November 17, 2020 and **December 1, 2020** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires three (3) years from date of issuance, on **December 8, 2023**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Applicant shall not place a temporary construction trailer on the site until a building permit for the project has been issued.
7. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.

8. An improvement location certificate of the height of the top of the foundation walls and the height of each building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
9. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.
- 10. Signage reserving eleven (11) required parking spaces for the onsite residential uses shall be installed and maintained in perpetuity. These spaces shall not be used for any non-residential use.**

PRIOR TO ISSUANCE OF BUILDING PERMIT

- 11. The final Landscape Plan shall specify two (2) trees between the northernmost proposed parking spaces and the northern property line.**
- 12. Any additional storm water detention capacity required by Engineering shall be met through subgrade detention facilities that will not affect the site plan or above grade improvements approved with this application.**
13. Applicant shall submit proof of ownership of the project site.
- 14. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.**
15. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
- 16. The proposed retaining wall along the northern property line shall be specified to be made of, or faced with, natural materials such as rock or timbers, or other materials that are similar in finish to natural materials.**
17. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. **Chain link fencing shall be installed at the property boundaries throughout construction of the project, and the fence posts shall be installed in concrete footings along the northern property line.** No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
- 18. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property.**
19. Applicant shall install construction fencing and erosion control measures in a manner acceptable to the Town Engineer. An onsite inspection shall be conducted.
20. Applicant shall submit a 24"x36" mylar copy of the final site plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar.
21. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast

light downward. Exterior lighting, including lighting in the building's soffit, shall not exceed 15 feet in height from finished grade for residential, 18 feet in height from finished grade for commercial, 7 feet above upper decks, or 10 feet in height in a ceiling over upper deck (1 foot of additional height allowed for every 5 feet light fixture is from eave overhang).

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

- 22. Applicant shall record any Drainage Easements required by the Town's Engineering Division with the Summit County Clerk and Recorder, in a form acceptable to the Town Attorney.**
- 23. Applicant shall execute and record with the Summit County Clerk and Recorder the Town's standard employee housing covenant for 1,000 square feet of employee housing within the project.**
- 24. Conduit shall be installed from each building's roof to future electrical equipment locations, and the main electrical panel on each building shall have space for future solar systems.**
25. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
26. Applicant shall paint all flashing, vents, flues, rooftop mechanical equipment and utility boxes on the building a flat, dark color or to match the building color.
27. Applicant shall screen all utilities.
28. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior lighting, including lighting in the building's soffit, shall not exceed 15 feet in height from finished grade for residential, 18 feet in height from finished grade for commercial, 7 feet above upper decks, or 10 feet in height in a ceiling over upper deck (1 foot of additional height allowed for every 5 feet light fixture is from eave overhang).
29. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
30. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.
31. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions"

generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

32. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
33. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)



**GENERAL NOTES**

1. CODES: THIS PROJECT SHALL COMPLY WITH THE 2019 INTERNATIONAL CODES AS ADOPTED BY THE TOWN OF BRECKENRIDGE. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR DETERMINING ALL APPLICABLE CODE REQUIREMENTS.
2. EXISTING CONDITIONS: FIELD VERIFY ALL DIMENSIONS, UTILITY LOCATIONS AND EXISTING CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR PREPARING ANY MATERIALS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES THAT ARISE.
3. DIMENSIONS: ALL PLAN DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF FOUNDATION UNLESS NOTED OTHERWISE. ALL SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF FINISHED TOP OF WALL PLATE OR TOP OF BEAM UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.
4. CHANGES: ANY PROPOSED CHANGES TO THE PLANS SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WORK. UNAUTHORIZED CHANGES SHALL BE AT THE ARCHITECT'S RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.
5. SCHEDULING OR OCCUPANCY: AS PROVIDED BY THE ARCHITECT, LLC AND ITS CONSULTANTS HAVE PERFORMED THEIR DUTIES WITH CARE AND DILIGENCE. DESIGN AND CONSTRUCTION ARE COMPLEX PROCESSES IN WHICH DIMENSIONS OR DISCREPANCIES MAY OCCUR. NOTIFY THE ARCHITECT IMMEDIATELY TO RESOLVE ANY SUCH ISSUES PRIOR TO COMMENCING WORK.
6. INDUSTRY STANDARDS: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, INSTALLATION, TEST AND EQUIPMENT TO PROVIDE A COMPLETE PROJECT MEETING THE RELEVANT INDUSTRY STANDARDS.
7. JOB SITE SAFETY: THESE DOCUMENTS ARE NOT CONSIDERED AS THE REQUIRED COMPONENTS FOR PROPER JOB SITE SAFETY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO INFORM ALL WORKERS IN COMPLIANCE WITH ALL REGULATORY AGENCIES SAFE TO REGULATIONS.
8. SOIL INVESTIGATION: IT IS RECOMMENDED THAT THE OWNER RETAIN THE SERVICES OF A SOIL ENGINEER TO VERIFY THE SOIL BEARING CAPACITY AND SUBMIT THE CONDITIONS PRIOR TO PLACING ANY CONCRETE FOUNDATIONS.
9. AREA CALCULATION: SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE FIELD VERIFIED FOR ANY OTHER USE.
10. COPYRIGHT: THESE DOCUMENTS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF PROVIDING ARCHITECTURE, LLC. ANY DUPLICATION OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS STRICTLY PROHIBITED.

**LEGAL DESCRIPTION**

LOT 4 BLOCK 5, BRECKENRIDGE AIRPORT SUB, AMENITY ROAD, OF LOT 1 BLOCK 5, TOWN OF BRECKENRIDGE, COUNTY OF SUMMIT, STATE OF COLORADO

**BUILDING AREA**

	COMMERCIAL	RESIDENTIAL	TOTAL
AREA:			
MAIN LEVEL	5,811 S.F.	5,029 S.F.	1,084 S.F.
UPPER LEVEL	5,982 S.F.	5,465 S.F.	7,300 S.F.
<b>TOTAL:</b>	<b>11,793 S.F.</b>	<b>10,494 S.F.</b>	<b>22,287 S.F.</b>

**PARKING CALCULATIONS**

USE:	PARKING (BAY)	PROPOSED AREA	SPACES REQ'D	SPACES PROVIDED
RESIDENTIAL:	1,520 (8)	7,000 S.F.	11	14
RETAIL / COMMERCIAL:	1,400	7,500 S.F.	19	32
<b>TOTAL:</b>			<b>30</b>	<b>46</b>

**SITE DATUM**

8,416.7' NGVD - 100' 0" BENCH

**CONTACT INFORMATION**

<b>OWNER:</b> SUMMIT MOUNTAIN RENTALS P.O. BOX 1016 BRECKENRIDGE, CO 80424 970-453-7270	<b>ARCHITECT:</b> PROVIDING ARCHITECTURE, LLC 106 NORTH FRENCH STREET SUITE 100 P.O. BOX 8842 BRECKENRIDGE, CO 80424 970-453-7260
<b>STRUCTURAL ENGINEER:</b> ENGINEERING DESIGN NORTH 1870 N. 170TH AVENUE, SUITE 100 P.O. BOX 779729 DENVER, COLORADO, 80217 303-846-4889	<b>SURVEYOR:</b> BLAKE BOYER AND SURVEYING P.O. BOX 2020 BRECKENRIDGE, CO 80424 970-453-7200
<b>CIVIL ENGINEER:</b> CEVIL GROUP 230 SOUTH BRIDGE STREET P.O. BOX 1220 BRECKENRIDGE, CO 80424 970-771-2942	<b>LANDSCAPE ARCHITECT:</b> HOBBS DESIGN 408 MAIN ST., SUITE 207 P.O. BOX 1220 BRECKENRIDGE, CO 80424 970-771-2942
<b>ELECTRICAL ENGINEER:</b> DR. NORM COHEN/ THE ENGINEER 106 MAIN ROAD BRECKENRIDGE, CO 80424 970-214-2709	<b>MECHANICAL ENGINEER:</b> THE HUBBARD GROUP 106 MAIN ROAD BRECKENRIDGE, CO 80424 970-214-2709



**HEIGHT CALCULATION (COMMERCIAL BUILDING)**

MARK	NAT. GRADE ELEVATION	FIN. GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9912.6	9916.9	NATL. GRADE	9946.2	9946.2 - 9912.6	33.6'
B	9911.9	9916.2	NATL. GRADE	9946.2	9946.2 - 9911.9	34.3'
C	9912.0	9916.3	NATL. GRADE	9947.2	9947.2 - 9912.0	35.2'
D	9916.2	9916.4	NATL. GRADE	9947.2	9947.2 - 9916.4	30.8'
E	9913.9	9916.4	NATL. GRADE	9946.6	9946.6 - 9913.9	32.7'
F	9913.7	9916.4	NATL. GRADE	9946.6	9946.6 - 9913.7	32.9'
G	9913.9	9916.4	NATL. GRADE	9947.7	9947.7 - 9913.9	33.8'
H	9913.8	9916.4	NATL. GRADE	9947.7	9947.7 - 9913.8	33.9'
I	9913.7	9916.4	NATL. GRADE	9947.7	9947.7 - 9913.7	34.0'

**HEIGHT CALCULATION (RESIDENTIAL BUILDING)**

MARK	NAT. GRADE ELEVATION	FIN. GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
1	9912.5	9914.3	NATL. GRADE	9946.8	9946.8 - 9912.5	34.3'
2	9914.9	9917.2	NATL. GRADE	9947.2	9947.2 - 9914.9	32.3'
3	9917.4	9917.4	NATL. GRADE	9947.7	9947.7 - 9917.4	0.3'
4	9916.6	9917.4	NATL. GRADE	9947.2	9947.2 - 9916.6	10.6'
5	9916.0	9918.4	FIN. GRADE	9946.7	9946.7 - 9918.4	19.4'
6	9916.0	9918.4	FIN. GRADE	9946.7	9946.7 - 9918.4	27.2'
7	9917.0	9918.4	NATL. GRADE	9946.7	9946.7 - 9917.0	27.4'

**ZONING DATA**

**LAND USE DISTRICT:**  
DISTRICT #10

**SITE AREA:**  
56,237 S.F. (1.28 AC.)

**FAR / DENSITY / MAXEL:**  
COMMERCIAL (1.8 FAR) ALLOWED  
14.57 S.F. PROVIDED (14.96 S.F. ALLOWED)  
7.53 S.F. COMMERCIAL  
7.00 S.F. RESIDENTIAL

**BUILDING HEIGHT:**  
14.8' PROVIDED (15.48 MAXIMUM ALLOWED)

**SETBACKS:**  
COMMERCIAL:  
FRONT 11'-0"  
SIDE 8'-0" / 10'-0"  
REAR 10'-0" / 14'-0"

RESIDENTIAL:  
FRONT 10'-0"  
SIDE 8'-0" / 9'-0"  
REAR 10'-0"

**SHEET INDEX**

ID	Name
A-100	SITE PLAN
A-101	LANDSCAPE PLAN
A-102	SITE SECTION & CUP
A-103	COMMERCIAL MAIN PLAN
A-104	COMMERCIAL UPPER PLAN
A-105	COMMERCIAL ROOF PLAN
A-106	RAMPS/STAIR BUILDING
A-107	RAILWAY PLAN
A-108	SCAFFOLD PLAN
A-109	COMMERCIAL BUILDING ELEVATIONS
A-110	RESIDENTIAL BUILDING ELEVATIONS
A-111	RAILWAY ELEVATIONS
A-112	SCAFFOLD ELEVATIONS
A-113	SECTION
A-114	SECTION
A-115	SECTION
A-116	SECTION
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A-118	SECTION
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A-197	SECTION
A-198	SECTION
A-199	SECTION
A-200	SECTION

**SIGNATURE BLOCK**

UPON THE ISSUANCE OF A DEVELOPER'S PERMIT BY THE TOWN OF BRECKENRIDGE, THIS SITE PLAN SHALL BE SIGNING UPON THE APPLICANT AND THE APPLICANT'S SUCCESSORS AND ASSIGNS, UNDER THE SEAL AND THE TOWN HAS ISSUED A FINAL CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLIANCE, PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE. THIS PLAN SHALL LIMIT AND CONTROL THE RESOURCE AND SAFETY OF ALL BUILDINGS PERMITS, AND SHALL RESTRICT AND LIMIT THE CONSTRUCTION LOCATION, USE, OCCUPANCY AND ORIENTATION OF ALL LAND AND STRUCTURES WITHIN THE PLAN TO ALL CONDITIONS, REQUIREMENTS, LOCATION AND LIMITATIONS SET FORTH HEREIN AND IN THE DEVELOPMENT PERMIT FOR THIS SITE. AMENDMENT, WITHDRAWAL OR ABANDONMENT OF THIS PLAN MAY BE PERMITTED ONLY IN ACCORDANCE WITH THE BRECKENRIDGE DEVELOPMENT CODE. THIS DOCUMENT REPRESENTS THE TOWN'S UNRETRACTING COMMITMENT TO THE APPLICANT AND THE TOWN OF BRECKENRIDGE WITH REGARD TO DEVELOPMENT PERMITS AND PERMIT REQUIREMENTS ON THIS SITE.

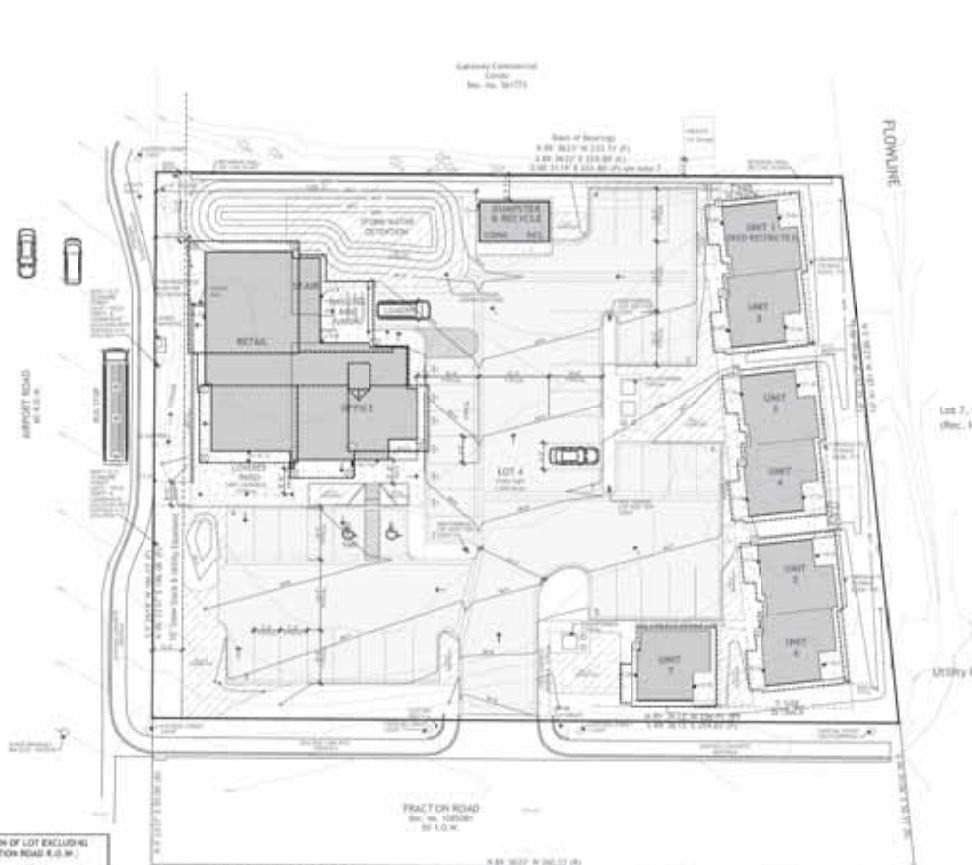
**LOT COVERAGE** (PORTION OF LOT EXCLUDING FRACTON ROAD 4.0 AC. W.)

	SQ. FEET	ACRES	%
LOT AREA	95,400 S.F.	2.18 AC.	100%
BUILDING COVERAGE	7,420 S.F.	0.17 AC.	7.8%
PARKING LOT COVERAGE	14,820 S.F.	0.34 AC.	15.6%
BUILDING COVERAGE	5,982 S.F.	0.14 AC.	6.3%
OPEN AREA	14,820 S.F.	0.34 AC.	15.6%

**SNOWSTACK CALCULATION**

PARKING LOT 4 (BENALDO) - 15,894 S.F.  
SNOWSTACK REQ'D (1.0) = 1,624 S.F.  
SNOWSTACK PROVIDED - 14,820 S.F.

**SUMMIT MOUNTAIN RENTALS**



**1 SITE PLAN**

**PV READY ROOF AREAS**

COMMERCIAL BLDG. ROOF AREA = 5,982 S.F.  
RAMPS/STAIR BLDG. ROOF AREA = 7,420 S.F.  
MAIN FLOOR BLDG. ROOF AREA (1) (BENALDO) = 5,982 S.F.  
TOTAL BLDG. ROOF AREA = 19,384 S.F.  
TOTAL ROOF AREA = 19,384 S.F. (100%)

COMMERCIAL BLDG. ROOF AREA READY FOR FUTURE PV PANELS = 5,982 S.F. (31%)  
RAMPS/STAIR BLDG. ROOF AREA READY FOR FUTURE PV PANELS = 7,420 S.F. (38%)  
TOTAL UNOCCUPIED ROOF AREA PROVIDED FOR FUTURE P.V. PANELS = 13,402 S.F. (69% PROVIDED, 31% REQUIRED)

**PROVIDING ARCHITECTURE, LLC**  
117 SOUTH ROAD STREET, #1  
P.O. BOX 8842  
BRECKENRIDGE, CO 80424  
970-453-7260  
PROVIDINGARCHITECTURE.COM

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**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/24	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/24	DEVELOPMENT PERMIT APPLICATION REVIEW
03/14/24	DEVELOPMENT PERMIT APPLICATION REVIEW
03/21/24	DEVELOPMENT PERMIT APPLICATION REVIEW

PROJECT NO: 2019-4  
DRAWN BY: M. PETERSON  
CHECK BY: M. PETERSON

SHEET TITLE

**SITE PLAN**

**A-100**



**Legend**

- ① SUMMIT MOUNTAIN RENTAL MIXED-USE UNITS
- ② RESIDENTIAL UNITS
- ③ VISITOR PARKING
- ④ RESIDENTIAL PARKING
- ⑤ RESIDENTIAL PARK
- ⑥ FRONTAGE LANDSCAPE
- ⑦ STORM-WATER DETENTION AND SCREENING
- ⑧ DUMPSTER/RECYCLE



**SUMMIT MOUNTAIN RENTALS - FINAL SUBMITTAL CLASS A**

03/16/2020





## SUMMIT MOUNTAIN RENTALS - STREETScape VIEW

DECEMBER 27, 2019





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**SUMMIT MOUNTAIN RENTALS - VIEW FROM HWY. 9**

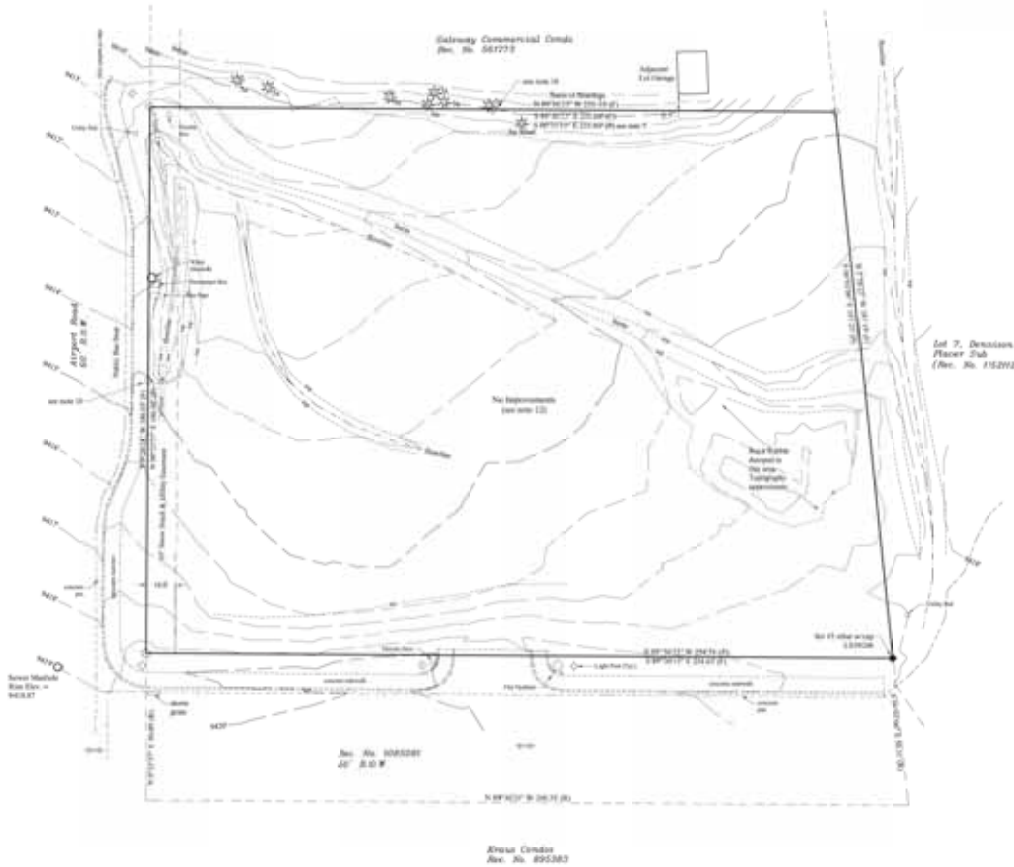
DECEMBER 27, 2019



# Improvement Survey Plat and Topographic Survey

LOT 4, BLOCK 3, A RESUBDIVISION OF LOT 3, BLOCK 5, BRECKENRIDGE AIRPORT SUBDIVISION ACCORDING TO THE PLAT FILED AUGUST 28, 1997 UNDER RECEPTION NO. 543877, EXCEPT THE SOUTHERLY 50 FEET AS SHOWN ON DEED RECORDED JUNE 23, 2015 UNDER RECEPTION NO. 108501

Town of Breckenridge, Summit County, Colorado  
Section 25, T6S, R78W, 6th P.M.  
(1730 Airport Road)



**Legend**

- (P) Field Measurement
- (M) Plat (Rev. No. 543877)
- (C) Calculated Boundary
- (B) Record Deed, Rev. No. 108501
- (F) Fenced Hedge Plants (Exp. 1/27/14)
- (T) Fenced Tree Plants (Exp. 1/27/14)
- (\*) See Number 1 (note: not people exp. 1/2/14)
- (A) As of August Date
- (W) Water table exp.

**Notes**

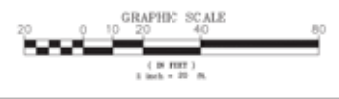
- 1) Bearings are based on the north line of Lot 4, 50' W 127' N [27] calculated from record plat. Stake marks and files are shown with orange cap 1/2\"/>

This survey does not constitute a title or ownership search by Blue River Land Surveying. All ownership, easement and public record information was based on the Owner's Title Commitment Order No. NS032344, issued by Land Title Guaranty Company.

Responsibility is subject to exceptions as described in the site plat by reference.

I, Bruce W. Parnis, being a Licensed Land Surveyor in the State of Colorado, do hereby certify that this plat was prepared by me and under my supervision and is a correct and true and accurate representation and that both the plat and the survey are true and correct to the best of my knowledge and belief.

In witness whereof, I have hereunto set my hand and seal at Breckenridge, Colorado, this 25th day of August, 2015.



**Blue River  
Land Surveying**

(970) 668-8730

PO Box 3820 Breckenridge, CO 80424

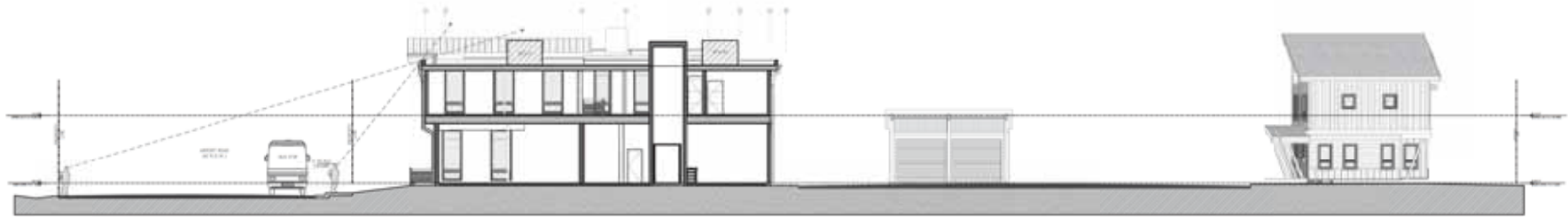
www.MaverickLandSurveying.com

**Improvement Survey Plat and Topographic Survey**

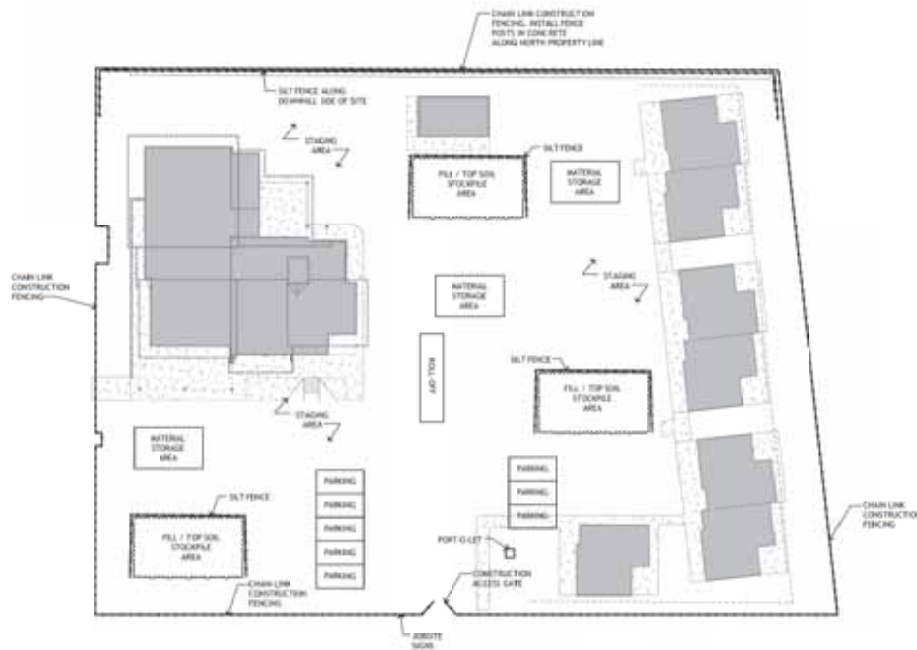
Lot 4, Block 3  
A RESUBDIVISION OF LOT 3, BLOCK 5  
ON A DEED RECORDED ON 08/28/97 UNDER RECEPTION NO. 543877  
TOWN OF BRECKENRIDGE, SUMMIT COUNTY, COLORADO  
SECTION 25, T6S, R78W, 6TH P.M.  
1730 AIRPORT ROAD

This Land Survey Plat was accepted for deposit on this \_\_\_\_\_ day of \_\_\_\_\_, 2015, and is filed under Land Survey Plat Reception No. \_\_\_\_\_ in the office of the Summit County Clerk and Recorder.

Signed \_\_\_\_\_  
Summit County Surveyor



2 SITE SECTION  
SCALE: 1/8" = 1'-0"



1 CONSTRUCTION MANAGEMENT PLAN  
SCALE: 1/8" = 1'-0"



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**SUMMIT MOUNTAIN RENTALS**  
 1730 AIRPORT ROAD  
 BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/22/20	DEVELOPMENT PERMIT APPLICATION REVIEW
02/22/20	DEVELOPMENT PERMIT APPLICATION REVIEW

PROJECT NO: 2019-4  
 DRAWN BY: AL PERDINO  
 CHECKED BY: AL PERDINO

SHEET TITLE  
**SITE SECTION & CMP**

A-101

**LEGEND**

	EVERGREEN TREES		LANDSCAPE BED		STEEL EDGE
	DECIDUOUS TREES		PERENNIAL ANNUAL BED		SPADE CUT EDGE
	DECIDUOUS SHRUBS		SEEDED AREA 1		PROPERTY LINE
	EVERGREEN SHRUBS		SEEDED AREA 2		CONCRETE WALLS REFER TO CIVIL
			COBBLE DROP EDGE		
			SNOW STORAGE		

**PLANT SCHEDULE**

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
<b>DECIDUOUS TREES (16)</b>				
8	AMC	ASPEN QUAKING (MULTI STEM)	POPULUS TREMULOIDES	8 HT. 2" CAL. 8&B
3	AMQ	ASPEN QUAKING	POPULUS TREMULOIDES	2" CAL. 8&B
2	NAR	NARROW LEAF COTTONWOOD	POPULUS ANGUSTIFOLIA	2" CAL. 8&B
<b>EVERGREEN TREES (15)</b>				
2	BCP	BRISTLE CONE PINE	PNUS ARISTATA	8 FT. MIN. 8&B
1	CBP	COLORADO BLUE SPRUCE	PECEA PUNGENS	8 FT. MIN. 8&B
4	ENG	ENGELMANN SPRUCE	PECEA ENGELMANNI	8 FT. MIN. 8&B
<b>DECIDUOUS SHRUBS (86)</b>				
5	CAN	SCHUBERT CHOKECHERRY	POPULUS ANGUSTIFOLIA	#5 CONT.
3	ALP	ALPINE CURRIANT	RIBES ALPINA	#5 CONT.
10	RNF	ROUNDBARK	ARCTOS TAPHYLLOPS (SUA-VAR)	#5 CONT.
18	NMD	NORTHSTAR HARBURK	PRINOS-LANNA MONOPHYLLUS	#5 CONT.
9	RM	RED-BERRIED ELDER	SAMBUCUS PURPUREA	#5 CONT.
12	RLS	RECLUSE ROSE	ROSA SILVICA RUBRO-COLA	#5 CONT.
11	CAC	PEAKING COTONMASTER	COTONMASTER ACUTIFOLIA	#5 CONT.
14	DD	DART DODGEWOOD	CORNUS SERICEA (SANT)	#5 CONT.
4	YMW	YELLOW MOUNTAIN WILLOW	SALIX MONTICOLA	#5 CONT.
<b>EVERGREEN SHRUBS (15)</b>				
11	ML	SLOWGROW MUGO PINE	PNUS MUGO 'SLOWGROW'	#5 CONT.
4	GP	BLUE GLOBE SPRUCE	PECEA PUNGENS 'GLABROSA'	#5 CONT.

**DRYLAND SEED MIX (SEEDED AREA 1)**

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
WESTERN WHEATGRASS	AGROPHYRON SMITHII	25%	
BLUE GRAMA	BOUTELOUA GRACILIS	25%	
BUFFALOGRASS	BOUTELOUA DACTYLOIDES	15%	
GREENNEEDLE GRASS	BOUTELOUA GRACILIS	20%	
SCORPION GRAMA	BOUTELOUA CURTIPENDULA	20%	
TOTAL		100%	22.1 LBS

\* SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED

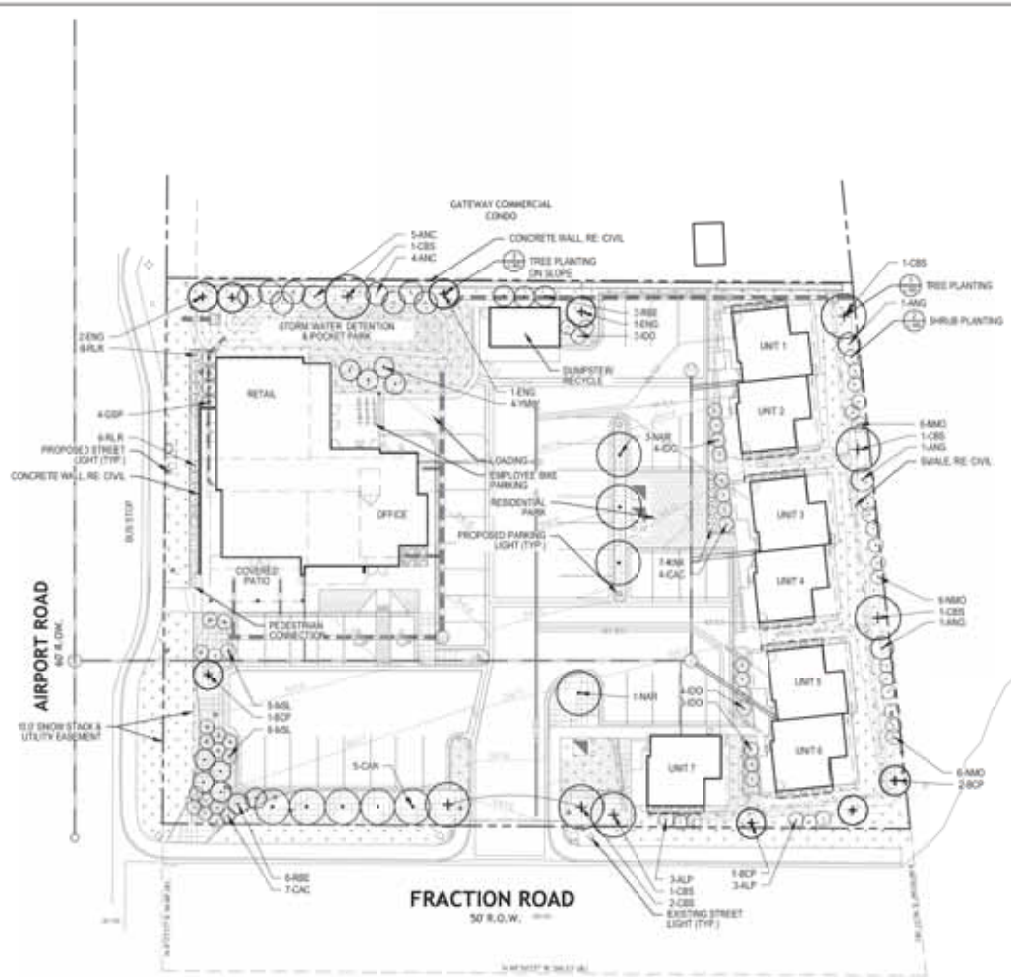
**SHORT DRY GRASS SEED MIXTURE (SEEDED AREA 2)**

COMMON NAME	% OF TOTAL	LBS. PER 1000 S.F.	
HARD FESCUE, VNS	35%	0.8 LBS.	
DREPPING RED FESCUE, VNS	30%	0.8 LBS.	
SHEEP FESCUE, MEAGLEBERGER	25%	0.8 LBS.	
CANADA BLUEGRASS, RUBENS	10%	0.3 LBS.	
CANBY BLUEGRASS, CAMBAR	5%	0.1 LBS.	
TOTAL		100%	2.0 LBS.

\* SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED  
\* SPREAD SEED AT A RATE OF 2 LBS PER 1000 SF

**NOTES**

- IRRIGATION
- ALL TREES AND SHRUBS TO BE DRIP IRRIGATED
- ALL PERENNIAL BEDS, GROUND COVERS, NATIVE SEED AND/OR ECOTOURISM AREA TO BE SPAY IRRIGATED



**CALCULATIONS:**

LANDSCAPE PARKING REQUIREMENTS	
S.F. OF INTERIOR PARKING (ASPHALT)	16,827 S.F.
REQUIRED LANDSCAPE (MINIMUM 1%)	336 S.F.
PROVIDED LANDSCAPE	1,510 S.F.

**LANDSCAPE CALCULATIONS**

PROPOSED	TREES	SHRUBS
DECIDUOUS	16	86
EVERGREEN	15	15
TOTAL	31	101

**LEGEND**

- |  |                  |  |                      |  |                               |
|--|------------------|--|----------------------|--|-------------------------------|
|  | EVERGREEN TREES  |  | LANDSCAPE BED        |  | STEEL EDGE                    |
|  | DECIDUOUS TREES  |  | PERENNIAL ANNUAL BED |  | SPADE CUT EDGE                |
|  | DECIDUOUS SHRUBS |  | SEED AREA 1          |  | PROPERTY LINE                 |
|  | EVERGREEN SHRUBS |  | SEED AREA 2          |  | CONCRETE WALLS REFER TO CIVIL |
|  |                  |  | COBBLE DROP EDGE     |  |                               |
|  |                  |  | SNOW STORAGE         |  |                               |

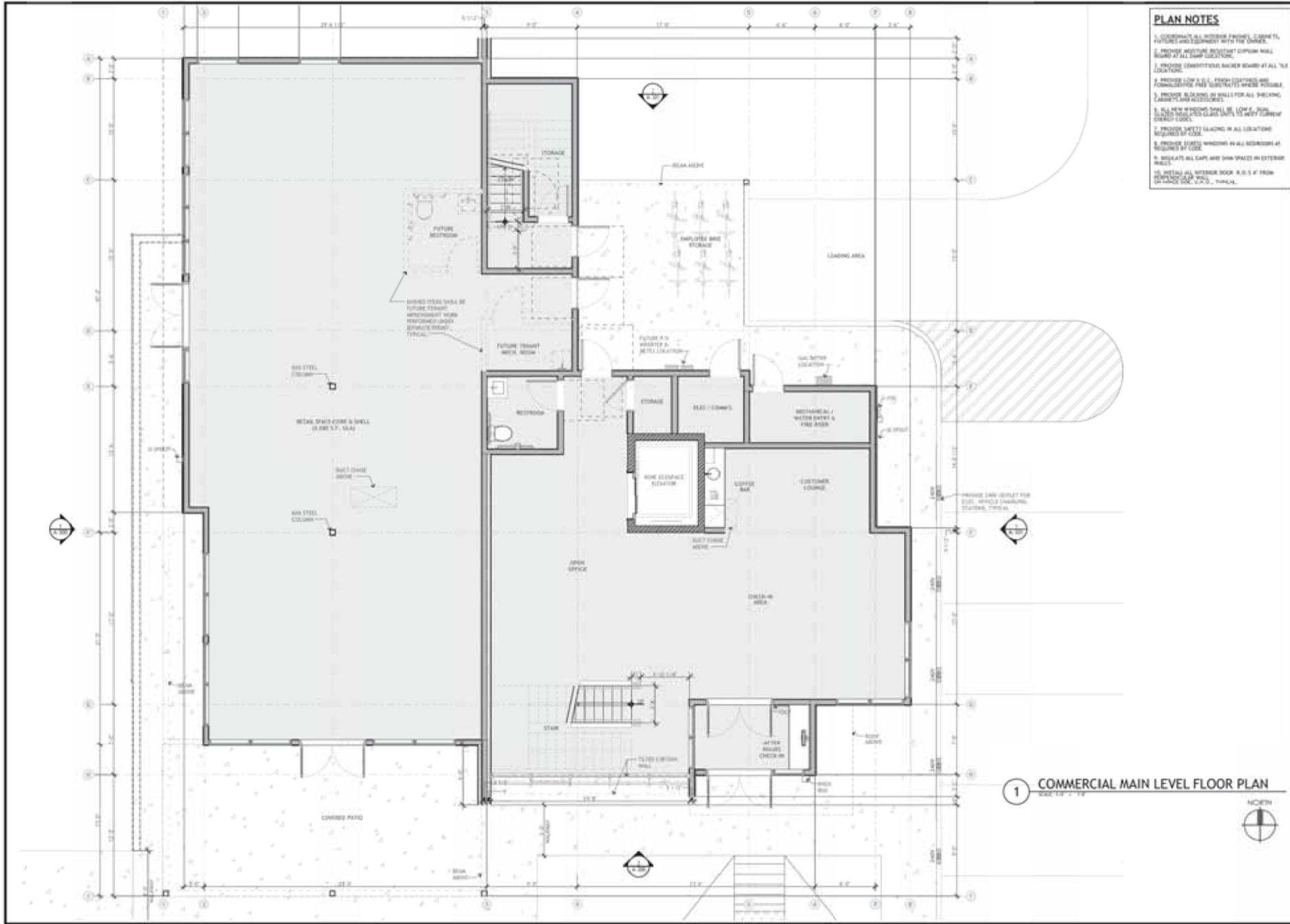


**SNOW STORAGE CALCULATIONS**

TOTAL PARKING/PAVING AREA	21,694 S.F.
SNOW STORAGE REQUIRED	5,424 S.F.
SNOW STORAGE PROVIDED	5,437 S.F.







**PLAN NOTES**

1. CORRECTIVITY ALL INTERIOR FINISHES, CEILING, FUTURE REFINISHMENT WITH THE OWNER.
2. PROVIDE ARCHITECTURE REINFORCEMENT CONCRETE WALL BOARD AT ALL CORNER LOCATIONS.
3. PROVIDE CONVENTIONAL SAUCER BOARD AT ALL 90 DEGREE LOCATIONS.
4. PROVIDE LOW R.F.C. FLOOR COATINGS AND FLOORING FOR ALL FLOOR SURFACES WHERE POSSIBLE.
5. PROVIDE ALCOHOL IN WALLS FOR ALL SHELVING, LINENS AND ACCESSORIES.
6. ALL NEW WINDOWS SHALL BE LOW E, TINTED, ENERGY EFFICIENT GLASS UNITS TO MEET CURRENT ENERGY CODES.
7. PROVIDE SAFETY GLASSING IN ALL LOCATIONS REQUIRED BY CODE.
8. PROVIDE SAFETY GLASSING IN ALL LOCATIONS AS REQUIRED BY CODE.
9. DETAIL ALL CORNER AND CHASE SPACES IN EXTERIOR WALLS.
10. INSTALL ALL INTERIOR DOOR R.U.S. 4" FROM PERIPHERAL WALL.

CHANGED ONE, N.C.D., TYPICAL.

**Copyright**

**Summit Mountain Rentals**  
 1730 AIRPORT ROAD  
 BRECKENRIDGE, CO 80424

**Summit Mountain Rentals**  
 1730 AIRPORT ROAD  
 BRECKENRIDGE, CO 80424

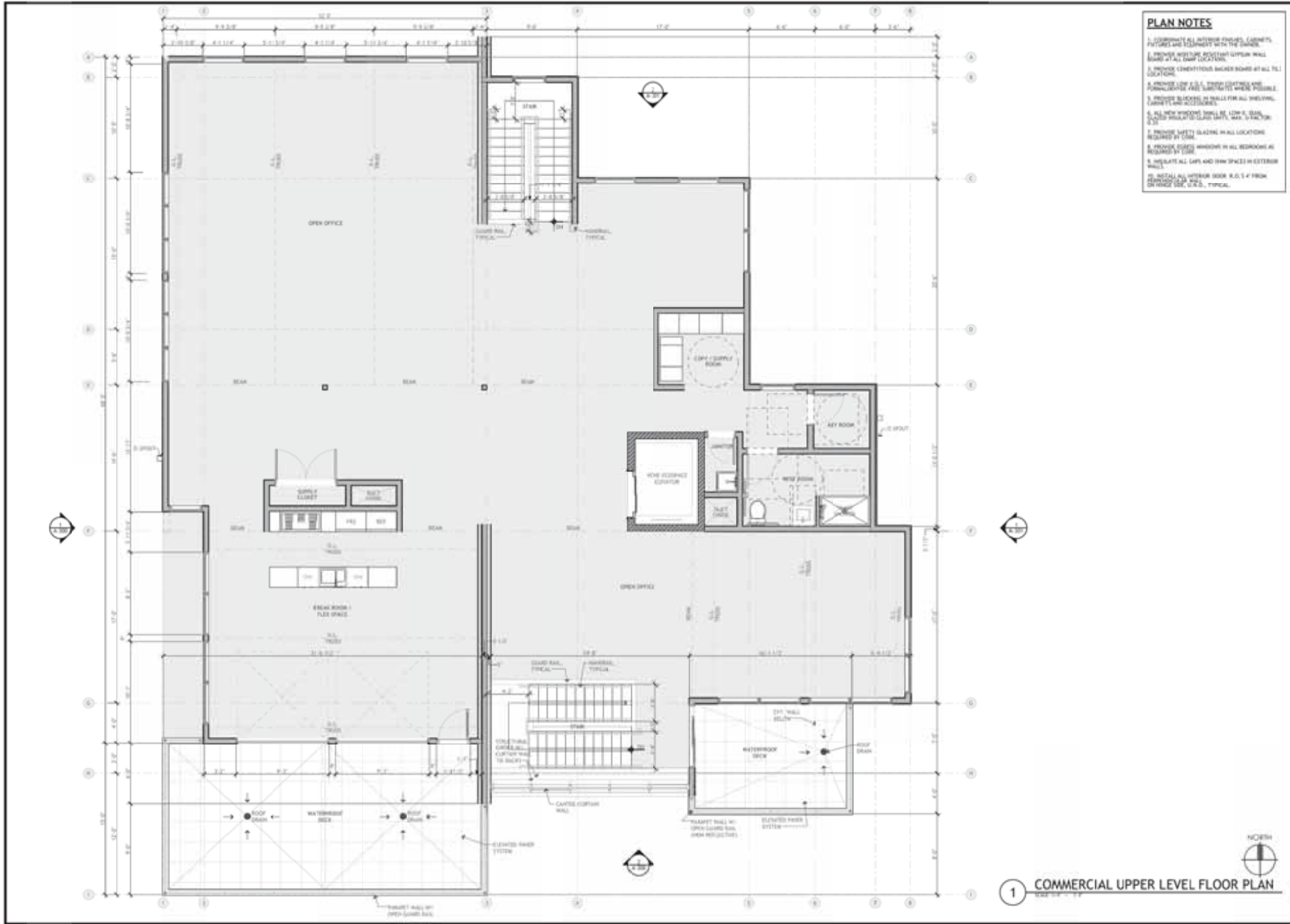
DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/22/20	DEVELOPMENT PERMIT APPLICATION REVIEW
02/22/20	DEVELOPMENT PERMIT APPLICATION REVIEW

**1 COMMERCIAL MAIN LEVEL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**COMMERCIAL MAIN PLAN**

**A-200**



- PLAN NOTES**
1. COORDINATE ALL INTERIOR FINISHES, CABINETS, FIXTURES AND EQUIPMENT WITH THE OWNER.
  2. PROVIDE WETURE RESISTANT GYPSUM WALL BOARD AT ALL DAMP LOCATIONS.
  3. PROVIDE CHENITIOUS BACKER BOARD AT ALL TILL LOCATIONS.
  4. PROVIDE 1/2" G.P.C. SHEET CONTAINS AND FINISHES TO BE DETERMINED BY OWNER, WHERE POSSIBLE.
  5. PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS AND ACCESSORIES.
  6. ALL NEW WINDOWS SHALL BE LOW-E, DARK, 5/8" TYPICAL (SEE SCHEDULE FOR WINDOW SCHEDULE).
  7. PROVIDE SAFETY GLAZING IN ALL LOCATIONS AS REQUIRED BY CODE.
  8. PROVIDE EGRESS WINDOWS IN ALL BEDROOMS AS REQUIRED BY CODE.
  9. INSULATE ALL GAPS AND DRAM SPACES IN EXTERIOR WALLS.
  10. INSTALL ALL WINDOW SINKS 8" O.C. 4" FROM EXTERIOR FACE, TYPICAL.

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 P.O. BOX 842  
 BRECKENRIDGE, CO 80424  
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**SUMMIT MOUNTAIN RENTALS**  
 1730 AIRPORT ROAD  
 BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION
02/22/20	DEVELOPMENT PERMIT APPLICATION

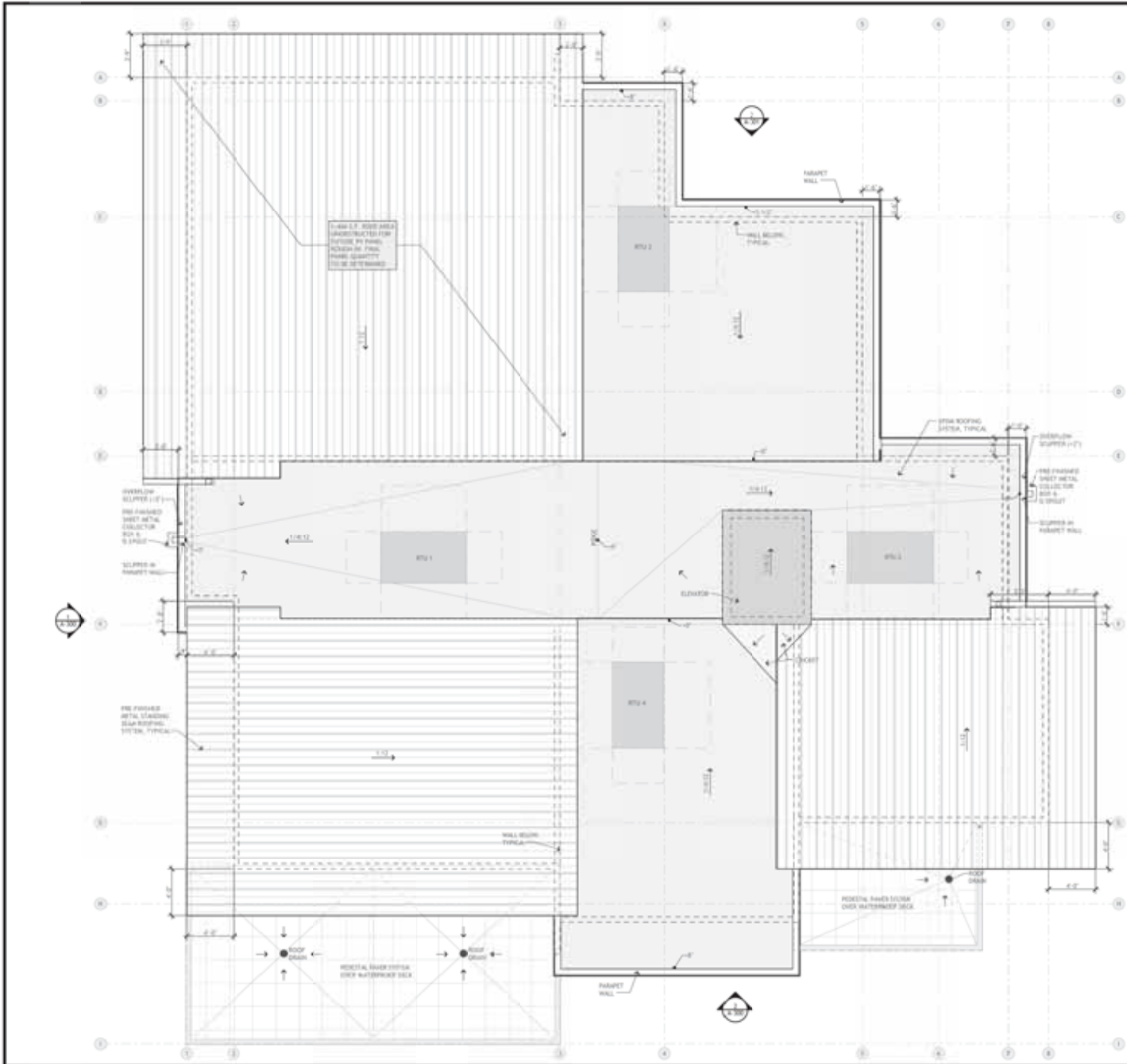
PROJECT NO: 2019-4  
 DRAWN BY: AL PERDUE  
 CHECKED BY: AL PERDUE

**COMMERCIAL UPPER PLAN**

**A-201**

1 COMMERCIAL UPPER LEVEL FLOOR PLAN  
 SCALE: 1/8" = 1'-0"





**ROOF PLAN NOTES**

1. PROVIDE CLASS 1 BURST ROOFING, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. PROVIDE AUTOMATIC WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS.
3. PROVIDE CONTINGENTS AND MANUFACTURER'S INSTRUCTIONS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS.
4. PROVIDE CONTINGENTS AND MANUFACTURER'S INSTRUCTIONS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS. PROVIDE 1/2" x 1/2" x 1/2" WEATHER STRIPPING OVER ALL ROOF JOINTS.
5. ALL EXPOSED FLASHING AND DRAIN EDGE SHALL BE PRE-FINISHED TO MATCH METAL ROOFING.
6. PROVIDE AN EXPANDED-THROAT SEAL SHALL BE PRE-FINISHED TO MATCH METAL ROOFING.

**PV READY ROOF AREAS**

COMMERCIAL BLDG. ROOF AREA - 3,024 S.F.  
 SUMMIT MOUNTAIN ROOF AREA - 2,124 S.F.  
 TOTAL BLDG'S ROOF AREA (COMMERCIAL) - 5,148 S.F.  
 OUTSIDE ROOF AREA (1/2" x 1/2" x 1/2")  
 TOTAL ROOF AREA - 11,817 S.F. (200 S.F.)

COMMERCIAL BLDG. ROOF AREA READY FOR FUTURE PV PANELS  
 1,184 S.F. (75%)

RESIDENTIAL BLDG. ROOF AREA READY FOR FUTURE PV PANELS  
 5,496 S.F. (100% CARRIED TO SHEET C.A. 1.0 (200 S.F.))

TOTAL UNCONSTRUCTED ROOF AREA PROVIDED FOR FUTURE P.V. PANELS - 1,848 S.F. (15% PROVIDED, 6% REQUIRED)

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 P.O. BOX 8462  
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**SUMMIT MOUNTAIN  
 RENTALS**  
 1730 AIRPORT ROAD  
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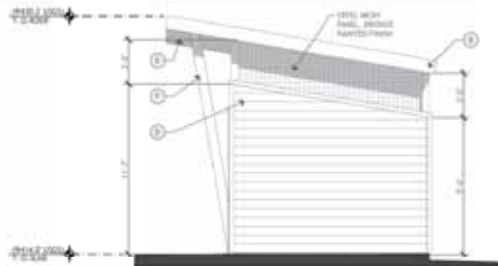
NO.	DATE	DESCRIPTION
001	03/11/2019	FINAL DEVELOPMENT PERMIT APPLICATION
002	03/11/2019	DEVELOPMENT PERMIT APPLICATION
003	03/11/2019	DEVELOPMENT PERMIT APPLICATION

PROJECT NO: 2019-4  
 DRAWN BY: AL PEREIRO  
 CHECK BY: AL PEREIRO

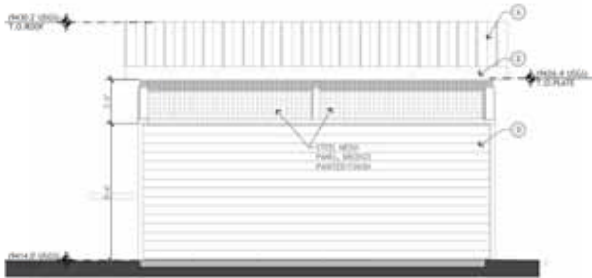
**COMMERCIAL  
 ROOF PLAN**

**A-202**

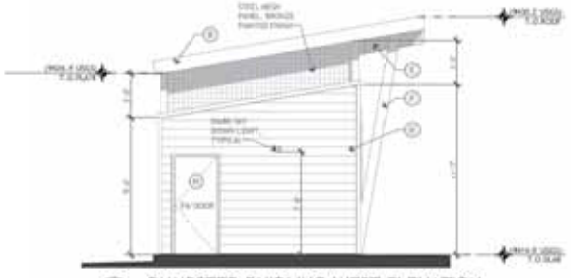
1 COMMERCIAL ROOF PLAN  
 REV 11 - 19



6 DUMPSTER BUILDING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



5 DUMPSTER BUILDING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

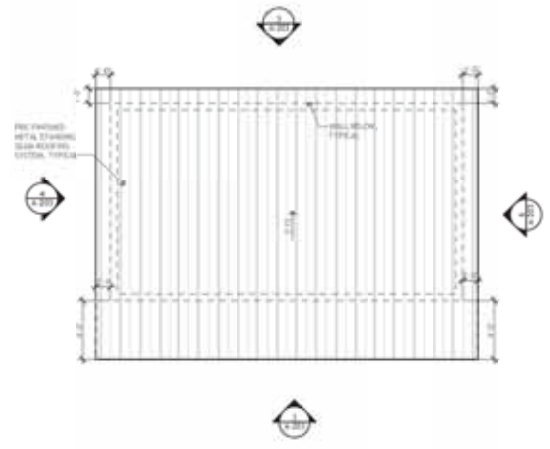


4 DUMPSTER BUILDING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

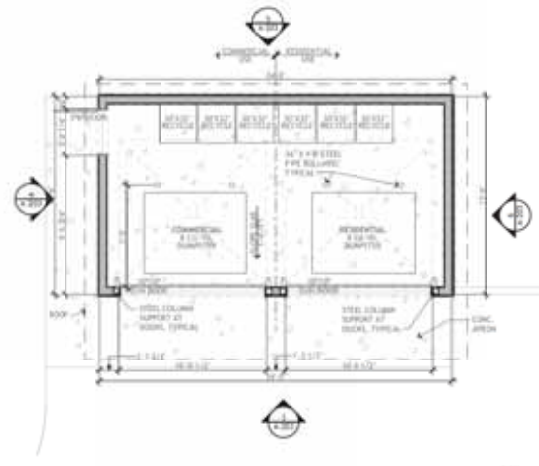


3 DUMPSTER BUILDING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

- DUMPSTER BLDG. FINISH LEGEND**
- ① STANDING SEAM METAL ROOFING - PRE FINISHED BRNCK
  - ② PAINTED 14' PRE PA. SHEET METAL FACIA - BRNCK
  - ③ 2x4 VERTICAL WOOD TAG BOARD - 1/2" W. 2000 BURN BRNCK
  - ④ 2x4 HORIZONTAL WOOD TAG BOARD - 1/2" W. 2000 BURN BRNCK
  - ⑤ WOOD BEAMS @ 16" ON - 1" W. 2000 COLORED BRNCK
  - ⑥ 2x4 BRIDGE BRACE - NON-REFLECTIVE PENNACAL SEALER
  - ⑦ 2x8 CEDAR TRIM - PAINTED BRNCK TO MATCH HARBOR CLAD
  - ⑧ STEEL SERVICE DOORS - PAINTED BRNCK TO MATCH HARBOR CLAD
  - ⑨ CLAD WOOD WINDOWS & DOORS - BRNCK
  - ⑩ MET WEBS
  - ⑪ MET UNDS



2 DUMPSTER BUILDING ROOF PLAN  
SCALE: 1/4" = 1'-0"



1 DUMPSTER BUILDING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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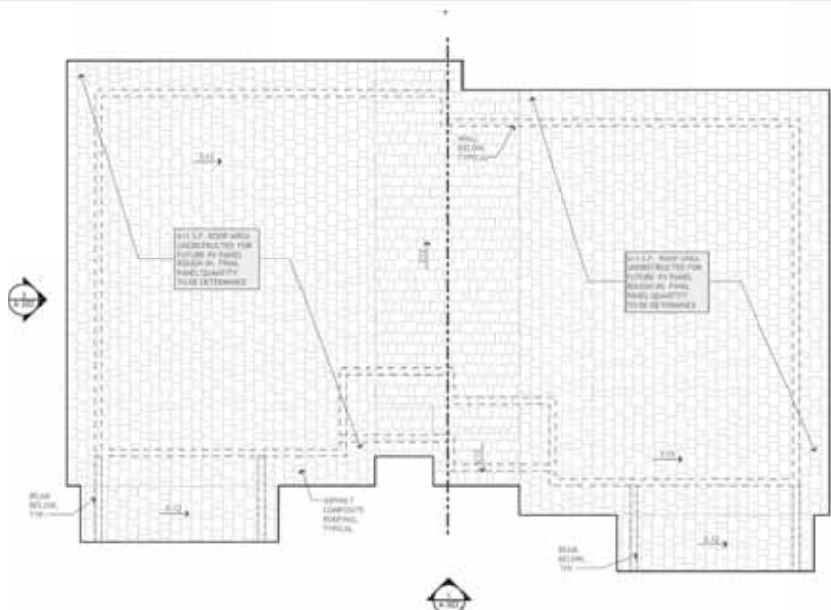
**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/20	DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/20	DEVELOPMENT PERMIT APPLICATION REVIEW

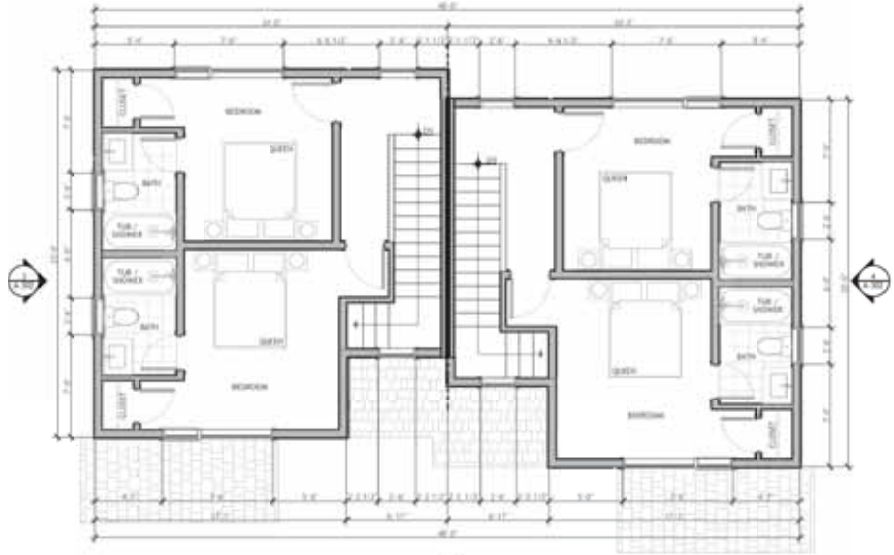
PROJECT NO: 2019-4  
DRAWN BY: M. PESSIMO  
CHECKED BY: M. PESSIMO

SHEET TITLE  
**DUMPSTER BUILDING**

A-203



3 DUPLEX ROOF PLAN  
SCALE: 1/8" = 1'-0"



2 DUPLEX UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0"

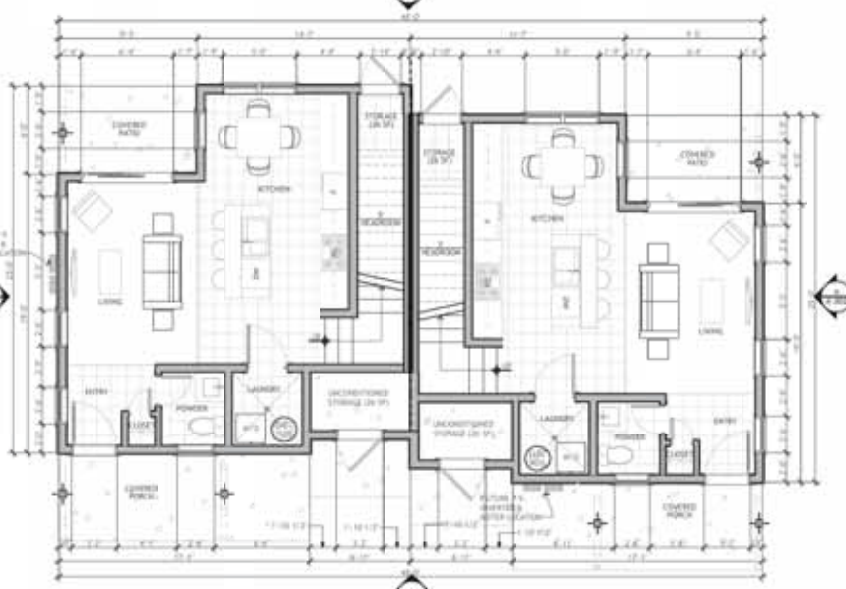


VIEW FROM FRONT

**NOTE**  
DUPLEX ROOM APPLICATIONS VARY BY UNIT. BUILDING IN COMPLIANCE WITH POLICY 5.16 ARCHITECTURAL COMPATIBILITY. SEE OVERALL PROJECT RENDERING.



VIEW FROM BACK



1 DUPLEX MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"

- PLAN NOTES**
1. DISCONNECT ALL OUTDOOR FRIGIDEL, CABINETS, FURNACE AND EQUIPMENT WITH THE CHIMNEY.
  2. PROVIDE MOISTURE RESISTANT GYPSON WALL BOARDS AT ALL DAMP LOCATIONS.
  3. PROVIDE IDENTIFICATION BACKER BOARD AT ALL TILE LOCATIONS.
  4. PROVIDE LOW-VOLATILE FORMALDEHYDE-FREE LAMINATE WHERE POSSIBLE.
  5. PROVIDE BLOCKING IN WALLS FOR ALL SINKING, CABINETS AND REFRIGERATION.
  6. ALL NEW WINDOWS SHALL BE 1/2" MIN. INSULATED MULTIPLE GLAZED UNITS. MAX U FACTOR 0.30.
  7. PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CODE.
  8. PROVIDE STATED WINDOWS IN ALL BEDROOMS AS REQUIRED BY CODE.
  9. INSULATE ALL DAMP AND DAM SPACES IN EXTERIOR WALLS.
  10. INSTALL ALL EXTERIOR DOORS 4 1/2" x 6" FROM EXTERIOR WALL.
  11. PROVIDE LOW-VOLATILE FORMALDEHYDE-FREE LAMINATE WHERE POSSIBLE.

- ROOF PLAN NOTES**
1. PROVIDE 1/2" MIN. GUTTER DRAINAGE. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  2. PROVIDE WATERPROOF MEMBRANE UNDERLAYER AND OVER MEMBRANE UNDER ALL ROOF FLASHINGS.
  3. INSTALL GUTTERS AT CENTER - DOWNSPOUT LOCATIONS FOR 200-YEAR LIFE.
  4. PROVIDE 1/2" MIN. GUTTER AND DOWNSPOUT WITH 1/2" MIN. AT ALL FLASHINGS AND AIRWAYS. USE 1/2" MIN. ALUMINUM FLASHING AND FLASH CHANNELS, TYP.
  5. PROVIDE 1/2" MIN. GUTTER AND DOWNSPOUT WITH 1/2" MIN. AT ALL FLASHINGS AND AIRWAYS. USE 1/2" MIN. ALUMINUM FLASHING AND FLASH CHANNELS, TYP.
  6. PROVIDE 1/2" MIN. GUTTER AND DOWNSPOUT WITH 1/2" MIN. AT ALL FLASHINGS AND AIRWAYS. USE 1/2" MIN. ALUMINUM FLASHING AND FLASH CHANNELS, TYP.

- PV READY ROOF AREAS**
- COMMERCIAL BLDG. ROOF AREA = 5,104 S.F.  
 RESIDENTIAL BLDG. ROOF AREA = 7,464 S.F.  
 DUPLEX BLDG. ROOF AREA (1 BLDG.) = 5,104 S.F.  
 TOTAL ROOF AREA = 17,672 S.F. (SEE 10)
- COMMERCIAL BLDG. ROOF AREA READY FOR FUTURE PV PANELS = 5,104 S.F. (SEE 10)
- RESIDENTIAL BLDG. ROOF AREA READY FOR FUTURE PV PANELS = 7,464 S.F. (SEE 10) (APPLIES TO BOTH C.A. & P.A.)
- TOTAL UNRESTRICTED ROOF AREA PROMISED FOR FUTURE P.V. PANELS = 12,568 S.F. (25% PROVIDE 5.16, 5.18 REQUIRED)

**NOTE**  
THE "TWIN APARTMENT" IN THE SHEET TITLE IS USED FOR PLANNING PURPOSES ONLY. THESE DRAWINGS DEPICT A DUPLEX RESIDENCE AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE.

**PROJING ARCHITECTURE, LLC**  
 117 SOUTH ROCKY STREET, #1  
 P.O. BOX 8462  
 BRECKENRIDGE, CO 80464  
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**SUMMIT MOUNTAIN RENTALS**  
 1730 AIRPORT ROAD  
 BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/24	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/22/24	DEVELOPMENT PERMIT APPLICATION REVIEW
02/22/24	DEVELOPMENT PERMIT APPLICATION REVIEW

PROJECT NO: 2019-4  
 DRAWN BY: AL PERINO  
 CHECK BY: AL PERINO

SHEET TITLE  
**DUPLEX APARTMENT PLANS**

**A-204**



VIEW FROM FRONT



VIEW FROM BACK

**PLAN NOTES**

1. DISMOUNT ALL EXTERIOR FRIGID, CABINETS, FURNACE AND EQUIPMENT WITH THE OWNER.
2. PROVIDE MOISTURE RESISTANT GYPSON WALL BOARD AT ALL SHIP LOCATIONS.
3. PROVIDE ORIENTED SLACKER BOARD AT ALL TEE LOCATIONS.
4. PROVIDE LOW E.G.C. FINISH COATINGS AND FORMULATIONS FREE LEAD AND FORMALDEHYDE.
5. PROVIDE BLOCKING IN WALLS FOR ALL SINKING, CABINETS AND ACCESSORIES.
6. ALL NEW WINDOWS SHALL BE LOW E, RAIN GLAZED INSULATED GLASS UNITS, MAX U FACTOR 0.30.
7. PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CODE.
8. PROVIDE STAIRS WINDOWS IN ALL ROOMS AS REQUIRED BY CODE.
9. INSULATE ALL GAPS AND SHIP SPACES IN EXTERIOR WALLS.
10. INSTALL ALL EXTERIOR DOOR, 4 1/2" X 1" FROM FINISH DOOR AND 1/2" FROM FINISH WINDOW, TYPICAL.

**ROOF PLAN NOTES**

1. PROVIDE 1/2" OSB & WATER RESISTIVE, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. PROVIDE WATER RESISTIVE MEMBRANE, LAP OVER SHEET OVER MEMBRANE UNDER ALL FLASHINGS.
3. INSTALL GUTS 1" ABOVE AT GUTTER - DOWNSPOUT LOCATIONS FOR 200-YEAR STORM.
4. PROVIDE 1" DOWNSPOUT AND 1/2" DOWNSPOUT WITH 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS. USE 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS. USE 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS. USE 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS.
5. PROVIDE 1" DOWNSPOUT AND 1/2" DOWNSPOUT WITH 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS. USE 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS.
6. PROVIDE 1" DOWNSPOUT AND 1/2" DOWNSPOUT WITH 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS. USE 1/2" DOWNSPOUT AT ALL EXITS AND UNDEVELOPED AREAS.

PROVIDENCE ARCHITECTURE, LLC  
 117 SOUTH ROSS STREET, #1  
 P.O. BOX 8462  
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DATE	DESCRIPTION
05/22/2018	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
05/23/2018	DEVELOPMENT PERMIT APPLICATION REVIEW
05/24/2018	DEVELOPMENT PERMIT APPLICATION REVIEW

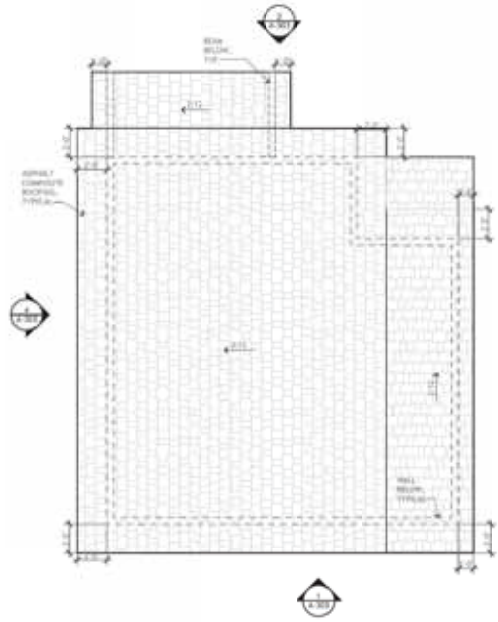
PROJECT NO: 2019-4  
 DRAWN BY: AL PROSSO  
 CHECK BY: AL PROSSO

SHEET TITLE  
**COTTAGE APARTMENT PLANS**

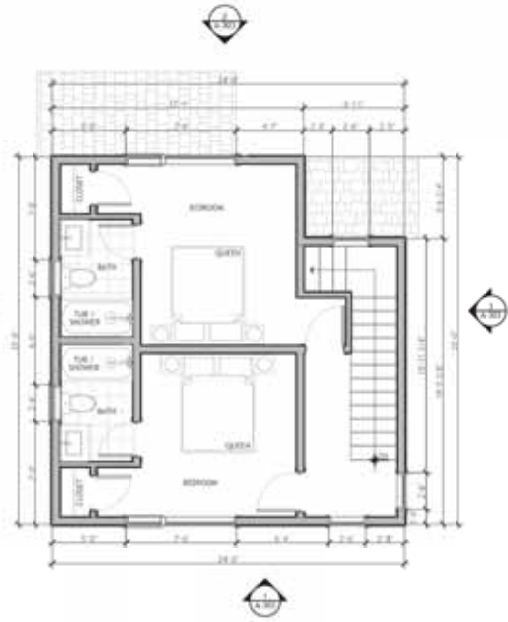
**A-205**

**NOTE**

THE 1/8" SHRINKAGE IN THE SHEET TITLE IS USED FOR PLANNING PURPOSES ONLY. THESE DRAWINGS DEPICT A SINGLE FAMILY RESIDENCE AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE.



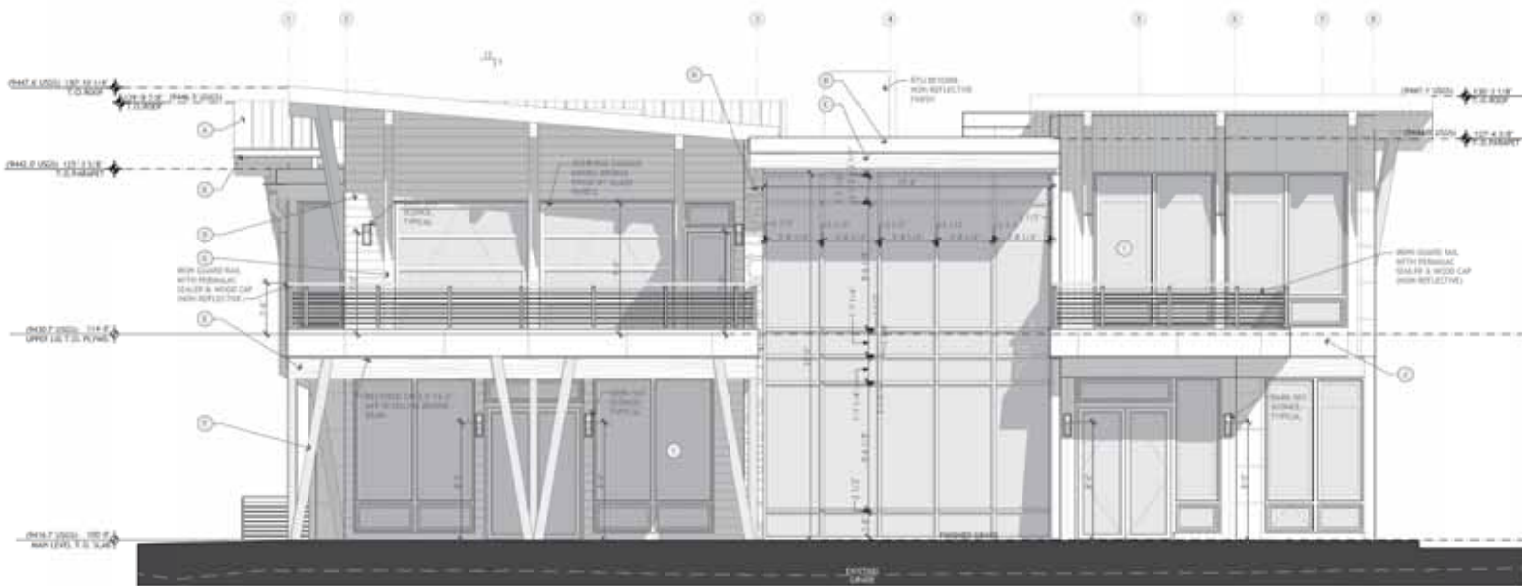
3 ROOF PLAN  
 SCALE: 1/4" = 1'-0"



2 UPPER LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



1 MAIN LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION

**BUILDING ELEVATION NOTES:**

1. REFER TO MATERIALS LEGEND FOR FINISH DESIGNATION.
2. PROVIDE GLAZING THAT MEETS SUMMIT COUNTY ENERGY CODE REQUIREMENTS.
3. VERIFY WINDOW OPERING DIMENSIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPERATIONS.
4. PROVIDE WEATHERSTRIPPING AND SUMMER THRESHOLDS AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTHS AND WALL THICKNESSES PRIOR TO ORDERING WINDOW AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. INSULATE ALL SIMA PANELS AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOW OR DOOR.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL SILL FLASHERS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. PROVIDE 2X U.S. PINE FINISHED METAL HEAD FLASHING TO ALL EXTERIOR WINDOWS & DOORS.
11. ALL WINDOWS AND DOORS TO HAVE FIELD-APPLIED TRIM, DO NOT TRIM TO MATCH BRICK HEADS.
12. PROVIDE SWEEP BRUSHING FOR WINDOWS & ARCHITECTURAL FINISHES TO PROTECT CUSTOM WINDOWS AND DOORS.
13. SEE FLOOR PLAN FOR WINDOW & DOOR OPERATION.

**METAL SIDING AREAS - SOUTH ELEVATION**

TOTAL SIDING AREA = 754 S.F. (100%)  
METAL SIDING AREA = 754 S.F. (100%)

**METAL SIDING AREAS - WEST ELEVATION**

TOTAL SIDING AREA = 1,299 S.F. (100%)  
METAL SIDING AREA = 129 S.F. (10%)

**COMMERCIAL FINISH LEGEND**

- (A) FINISHED GEM METAL ROOFING - PRE FINISHED BRONZE
- (B) PAINTED 1/2" PRE-FIN. SHEET METAL FINISH - BRONZE
- (C) 1X6 HORIZONTAL WOOD T&G SIDING - 5" W. 3/8" BALK EDGE
- (D) 1X6 HORIZONTAL WOOD T&G SIDING - 5" W. 3/8" HEMPHAMPTON
- (E) WOOD BEAMS & TRIM - 5" W. 3/8" COVERED BRIDGE
- (F) 1X6 HORIZONTAL BRACES - NON-REFLECTIVE PERMANENT SEALER
- (G) 2X6 CEDAR TRIM - PAINTED BRONZE TO MATCH WINDOW CLIP
- (H) STEEL SERVICE DOORS - PAINTED BRONZE TO MATCH WINDOW CLIP
- (I) CLAD WOOD WINDOWS & DOORS - BRONZE
- (J) COLD ROLLED STEEL SIDING - NON-REFLECTIVE PERMANENT SEALER
- (K) 6" THICK NATURAL STONE VENEER - 45% COURTLAND LOWRISE

PROVING ARCHITECTURE, LLC  
117 SOUTH ROSS STREET, #1  
P.O. BOX 8662  
BRECKENRIDGE, CO 80424  
970.431.2750  
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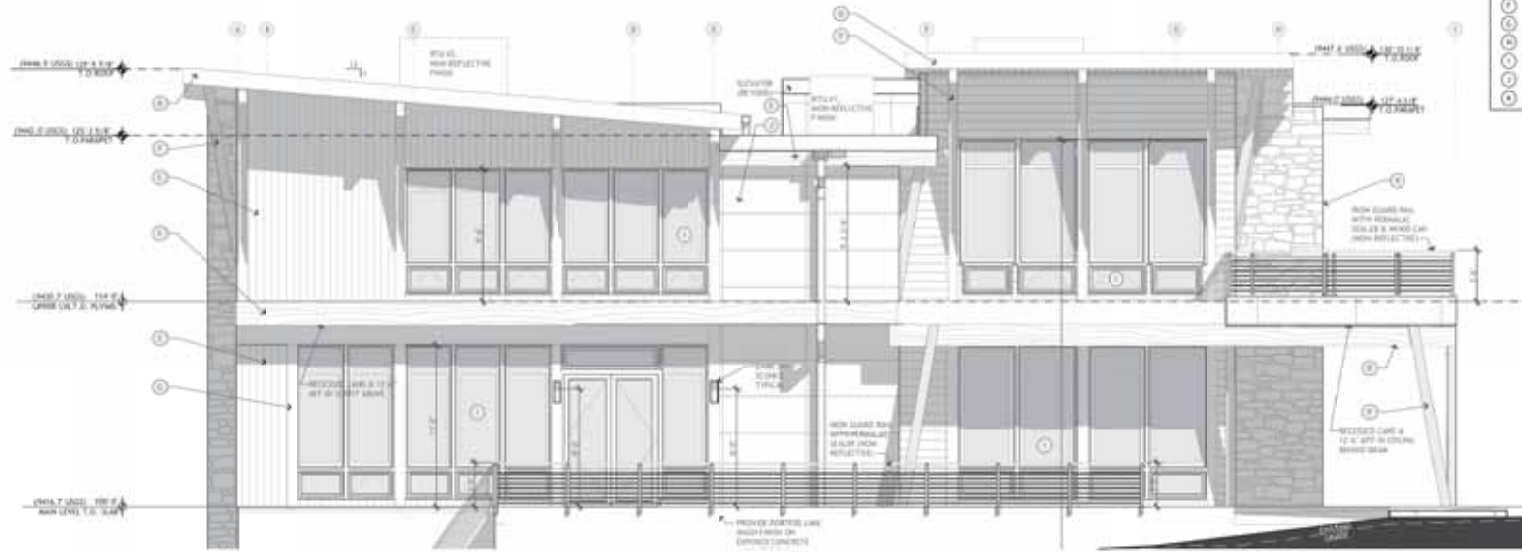
**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
03/11/20	DEVELOPMENT PERMIT APPLICATION REVIEW
03/11/20	DEVELOPMENT PERMIT APPLICATION REVIEW

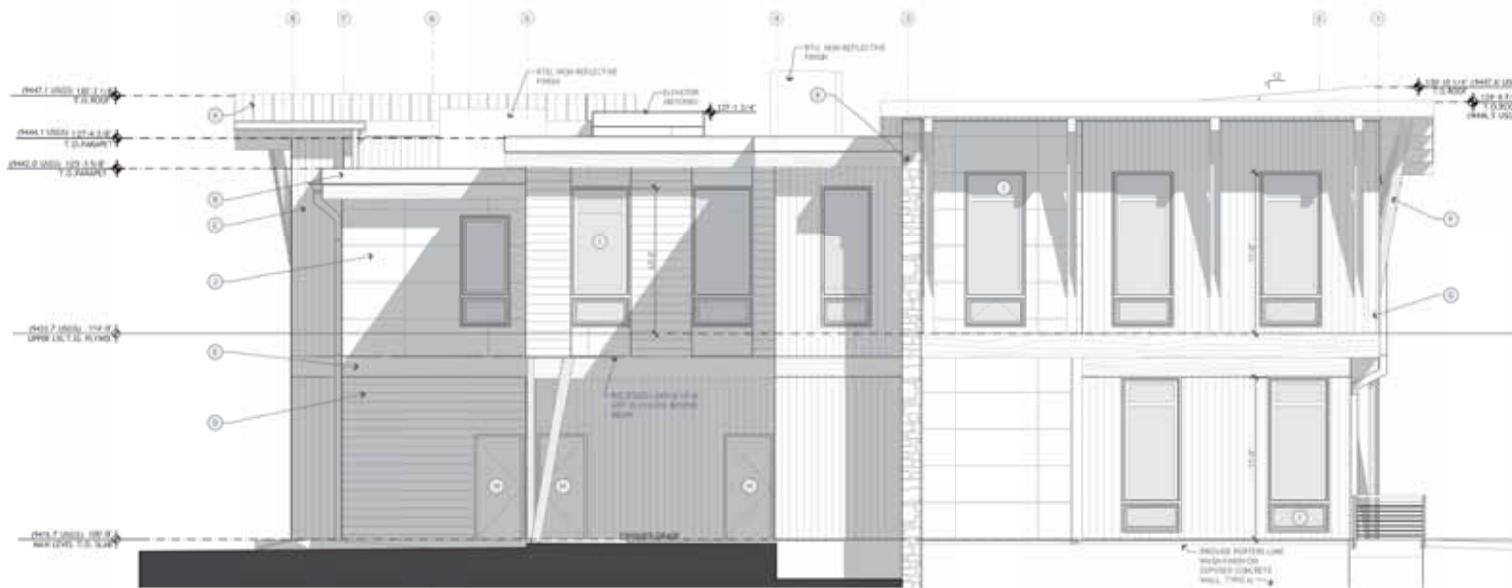
PROJECT NO: 2019-4  
DRAWN BY: AL PROSSER  
CHK'D BY: AL PROSSER

SHEET TITLE  
**COMMERCIAL BUILDING ELEVATIONS**

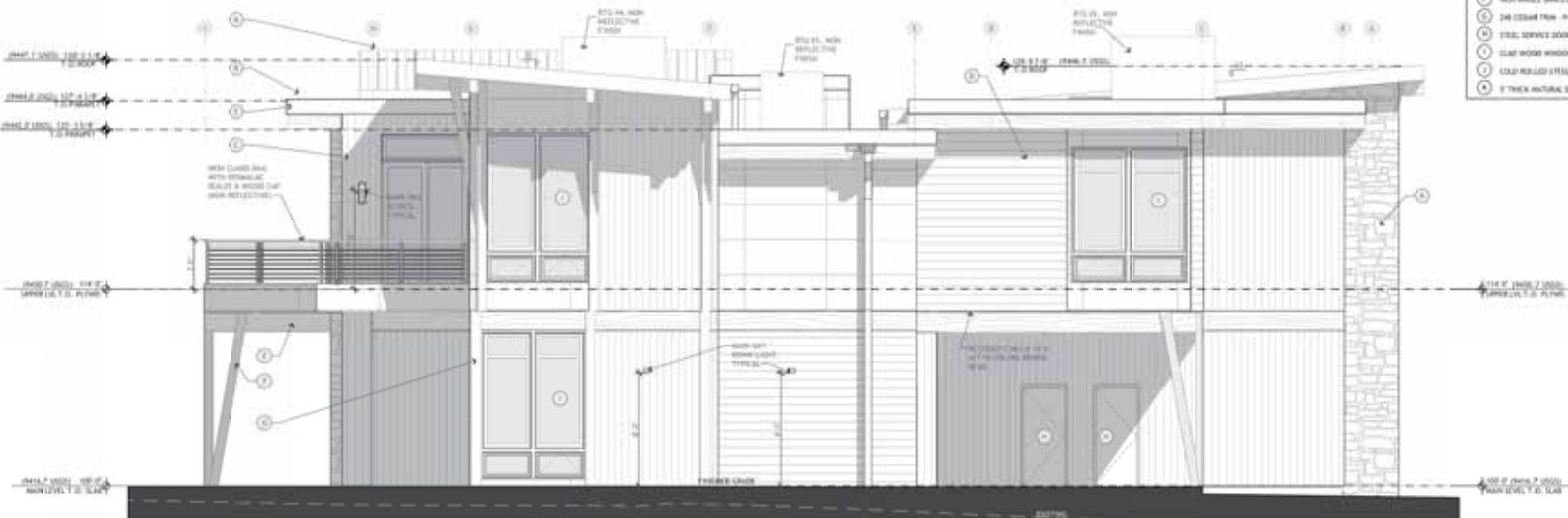
**A-300**



1 WEST ELEVATION



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**BUILDING ELEVATION NOTES:**

1. REFER TO MATERIAL LEGEND FOR FINISH DESIGNATION.
2. PROVIDE GLAZING THAT MEETS SUMMIT COUNTY ENERGY CODE REQUIREMENTS.
3. VERIFY WINDOW OPENING DIMENSIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURER PRIOR TO FRAMING OPERATIONS.
4. PROVIDE WEATHERSTRIPPING AND GUMMETAL THRESHOLDS AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTHS AND WALL THICKNESSES PRIOR TO ORDERING WINDOW AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. INSULATE ALL SIMA PANELS AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOW OR DOOR.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL NAUL FLANGES FOR MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. PROVIDE 2x LVL, PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR DOORS & WINDOWS.
11. ALL WINDOWS AND DOORS TO HAVE FIELD-APPLIED TRIM, DO NOT TRIM TO METAL BRICK MOLD.
12. PROVIDE SWEEP BRUSHING FOR (OWNER'S ARCHITECT) APPROVAL PRIOR TO ORDERING CUSTOM WINDOWS AND DOORS.
13. SEE FLOOR PLAN FOR WINDOW & DOOR OPERATIONS.

**METAL SIDING AREAS - NORTH ELEVATION**

TOTAL SIDING AREA = 1,831 S.F. (100%)  
METAL SIDING AREA = 756 S.F. (41%)

**METAL SIDING AREAS - EAST ELEVATION**

TOTAL SIDING AREA = 1,764 S.F. (100%)  
METAL SIDING AREA = 277 S.F. (16%)

**COMMERCIAL FINISH LEGEND**

- (A) FINISHING: SEAM METAL ROOFING - PRE-FINISHED BRONZE
- (B) FINISHING: 1/2" PRE-FIN. SHEET METAL PANEL - BRONZE
- (C) 1/2" VERTICAL WOOD T&G SIDING - "S.W. 3/8\"/>



pennsylvania ARCHITECTURE, LLC  
117 SOUTH ROCKY MOUNTAIN STREET, #1  
P.O. BOX 8662  
BRECKENRIDGE, CO 80424  
760.453.2500  
PENNARCHITECTURE.COM

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**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

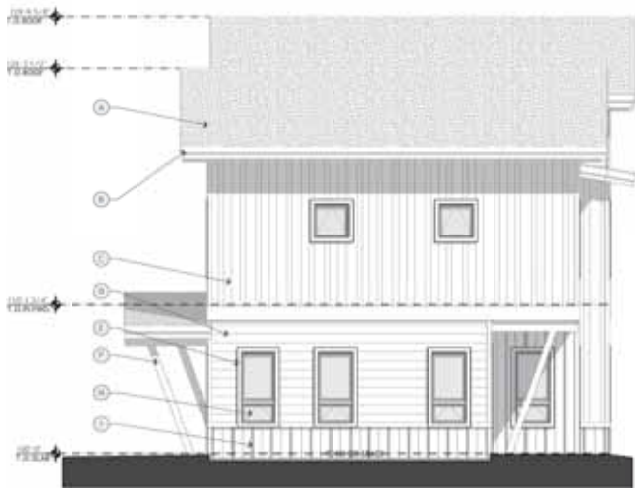
DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/20	DEVELOPMENT PERMIT APPLICATION REVIEW
03/11/20	DEVELOPMENT PERMIT APPLICATION REVIEW

PROJECT NO: 2019-4  
DRAWN BY: AL PERSSON  
CHECKED BY: AL PERSSON

SHEET TITLE  
**COMMERCIAL BUILDING ELEVATIONS**

**A-301**





4 DUPLEX SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - SOUTH ELEVATION**  
TOTAL SIDING AREA = 109 S.F. (100%)  
METAL SIDING AREA = 93 S.F. (85%)



2 DUPLEX EAST ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - EAST ELEVATION**  
TOTAL SIDING AREA = 1,114 S.F. (100%)  
METAL SIDING AREA = 101 S.F. (9%)

**BUILDING ELEVATION NOTES:**

1. REFER TO ACTUALS LEGEND FOR FINISH DESIGNATIONS.
2. PROVIDE GLAZING THAT MEETS LOCAL ENERGY CODE REQUIREMENTS.
3. MEET ALL ENERGY SAVING DEMANDS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPENINGS.
4. PROVIDE WOOD-FRAME TRIMMING AND ALUMINUM TRIM/ROCKER AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTH AND WALL THICKNESS PRIOR TO ORDERING WINDOWS AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. METAL AT ALL TRIM SPACES AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOWS & DOORS.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL WALL FLANGES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. PROVIDE 2X 4L, PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR WINDOWS, WINDOWS & HORIZONTAL TRIM.
11. ALL WINDOWS AND DOORS TO HAVE FIELD APPLIED TRIM. DO NOT SUPPLY WITH BRICK MOLD.
12. PROVIDE SINK DRAINAGE FOR OWNER & ARCHITECT APPROVAL PRIOR TO ORDERING CUSTOM WINDOWS AND DOORS.
13. SEE FLOOR PLAN FOR WINDOW / DOOR OPERATION.

**DUPLEX EXTERIOR FINISH LEGEND**

- 1. ASPHALT SHINGLE ROOFING - GAF TIMBERLINE HD 30YR - "CHARCOAL"
- 2. PAINTED 1X4 SHIM 2X10 CEDAR FLOOR
- 3. PAINTED 1X6 VERTICAL WOOD Siding
- 4. PAINTED 1X4 HORIZONTAL WOOD SHIP LAP SIDING
- 5. PAINTED 2X4 WOOD-CORNER BOARDS & TRIM
- 6. PAINTED WOOD BEAMS & POSTS
- 7. PAINTED STEEL SERVICE DOOR
- 8. SLAB WOOD WINDOWS & DOORS - "TRIMKIT"
- 9. PRE-FINISHED VERTICAL METAL PANEL SIDING

**NOTE**

DUPLEX SIDING APPLICATIONS VARY AMONG BUILDINGS IN COMPLIANCE WITH POLICY 514 - ARCHITECTURAL COMPATIBILITY. SEE ORIGINAL PROJECT RENDERING.



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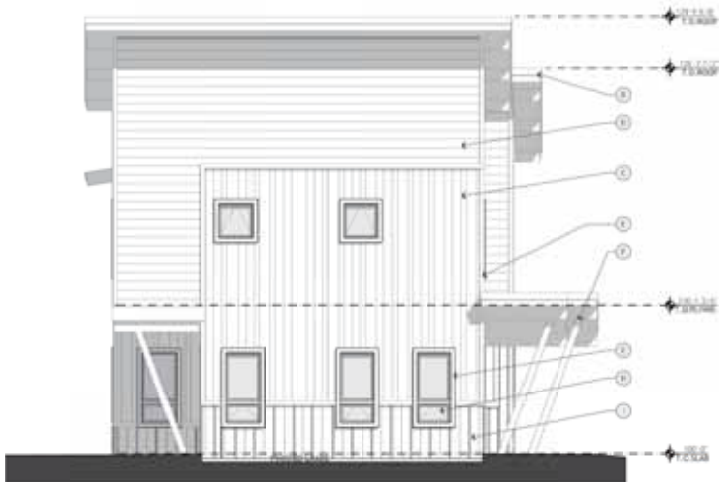
**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
02/22/20	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/20	DEVELOPMENT PERMIT APPLICATION REVIEW
02/27/20	DEVELOPMENT PERMIT APPLICATION REVIEW

PROJECT NO: 2019-4  
DRAWN BY: AL PEREIRO  
CHECK BY: AL PEREIRO

SHEET TITLE  
**DUPLEX APARTMENT ELEVATIONS**

**A-302**



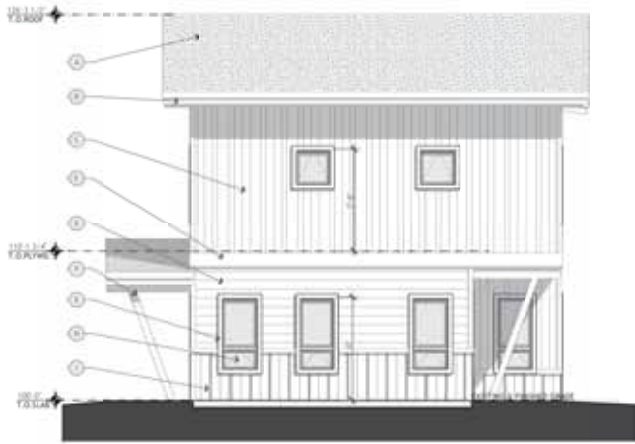
3 DUPLEX NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - NORTH ELEVATION**  
TOTAL SIDING AREA = 770 S.F. (100%)  
METAL SIDING AREA = 76 S.F. (10%)



1 DUPLEX WEST ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - WEST ELEVATION**  
TOTAL SIDING AREA = 1,176 S.F. (100%)  
METAL SIDING AREA = 208 S.F. (18%)



4 COTTAGE SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - SOUTH ELEVATION**

TOTAL SIDING AREA = 513 S.F. (189sq)  
METAL SIDING AREA = 62 S.F. (22sq)



2 COTTAGE WEST ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - WEST ELEVATION**

TOTAL SIDING AREA = 555 S.F. (198sq)  
METAL SIDING AREA = 41 S.F. (15sq)



3 COTTAGE NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - NORTH ELEVATION**

TOTAL SIDING AREA = 432 S.F. (159sq)  
METAL SIDING AREA = 32 S.F. (11sq)



1 COTTAGE EAST ELEVATION  
SCALE: 1/4" = 1'-0"

**METAL SIDING AREAS - EAST ELEVATION**

TOTAL SIDING AREA = 539 S.F. (195sq)  
METAL SIDING AREA = 26 S.F. (9sq)

**BUILDING ELEVATION NOTES:**

1. REFER TO ACTUALS LEGEND FOR FINISH DESIGNATIONS.
2. PROVIDE GLAZING THAT MEETS LOCAL ENERGY CODE REQUIREMENTS.
3. VERIFY ALL GLAZING OPERATIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPERATIONS.
4. PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLD AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTH AND WALL THICKNESS PRIOR TO ORDERING WINDOWS AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. FINISH ALL TRIM SPACES AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOWS & DOORS.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL WALL FLANGES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. PROVIDE 2x4, PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR DOORS & WINDOWS.
11. ALL WINDOWS AND DOORS TO HAVE FULL APPLIED TRIM. DO NOT SUPPLY WITH BRICE MOLD.
12. PROVIDE SHIP BRACKETS FOR OWNER & ARCHITECT APPROVAL PRIOR TO ORDERING EXTERIOR WINDOWS AND DOORS.
13. SEE FLOOR PLAN FOR WINDOW / DOOR OPERATION.

**DUPLEX EXTERIOR FINISH LEGEND**

- 1 ASPHALT SHINGLE ROOFING - GAF TIMBERLINE HD 30YR - "CHARCOAL"
- 2 PAINTED 1x4 SHIP 2X10 COLOR PINKEN
- 3 PAINTED 1x6 VERTICAL WOOD SHIP SIDING
- 4 PAINTED 1x8 HORIZONTAL WOOD SHIP LAP SIDING
- 5 PAINTED 2x4 WOOD-CORNER BOARDS & TRIM
- 6 PAINTED WOOD BEAMS & POSTS
- 7 PAINTED STEEL SERVICE DOOR
- 8 SLAB WOOD WINDOWS & DOORS - "SUGAR"
- 9 PRE-FINISHED VERTICAL METAL PANEL SIDING

PRESTON ARCHITECTURE, LLC  
117 SOUTH ROSS STREET, #1  
P.O. BOX 8662  
BRECKENRIDGE, CO 80424  
970.421.2540  
PRESTONARCHITECTURE.COM

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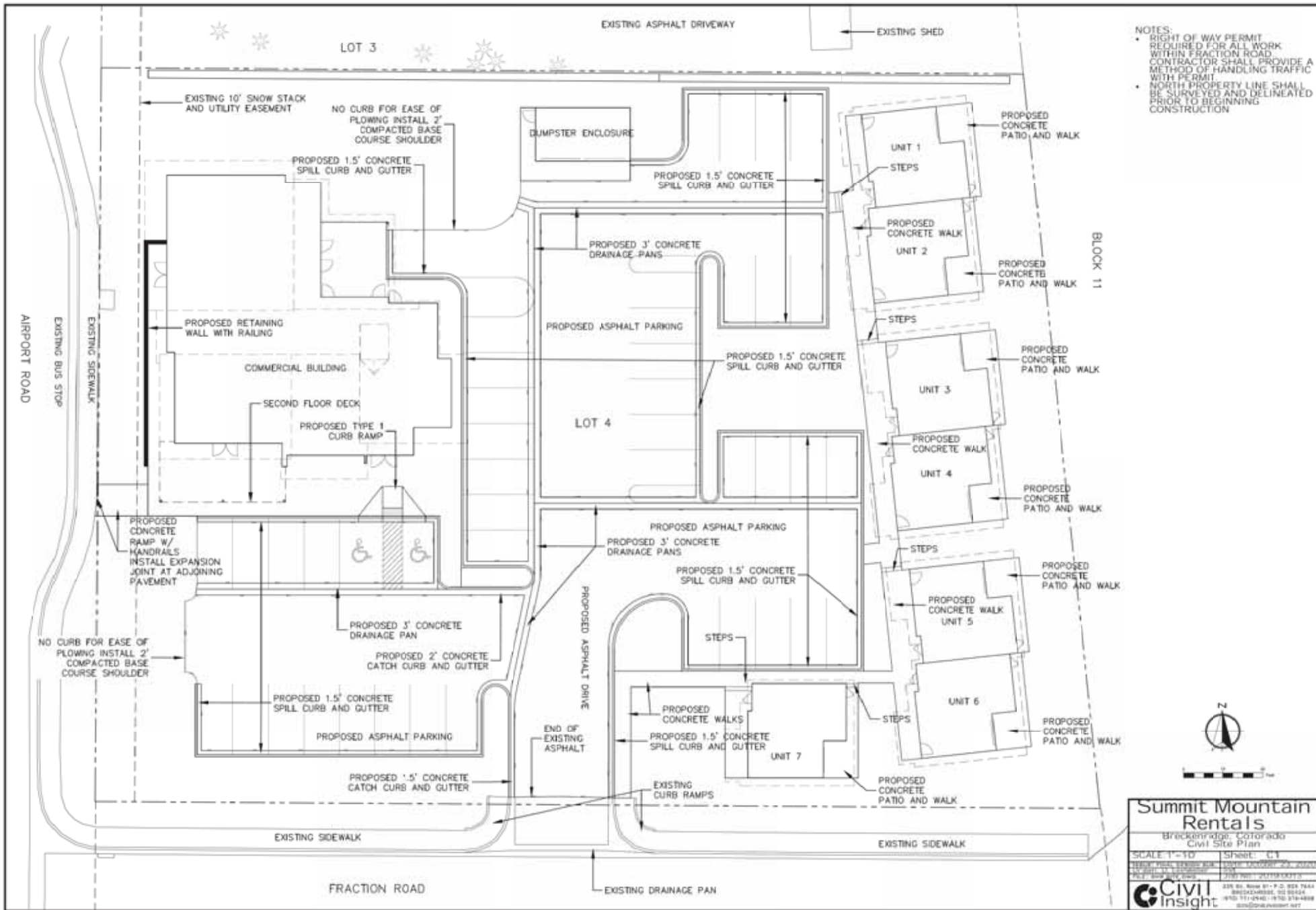
**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
08/22/2019	FINAL DEVELOPMENT PERMIT APPLICATION REVIEW
08/22/19	DEVELOPMENT PERMIT APPLICATION REVIEW
08/22/19	DEVELOPMENT PERMIT APPLICATION REVIEW

PROJECT NO: 2019-4  
DRAWN BY: AL PRESTON  
CHECKED BY: AL PRESTON

SHEET TITLE  
**COTTAGE APARTMENT ELEVATIONS**

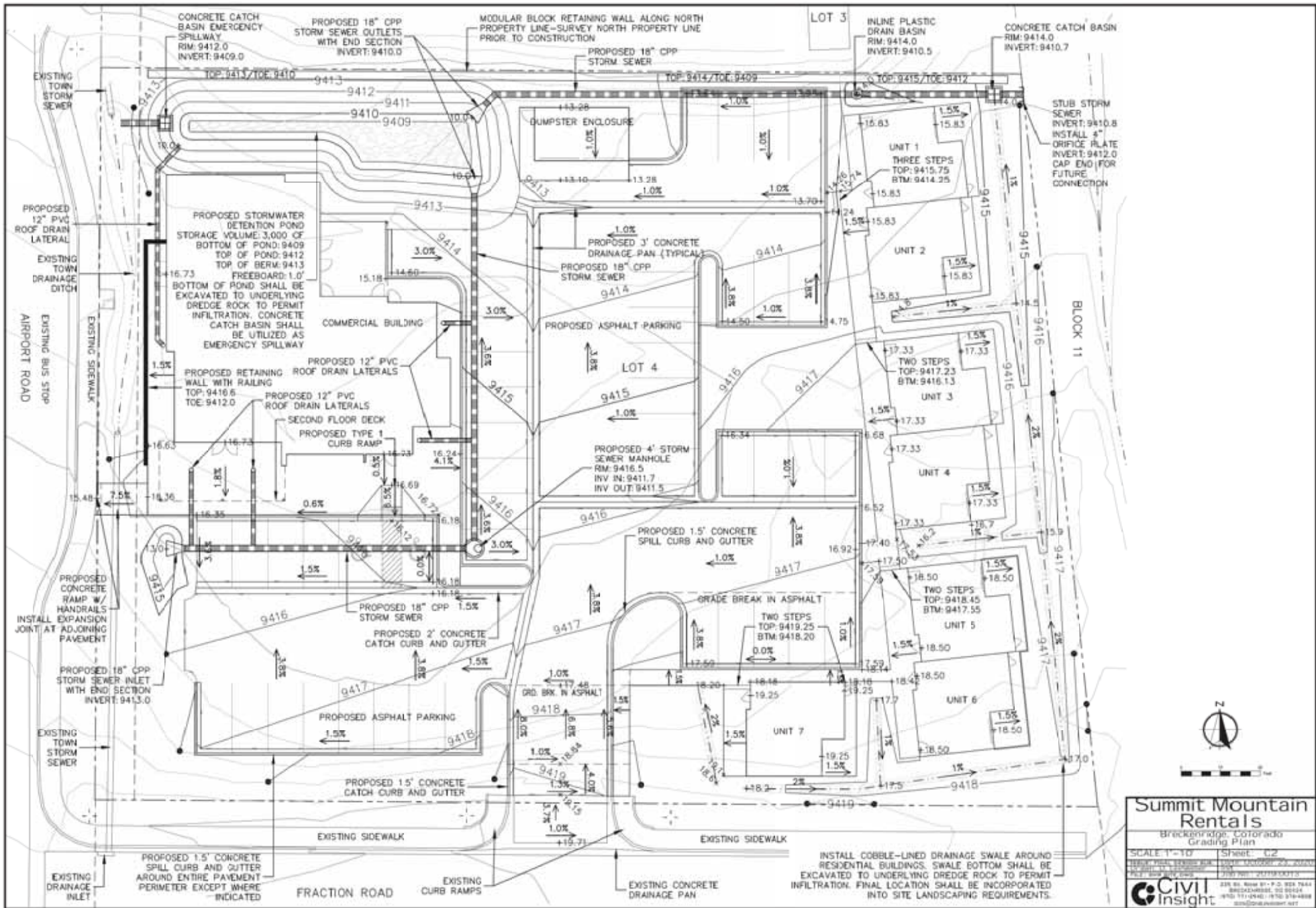
**A-303**



- NOTES:
- RIGHT OF WAY PERMIT REQUIRED FOR ALL WORK WITHIN FRACTION ROAD. CONTRACTOR SHALL PROVIDE A METHOD OF HANDLING TRAFFIC WITH PERMIT.
  - NORTH PROPERTY LINE SHALL BE SURVEYED AND DELINEATED PRIOR TO BEGINNING CONSTRUCTION.

**Summit Mountain Rentals**  
 Breckenridge, Colorado  
 Civil Site Plan  
 SCALE 1" = 10' - 1" SHEET: 01  
 10/21/2019  
 10/21/2019  
 10/21/2019

**Civil Insight**  
 238 W. Hwy 61 • P.O. Box 7444  
 Breckenridge, CO 80424  
 970.751.0442 • 970.751.4888  
 www.civilinsight.net



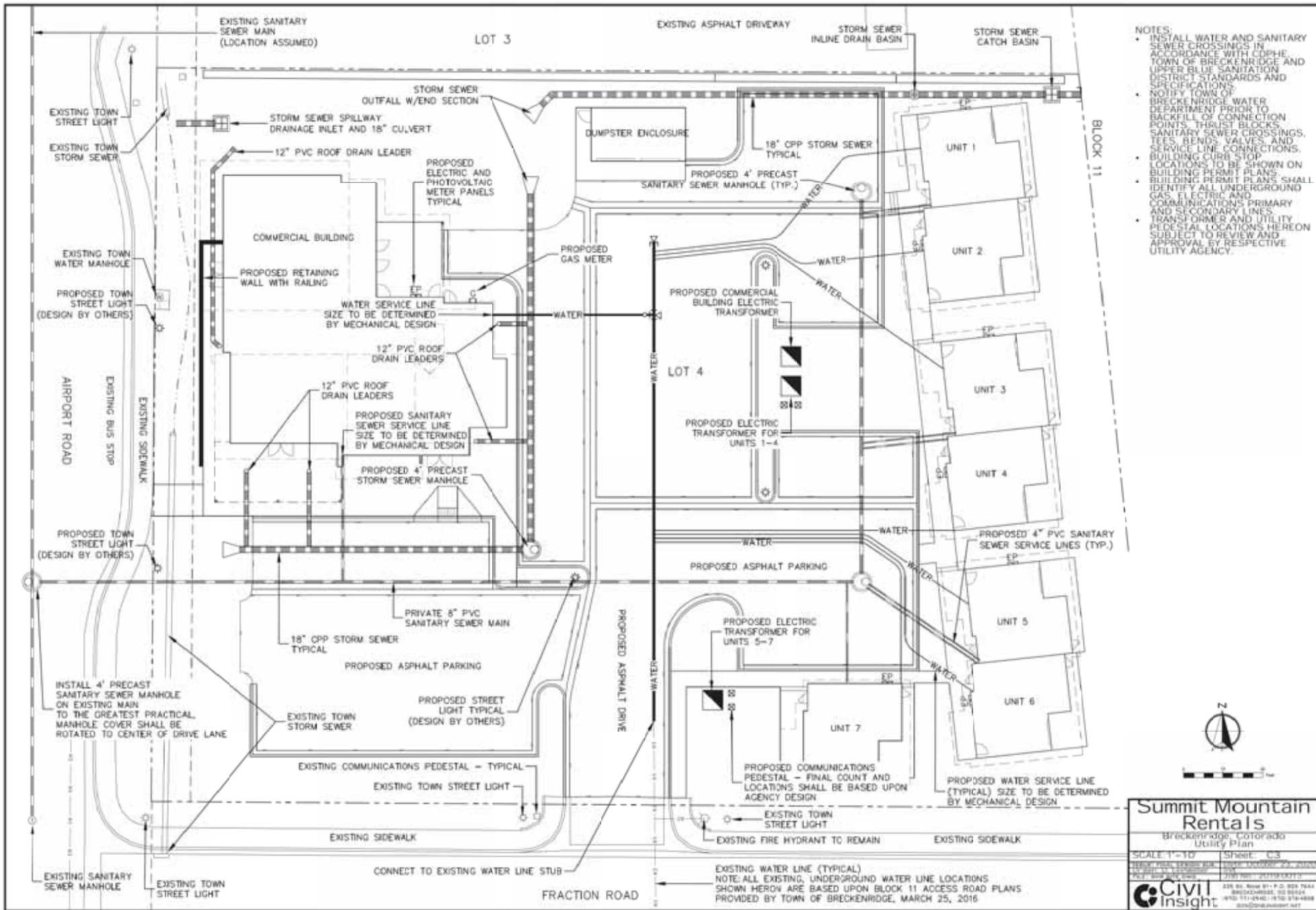


**Summit Mountain Rentals**  
 Breckenridge, Colorado  
 Grading Plan

SCALE 1"=10' SHEET 02  
 11/14/2018 10:00 AM  
 11/14/2018 10:00 AM  
 11/14/2018 10:00 AM

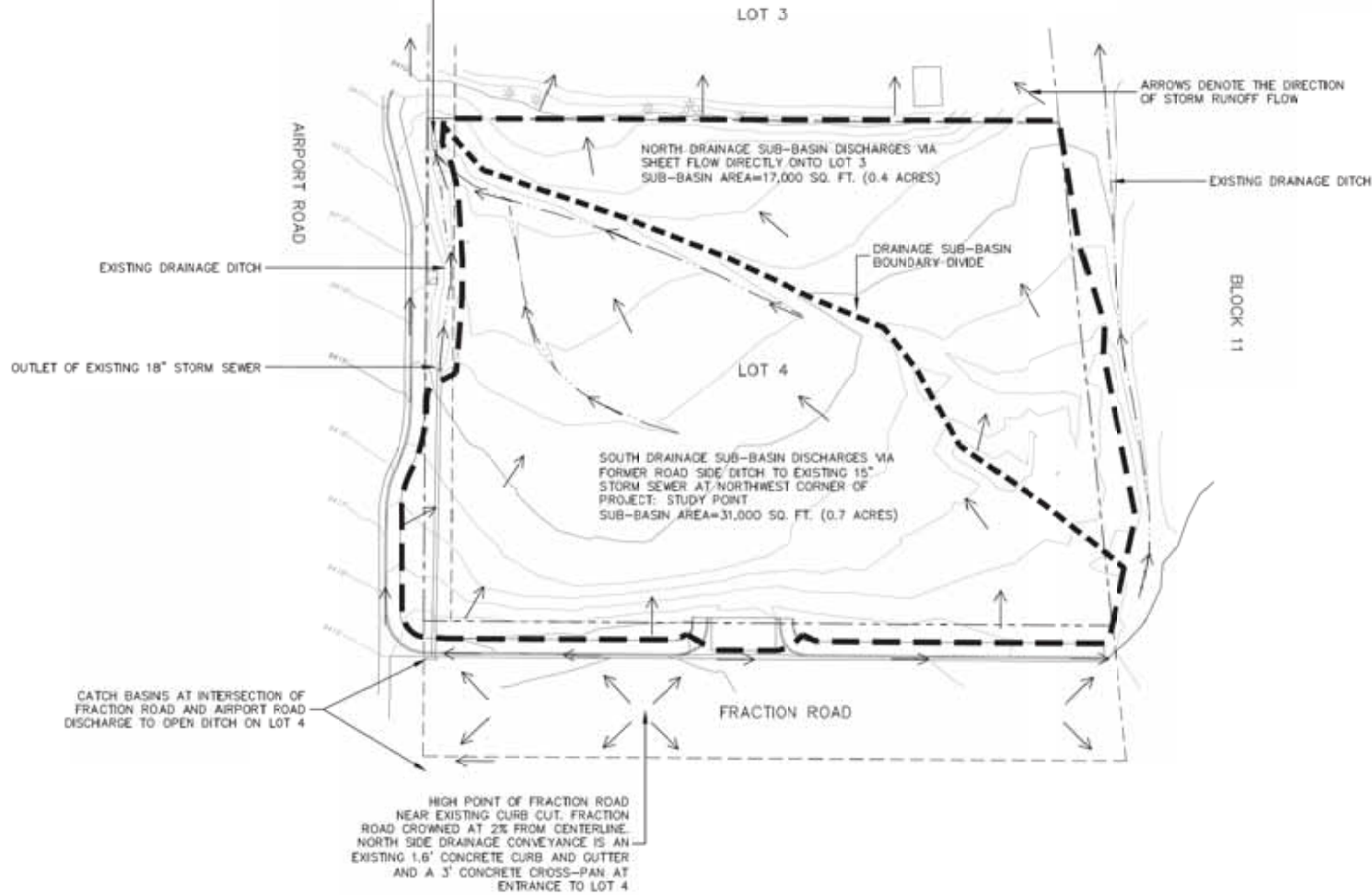

 235 W. New St. P.O. Box 7444  
 Breckenridge, CO 80424  
 970.751.9462 / 970.751.9468  
 civilinsight.com

INSTALL COBBLE-LINED DRAINAGE SWALE AROUND RESIDENTIAL BUILDINGS. SWALE BOTTOM SHALL BE EXCAVATED TO UNDERLYING DREDGE ROCK TO PERMIT INFILTRATION. FINAL LOCATION SHALL BE INCORPORATED INTO SITE LANDSCAPING REQUIREMENTS.

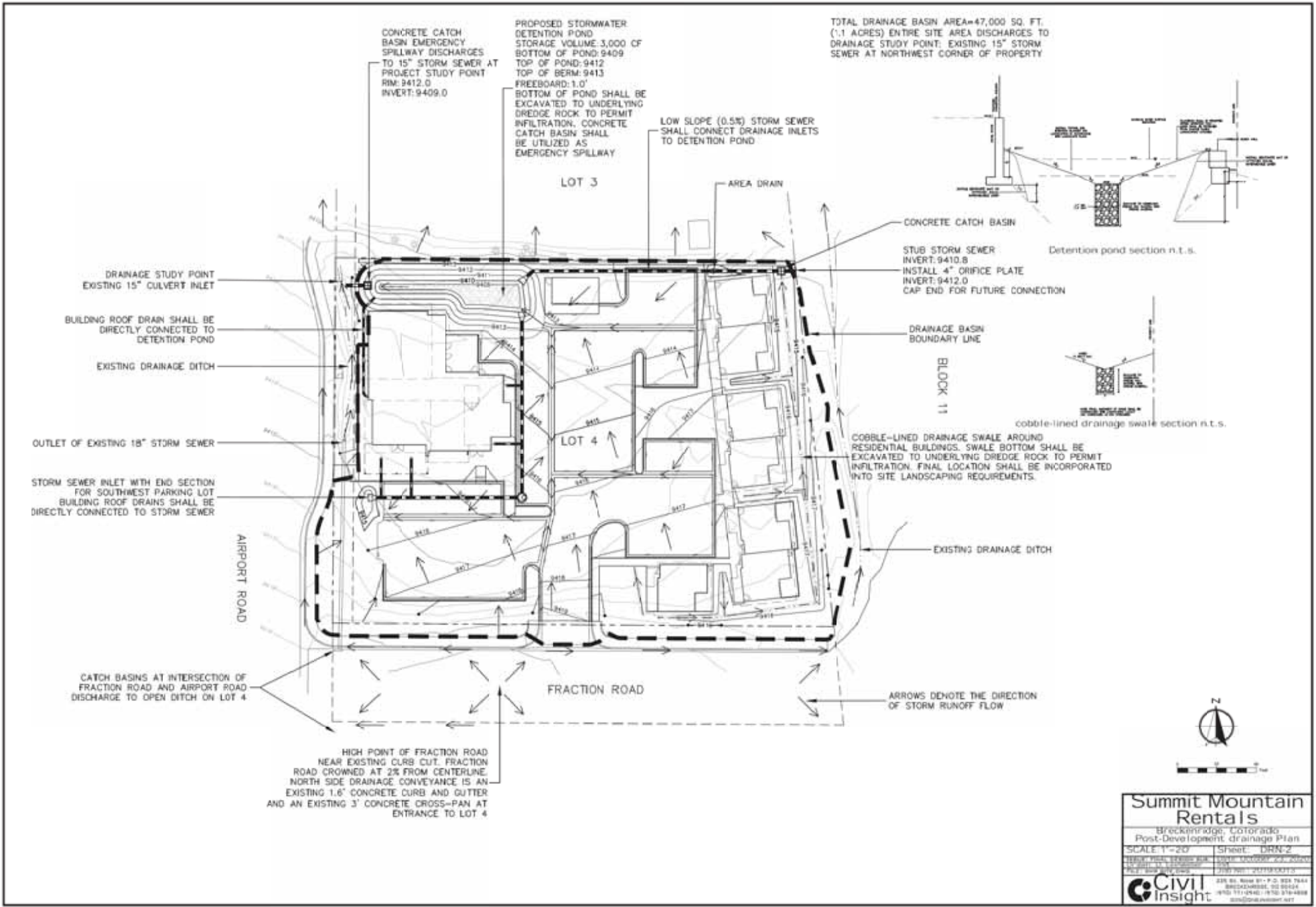


DRAINAGE STUDY POINT  
EXISTING 15" CULVERT INLET  
LOCATION APPROXIMATE BASED  
UPON PLANS PROVIDED BY  
TOWN OF BRECKENRIDGE ENGINEERING

TOTAL DRAINAGE BASIN AREA=48,000 SQ. FT.  
(1.1 ACRES) - FOR ESTIMATING PURPOSES  
AND DEVELOPMENT OF STORMWATER  
RETENTION FACILITIES, ENTIRE AREA ASSUMED  
TO DISCHARGE TO DRAINAGE STUDY POINT.  
EXISTING 15" STORM SEWER AT NORTHWEST  
CORNER OF PROPERTY



**Summit Mountain Rentals**  
Breckenridge, Colorado  
Pre-Development drainage Plan  
SCALE 1"=20' SHEET: DRN-1  
DATE: 10/15/2014  
PROJECT: 15000 S. 100TH ST. BRECKENRIDGE, CO  
CIVIL INSIGHT  
235 N. Main St. • P.O. Box 7444  
BRECKENRIDGE, CO 80424  
970.751.1942 • 970.751.1948  
civil@summitrentals.com






STANDING SEAM ROOF & WINDOW FRAME  
"DARK BRONZE"



FIRESTONE EPDM ROOFING  
"GRAY"



WOOD BEAMS & TRIM  
SW 3508 "COVERED BRIDGE"




1X6 T&G SIDING & SOFFIT  
SW3509 "BAJA BEIGE"



**provino**  
ARCHITECTURE, LLC

106 NORTH FRENCH STREET  
SUITE 100  
P.O. BOX 8662  
BRECKENRIDGE, CO 80424  
970.453.2520  
WWW.PROVINOARCHITECTURE.COM



HORIZONTAL 1X8 WOOD SIDING  
SW 3518 "HAWTHORNE"



STEEL ACCENT SIDING, COLUMNS & RAILING  
COLD ROLLED WITH "PERMALAC SEALER"

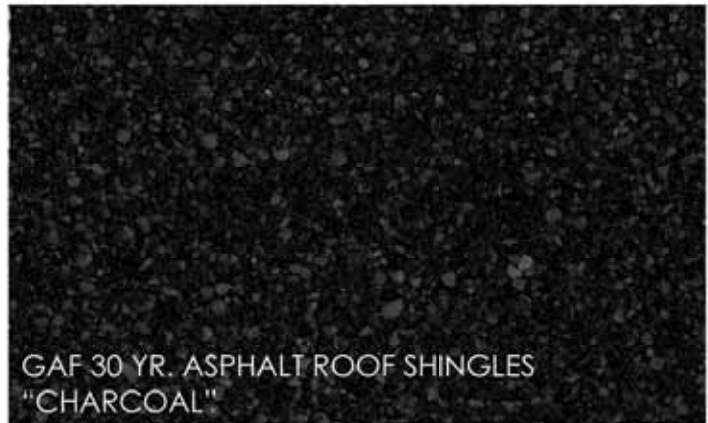


GALLEGOS STONE VENEER  
#366 "COURTLAND LOW RISE"

**SUMMIT MOUNTAIN RENTALS**  
EXTERIOR MATERIAL BOARD - COMMERCIAL BLDG.  
MARCH 16, 2020



WINDOW FRAME CLADDING  
"DARK BRONZE"



GAF 30 YR. ASPHALT ROOF SHINGLES  
"CHARCOAL"



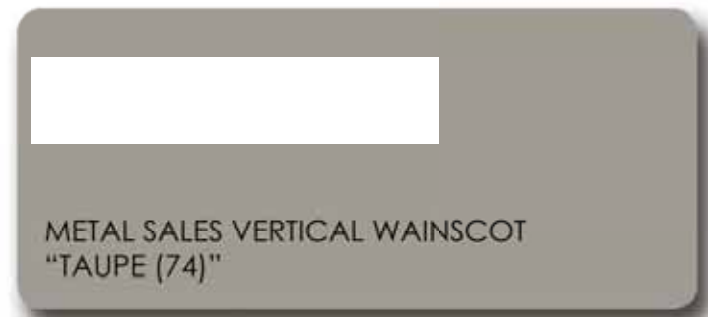
1X8 WOOD SIDING  
HC-25 "QUINCY TAN"



1X6 OVER 1X10 CEDAR FACIA  
SW 3039 "TOBACCO"



VERTICAL B&B WOOD SIDING  
HC-76 "DAVENPORT TAN"



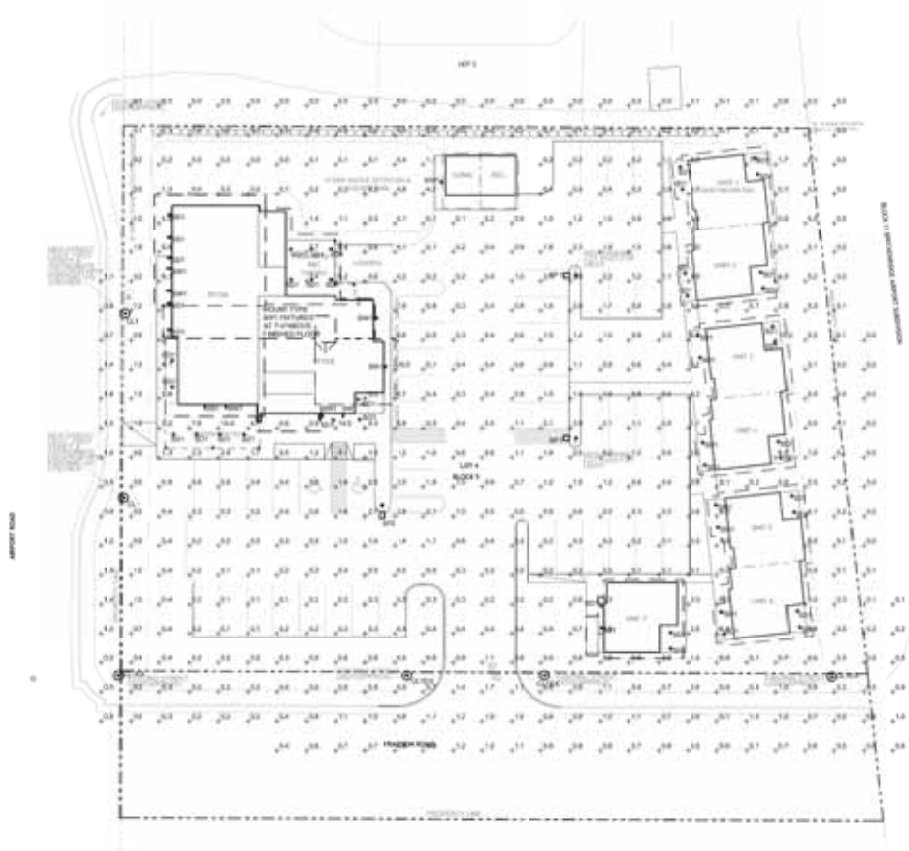
METAL SALES VERTICAL WAINSCOT  
"TAUPE (74)"



**provino**  
ARCHITECTURE, LLC

106 NORTH FRENCH STREET  
SUITE 100  
P.O. BOX 8662  
BRECKENRIDGE, CO 80424  
970.453.2520  
WWW.PROVINOARCHITECTURE.COM

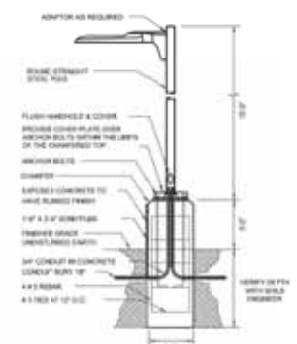
**SUMMIT MOUNTAIN RENTALS**  
EXTERIOR MATERIAL BOARD - RESIDENTIAL BLDG'S.  
MARCH 16, 2020



LIGHTING - SITE PLAN  
SCALE 1/8" = 1'-0"

TYPE	MANUFACTURER CATALOG #	MANUFACTURER CATALOG #	WARRANTY	WARRANTY	WARRANTY	DESCRIPTION
001	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
002	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
003	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
004	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
005	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
006	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
007	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
008	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
009	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL
010	ARCHITECTURAL AREA	ARCHITECTURAL AREA	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL	RECYCLED METAL

NOTES:  
1. THE ELECTRICAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND COMPONENTS NECESSARY FOR A FULL AND COMPLETE INSTALLATION AND MAINTENANCE OF ALL LUMINAIRE.  
2. ALL Poles TO BE STRAIGHT POLE. ONLY TO MATCH LUMINAIRE. POLE SHALL BE MADE OF 100% GALV. STEEL.  
3. ALL DIMENSIONS SHOWN SHALL BE TO CENTER OF LIGHT SOURCE UNLESS OTHERWISE NOTED.  
4. ALL DIMENSIONS SHOWN SHALL BE TO CENTER OF LIGHT SOURCE UNLESS OTHERWISE NOTED.  
5. VERIFY DIMENSIONS OF ALL DIMENSIONS TO POLE PLACEMENT BEFORE PROCEEDING.  
6. VERIFY ALL DIMENSIONS SHOWN WITH ALL DIMENSIONS AND SHALL VERIFY ALL DIMENSIONS FOR EACH LUMINAIRE FROM TO BE INSTALLED.



PARKING LOT LIGHT POLE DETAIL  
NOT TO SCALE

- NOTES:  
1. VERIFY THE BURIED DEPTH AND LOCATION OF THE STRUCTURE WITH THE LOCAL ENGINEER PRIOR TO PLACING THE CONCRETE.  
2. THE ELECTRICAL CONTRACTOR IS TO VERIFY THE BURIED DEPTH AND LOCATION OF THE STRUCTURE WITH THE LOCAL ENGINEER PRIOR TO PLACING THE CONCRETE.  
3. ALL DIMENSIONS SHOWN SHALL BE TO CENTER OF LIGHT SOURCE UNLESS OTHERWISE NOTED.

GENERAL NOTES:  
1. CALCULATIONS AND LIGHT POLE PLACEMENT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.  
2. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE BURIED DEPTH AND LOCATION OF THE STRUCTURE WITH THE LOCAL ENGINEER PRIOR TO PLACING THE CONCRETE.  
3. ALL DIMENSIONS SHOWN SHALL BE TO CENTER OF LIGHT SOURCE UNLESS OTHERWISE NOTED.  
4. VERIFY ALL DIMENSIONS SHOWN WITH ALL DIMENSIONS AND SHALL VERIFY ALL DIMENSIONS FOR EACH LUMINAIRE FROM TO BE INSTALLED.

**pA**  
PROVADA ARCHITECTURE, LLC  
101 NORTH FRENCH STREET  
SUITE 100  
P.O. BOX 888  
BRECKENRIDGE, CO 80424  
761.411.2333  
PROVADAARCHITECTURE.COM

**Wigham Consulting Engineers, Inc.**  
101 North French Street  
Suite 100  
Breckenridge, CO 80424  
761.411.2333  
WIGHAMCONSULTING.COM

**SUMMIT MOUNTAIN RENTALS**  
1730 AIRPORT ROAD  
BRECKENRIDGE, CO 80424

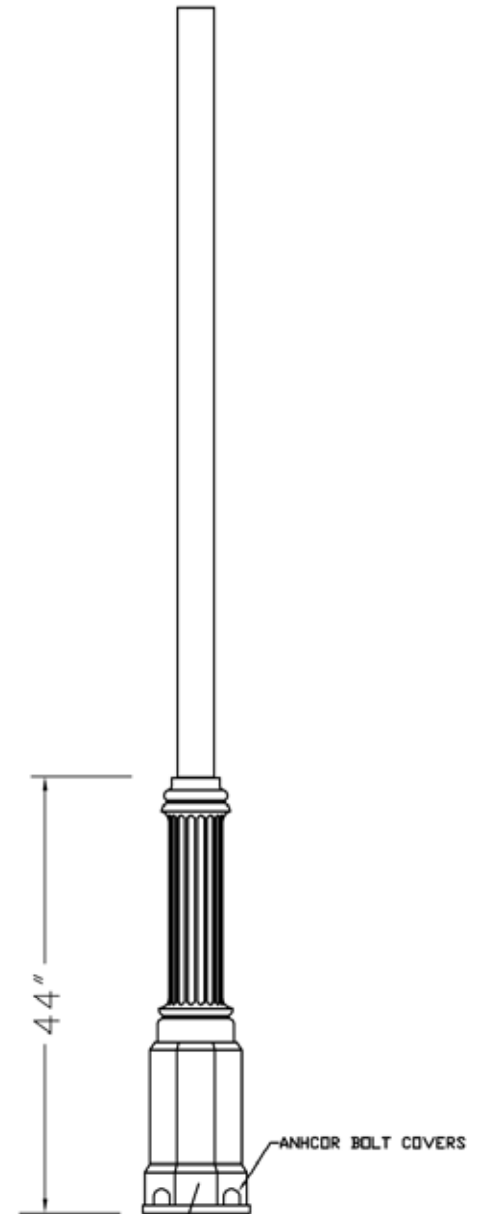
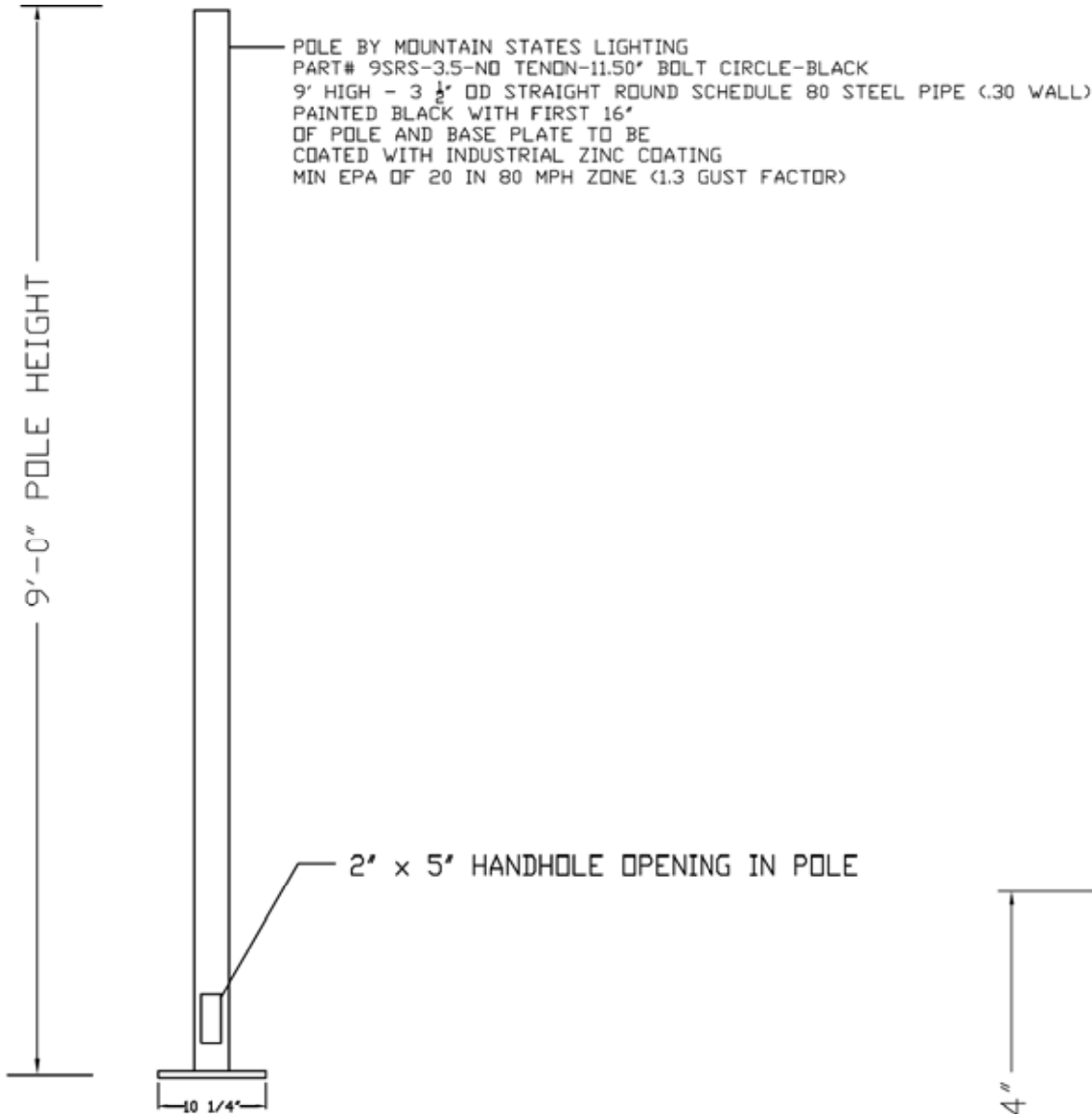
PROJECT NO.	30-037
DRAWN BY	WIG
CHECKED BY	WIG
DATE	10/20/2023

SHEET TITLE  
**LIGHTING - SITE IES PLAN**

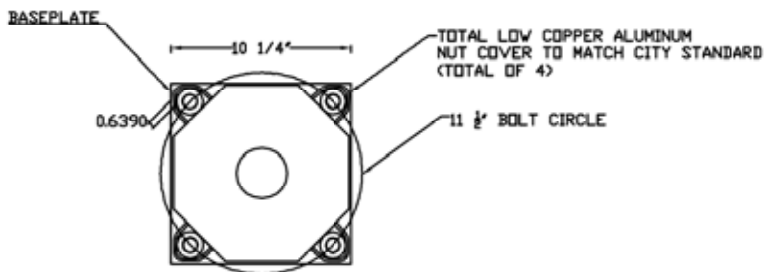
IES1-1  
10/20/23 01 OF 02

PART# 9SRS-3.5-NO TENDN-11.50" BOLT CIRCLE-CA6640-BLACK

FINISH:  
BLACK



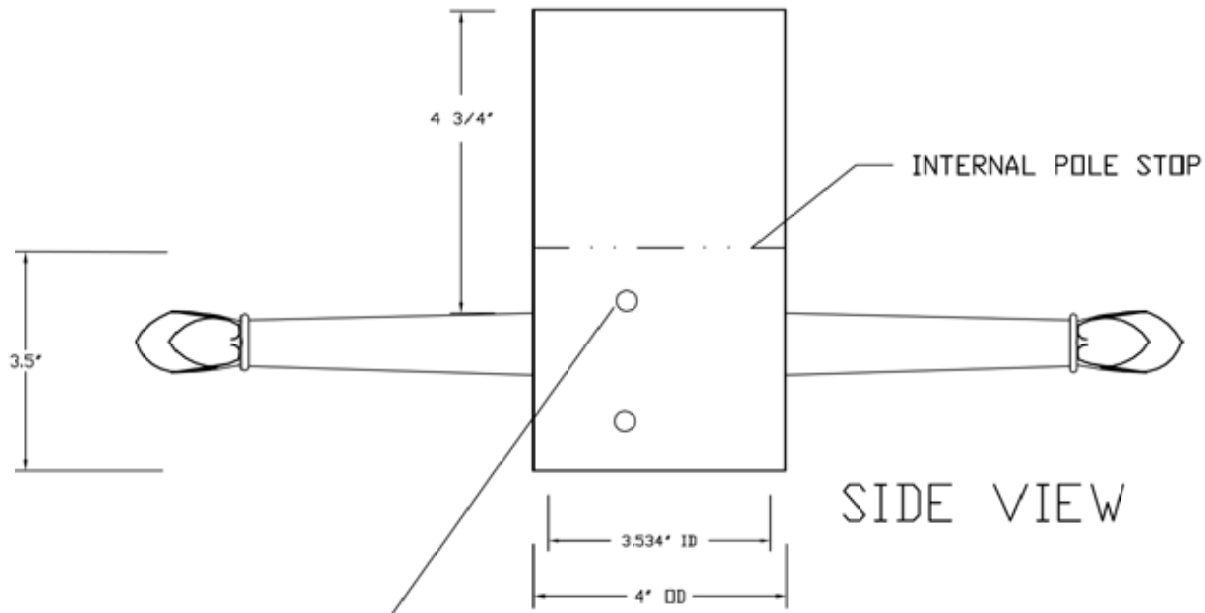
SLIPCOVER DECORATIVE BASE COVER  
DIE-CAST ALUMINUM ALLOY 356HMLC, HIGH STRENGTH, COPPER FREE  
(SPECIAL ALLOY FOR CORROSION RESISTANCE TO MAG CHLORIDE & SALTS)  
DECORATIVE BASE TO MATCH LOOK OF CITY STANDARD EXACTLY.  
(10" HEX, 10 3/4" POINT TO POINT. SEPARATE ANCHOR BOLT COVERS)



**BASEPLATE INFORMATION**

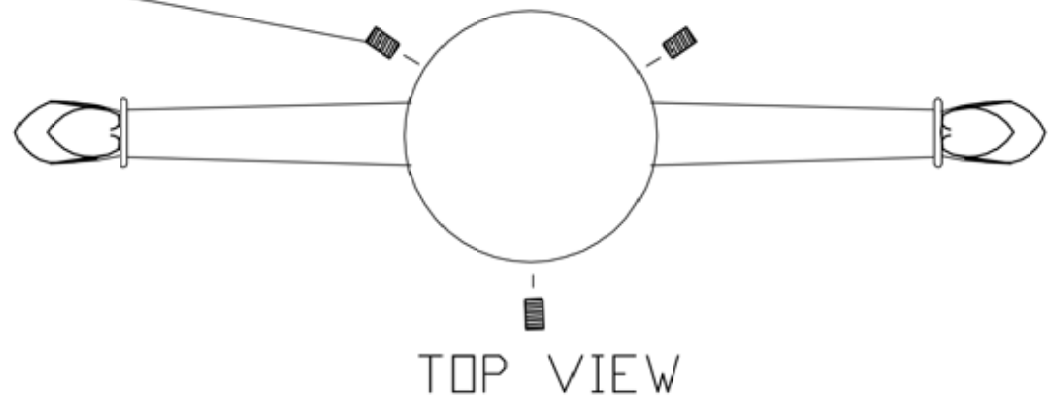
BASEPLATE TO BE 10 1/4" SQUARE 5/8" THICK. (SHARP CORNERS).  
BOLT CIRCLE TO BE 11.5" EXACTLY. HOLES TO ACCOMMODATE  
5/8" to 3/4" ANCHOR BOLTS PROVIDED WITH POLE.  
BASE PLATE AND BOTTOM 18" OF POLE TO BE COATED  
WITH INDUSTRIAL COLD GALV BEFORE BEING PAINTED.

REVISIONS: .			
MOUNTAIN STATES LIGHTING		P.O. Box 449 Conifer, CO 80433 Phone 303-838-4430 Fax 801-605-9058	
JOB NAME: TOWN OF BRECKENRIDGE 9' POLE STANDARD			
SCALE: NTS	DATE: 7/15/2014	DRAWN BY: PMP	DRAWING NUMBER: 9SRS-SM OCT-MSL
REP: Mountain States	QUOTE #	DIST: 52	



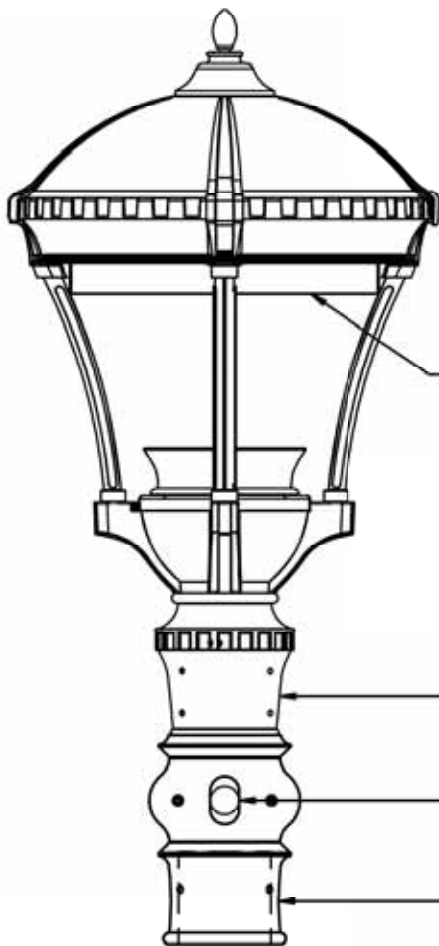
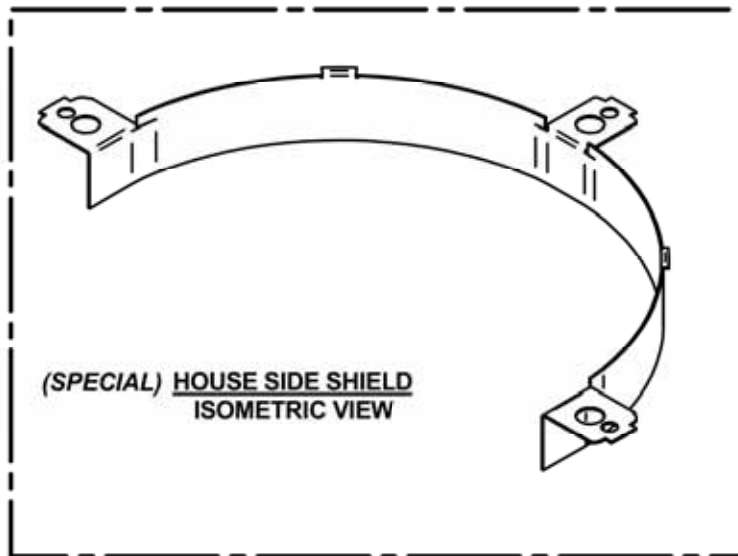
5/16" SS CUP POINT SETSCREWS  
OF 3 @ 120 DEGREES.

FINISH:  
BLACK



TOWN OF BRECKENRIDGE DOWNTOWN  
4" OD-3.5" ID LADDER REST  
(Match Town Standard Exactly)

REVISIONS:			
MOUNTAIN STATES LIGHTING		P.O. Box 449 Conifer, CO 80433 Phone 303-838-4430 Fax 801-605-9058	
JOB NAME: TOWN OF BRECKENRIDGE 4" OD CUTOFF LADDER REST			
SCALE: NTS	DATE: 03/01/11	DRAWN BY: PMP	DRAWING NUMBER: CDB-4"OD-LD
REP: Mountain States		QUOTE #:	DIST.:



ALUM. HOUSE SIDE SHIELD 180"  
(SPECIAL)

FIXTURE CAST FITTER  
SLIPS OVER A PCA-T  
SECURES W/(3) S/S SET SCREWS.

PHOTOCONTROL TWIST LOCK RECEPTACLE  
WITH SHIELD SUPPLIED AND PRE-WIRED  
TO FIXTURE BY A.A.L.

PCA-C  
ROTATABLE PHOTOCELL HOUSING  
DESIGNED TO SLIP OVER A 4" O.D. POLE  
SECURES W/(6) S/S SET SCREWS.

DWG. REF. # 17A-1130 REV A

SOLD TO:

PO#

JOB NAME:

TOWN OF BRECKENRIDGE



Hubbell Lighting, Inc.



17760 Rowland St.  
City of Industry, CA 91748  
(626)968-5666

Architectural Area Lighting  
Reserves The Right To Change  
Manufacturing Processes Without  
Notice.

TYPE  INPUT:

CATALOG NUMBER

PROV-T3

32LED-3K-700-LDL-HSS

PCA-T

18A-1609

FINISH: POLYESTER POWDER  
COAT.

AAL COLOR: **BL**

TO MATCH:

PROVIDE A SAMPLE COLOR CHIP

LAMPING

LAMP TYPE **LED**

WATTAGE **75**

VOLTAGE **120-277**

ANCHOR BOLTS

QTY

SIZE

BOLT CIRCLE

PROJECTION

LEVELING NUTS AND WASHERS  
MUST BE INSTALLED UNDER ALL  
BASES

ONE APPROVED DRAWING  
MUST BE RETURNED TO A.A.L.  
BEFORE THIS PRODUCT CAN BE  
FABRICATED

**Note: For locations near saltwater,  
clear anodize coating is the suggested  
application. This configuration will  
need to be requested during order  
entry.**

**WARNING: THIS FIXTURE MUST  
BE GROUNDED IN ACCORDANCE  
WITH LOCAL CODES OR THE  
NATIONAL ELECTRICAL CODE.  
FAILURE TO DO SO MAY RESULT  
IN SERIOUS PERSONAL INJURY.**

**\*ARCHITECTURAL AREA LIGHTING  
ASSUMES NO RESPONSIBILITY OF  
HARM CAUSED BY FAILURES DUE  
TO IMPROPER SITE ANALYSIS OR  
USAGE OF PRODUCTS OTHER  
THAN THEIR INTENDED PURPOSE  
AS SHOWN IN THIS DOCUMENT.**

18A-1609

DATE  
12/20/2018

DRWN  
ANTHONY

**REVIEWED** APPRVD  
By ANTHONY at 8:18 am, Dec 20, 2018

DATE

RE 54

TYPE SD1

QUICK SHIP

AVAILABLE FOR HIGHLIGHTED OPTIONS



Round 3.5" (89mm)

**PANOS**

3.5" Round Downlight

- Unrivaled in lighting quality and efficacy: 80+ or 90+ CRI and up to 103 lm/w
- Easy to install. Installs 50% faster compared to traditional downlights
- A variety of accessories are available
- High-quality polycarbonate reflector using physical vapor deposition (PVD) technology
- Future-proof modular system
- Installed using aluminum mounting ring with anti-slip spring mechanism for tool-free fitting in ceiling
- Simple twist-and-lock mechanism for quick tool-free fitting of luminaire unit
- Suitable for both new construction and retrofit installations

IBEW UNION MADE

DELIVERED LUMENS	COLOR TEMPERATURE	COLOR RENDERING	WATTS	UGR
438 lm - 704lm 1043 lm - 1674 lm	2700 K 3000 K 3500 K 4000 K (MacAdam 3 Step)	CRI 80+ CRI 90+	8 W 19 W	< 19



Suitable for damp locations  
Suitable for wet locations<sup>1</sup>

Energy Star listed for 3500K and 4000K models only  
8 W variant is IC rated

Order Code

[A] PANOS D 3 100 R 6 7 8 9 10 [B] PANOS 12 100DL R 15 16 17 18 [C] 19

[A] DOWNLIGHT

- 1 FIXTURE **PANOS**
- 2 TYPE **D Recessed Downlight**
- 3 TRIM TYPE **N Standard Flange** | **F Flangeless<sup>2</sup>**
- 4 SIZE **100 3.5" Aperture**
- 5 SHAPE **R Round**
- 6 DISTRIBUTION **L Low Reflector** | **H High Reflector**
- 7 WATTAGE **08W 8 Watts<sup>3</sup>** | **19W 19 Watts**
- 8 LED MODULE **827 CRI 80, 2700 K** | **830 CRI 80, 3000 K** | **835 CRI 80, 3500 K** | **840 CRI 80, 4000 K** | **927 CRI 90, 2700 K** | **930 CRI 90, 3000 K** | **935 CRI 90, 3500 K** | **940 CRI 90, 4000 K**
- 9 REFLECTOR FINISH **CL Clear Specular** | **CS Clear Semi-Specular** | **MS Matte Silver** | **WH White** | **GD Gold** | **BK Black**
- 10 FLANGE FINISH **W White** | **F Flangeless**

[B] DRIVER

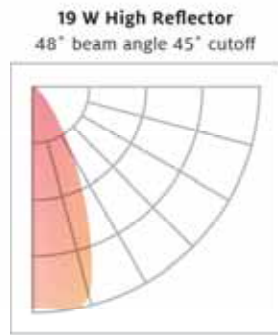
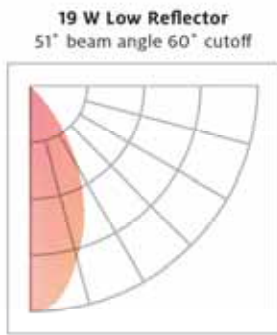
- 11 FIXTURE **PANOS**
- 12 CEILING TYPE **TG T-Grid Accessible<sup>4</sup>** | **FE Inaccessible Ceiling**
- 13 SIZE **100DL 3.5" Aperture**
- 14 SHAPE **R Round**
- 15 WATTAGE **08W 8 Watts<sup>3</sup>** | **19W 19 Watts**
- 16 DRIVER **DA 0-10V Dimming Driver, 1%** | **DH Lutron Dimming, 1%** | **DD DALI Dimming, 1%**
- 17 VOLTAGE **1 120V** | **2 277V**
- 18 OPTIONS **EM Battery Pack<sup>5</sup>** | **EQ Earthquake Plate (inaccessible ceiling only; not for retrofit applications)**

[C] MOUNTING ACCESSORIES

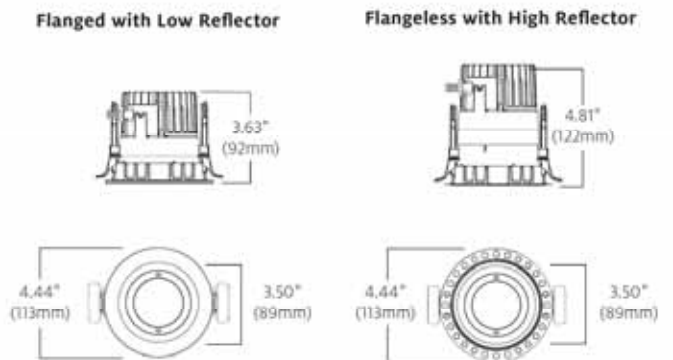
- 19 OPTIONS **11052066 RND 3.5" PC Mounting Ring Flush/Plaster Ceilings** | **11054646 RND 3.5" Extended Mounting Ring Flush/Plaster Ceilings (CA)** | **F0409451 RND 3.5" Sheetrock Mounting Plate to be Used w/Hanger Bar Install** | **U0059500 Hanger Bar Assembly<sup>6</sup>**

1 Wet location with accessory-flanged models only.  
 2 Not available with T-Grid ceiling. For flangeless products, ceiling can be closed prior to unit shipment. All flangeless products require a separate mounting ring accessory.  
 3 Not available with Lutron dimming.  
 4 For T-Grid Ceiling tiles larger than 2' x 2', order extension cable E0051101.  
 5 EM not available with Earthquake Plate.  
 6 F0409451 comes as standard with TG ceiling only, U0059500 hanger bars must always be ordered separately if needed.

## Light Distribution



## Dimensions (minimum plenum depth: 8.5")



### Multipliers

CCT and CRI			Reflector Finish		
CRI	CCT	Multiplier	Finish	Multiplier	
90	2700	0.76	Low	CL	0.93
	3000	0.80		CS	0.93
	3500	0.82		MS	0.82
	4000	0.83		WH	1.00
80	2700	0.93	High	GD	0.97
	3000	0.97		CL	0.85
	3500	0.99		CS	0.85
	4000	1.00		MS	0.82
				WH	1.00
				GD	0.97

### Illuminance at a Distance | 19 W / 80 CRI / 4000 K

**Low Reflector: 51° beam angle 60° cutoff**    **High Reflector: 48° beam angle 45° cutoff**

Center Beam					Center Beam			
D	FC	L	W		D	FC	L	W
5'	86	3.9'	3.9'	5'	76	4.1'	4.1'	
7.5'	38	5.9'	5.9'	7.5'	33	6.1'	6.1'	
10'	21	7.9'	7.9'	10'	18	8.2'	8.2'	
12.5'	13	9.9'	9.9'	12.5'	12	10.0'	10.0'	
15'	9	11.8'	11.8'	15'	8	12.3'	12.3'	

CBCP: 2153 | Lumens: 1820  
LPW: 95 lm/W

CBCP: 1873 | Lumens: 1674  
LPW: 88 lm/W

## Technical Detail

**1) Driver Module:** 20 gauge galvanized steel. For T-grid ceiling applications, driver module mounts directly on grid. The module includes an enclosure with quick release door for all wiring as well as dual access points for standard or emergency power. For inaccessible ceiling applications, the driver box is slim and it is inserted through the ceiling cut-out.

**2) Wattage & CCT:** Unit is available in 8 W or 19 W, and in 2700 K, 3000 K, 3500 K or 4000 K color temperatures for 80+ or 90+ CRI. 3-Step MacAdam Ellipse.

**3) Dimming:** PANOS 3.5" Downlight is available with standard 0-10V dimming driver (1%), Lutron dimming driver (1%) or Dali dimming driver (1%). Compatible 0-10V Dimmers: Lutron DDTV, NTFTV, LEVITON IP710-DLZ, Wattstopper/Legrand ADF-120277, Osram 45561-LC-SL3W-TVWBX/UNV. For non-dimming installations, the standard 0-10V dimming driver will be provided, and the

dimming control wires can simply be capped off at installation.

**4) Trim/Reflector:** Trim and reflector are made of impact resistant polycarbonate. CL reflector is vacuum metalized for high-specularity and is iridescence free, providing highest efficiency and effective beam distribution. Flangeless is not available with T-Grid ceiling.

**5) Mounting:**  
T-GRID / ACCESSIBLE CEILING:  
Rigid mounting brackets on driver module sits on T-Bar. The trim mounting ring is inserted through the aperture and secured by sliding down the clamps. The clamp mechanism can accommodate 1.57" (40mm) ceiling thickness. Insert the trim through the aperture and twist-and-lock into place.

SHEETROCK / INACCESSIBLE CEILING:  
Connect driver assembly to main power source. The trim mounting ring is inserted through the

aperture and secured by sliding down the clamps. The clamp mechanism can accommodate 1.57" (40mm) ceiling thickness. Connect 2-pin connector from driver to the 2-pin connector on the trim.

Push driver assembly through opening in ceiling, follow with trim and twist-and-lock into place. Above ceiling access not required for inaccessible ceilings.

Optional hanger bar installation is available and can be ordered separately from the Accessories list.

**6) Reflector Finish:** Available in Clear Specular, Clear Semi-Specular, Matte Silver, White, and Gold.

**7) Flange Finish:** Smooth White finish blends well with typical white painted ceilings.

**8) Life:** 50,000 hours, L85.

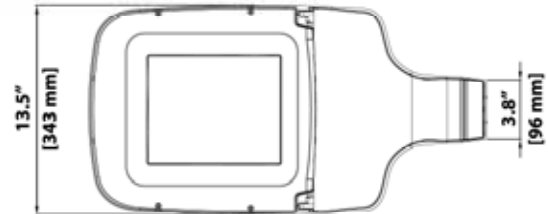
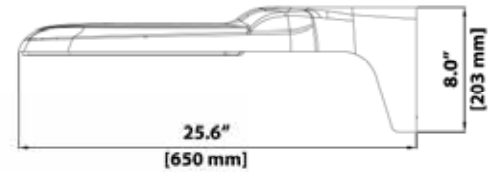
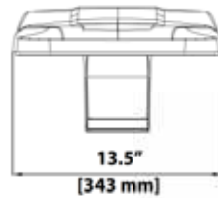
**9) Weight:** 2 lbs.

# ARIETA® 13 ComfortGuide™ Pedestrian & Site Luminaire

## AR13 CG1/CG2 Specification Data Sheet

### Luminaire Data

**Weight** 15.4 lbs [7 kg]  
**EPA** 0.47 ft<sup>2</sup>



### Ordering Information

Sample Catalog No. AR13-CG2-N-MV-27K-T2-DB-040-PCR7

AR13-CG1	N	MV	30K	T5	BK	045	MSL7
Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish <sup>1</sup>	Output Code <sup>2</sup>	Options
AR13-CG1	N	MV 120-277V	27K 2700K	T2 Type 2	BK Black	CG1 27K 30K 40K	FOC <sup>3</sup> Fixed Output Code
AR13-CG2		HV 347-480V	30K 3000K 40K 4000K	T3 Type 3 T5 Type 5	DB Dark Bronze WH White GY Gray NA Natural Aluminum		035 035 035 040 045 045 050 055 055
						CG2 27K 30K 40K	SP2 <sup>7</sup> 20kV/10kA Surge Protector
						070 075 075 080 085 090 090 100 100 110 115 120	PND1 <sup>8</sup> Part-Night Dimming PND2 <sup>8</sup> Part-Night Dimming PND3 <sup>8</sup> Part-Night Dimming WL Utility Wattage Label

- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes. See page 2 for RAL codes of Standard finishes.
- Specified output code is the factory set lumen performance. Refer to performance data table on page 3 of this spec sheet. Field adjustable current selector enables fixture to be changed in the field to adjust light output for local conditions (not available with Fixed Output Code (FOC) or PCR7-CR option). Consult factory if wattage limits require a special drive current.
- No field adjustable output. Specified output code set at the factory.
- Includes current selector that enables field adjustability of light levels. Includes connectors to allow easy upgrade of wireless dimming via PCR7. Wireless node by others.
- Control-ready wired at factory for wireless node dimming. Output selector not included in fixture. Not able to adjust above specified drive current.
- See L7 or L3 Lens coverage details on page 4. Consult factory for MS specified with ANSI 7-wire Photocontrol Receptacle. PCR7 option is required for On/Off control using light detection.
- Standard surge protection, 10kV/5kA, fail-to-on, meets enhanced surge protection based on ANSI 136.25-2015 3 part test.
- For PND profile options see page 5. Only available with MV (120-277V).
- Specify Color (GY, DB, BK, WH, NA)
- Specify MV (120-277V) or HV (347V-480V)

Accessories*	
RPA <sup>9</sup>	Round Pole Adapter
PTF1 <sup>9</sup>	Square Pole Top Fitter Single
PTF2 <sup>9</sup>	Square Pole Top Fitter Twin at 180°
PTF4 <sup>9</sup>	Square Pole Top Fitter Quad
WM <sup>9</sup>	Wall Mount
BSK	Bird Deterrent Spider Kit
LLPC <sup>10</sup>	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool

\*Accessories are ordered separately and not to be included in the catalog number



### Luminaire Specifications

#### Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without redrilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2010 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

#### Light Emitting Diodes

LEDs produce nominal 85% of initial intensity at 60,000 hours of life per IES recommended lumen maintenance life projection based on 6 times the duration of the collected LM-80 data. For details on IESNA position on LED Product Lifetime Prediction, refer to PS-10-18. LEDs have correlated color temperature of 2700K (27K), 3000K (30K), 4000K (40K), and 70 CRI minimum. LEDs are ROHS compliant, 100% mercury and lead free.

#### Field Adjustability

LED lumen output can be changed in the field to adjust for local conditions (not available with PCR7-CR option). The specified output code will be the factory set output. Field adjustments can be made with the output selector included in the fixture. Field adjustable range shown in performance data table.

#### Quality Control

Every luminaire is performance tested before and after a 2-hour burn-in period.

#### Optical Systems

ComfortGuide's patented light panel is fully sealed (IP66 rated) and designed to create large uniform source luminance that provides less contrast between the light source and the dark sky background. The combination of uniform source luminance and lower contrast greatly reduces glare, improves visual comfort, and enhances the user experience.

#### Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Standard surge protection complies with IEEE/ANSI C62.41 and ANSI C136.2-2015, Enhanced (10kV/5kA). SP2 option provides Extreme level (20kV/10kA).

#### Controls

ANSI C136.41 7-wire (PCR7) photocontrol receptacle is available. Photocontrol receptacle has a tool-less rotatable base. Wireless control module is provided by others.

#### Finish

Housing receives a fade and abrasion resistant polyester powder coat finish with 3.0 mil nominal thickness. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish meets scribe creepage rating 8 per ASTM D1654. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

#### Listings/Ratings/Labels

luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ Premium Classification qualified product. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C.

#### Photometry

Luminaires photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

#### Warranty

5-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor. See Leotek.com for warranty details

#### Vandal Resistance

Housing and optics rated to IK09

#### Standards

Luminaire complies with:  
ANSI: C136.2, C136.3, C136.10, C136.13, C136.15, C136.22, C136.31, C136.35, C136.37, C136.41, C62.41, C78.377, C82.77  
Other: FCC 47 CFR, IEC 60598, ROHS II, UL 1449, UL 1598

### Color Specifications

Order Code	Color	RAL #	Pantone Equivalent
<b>GY</b>	Gray	7040	429C
<b>BK</b>	Black	9004	426C
<b>DB</b>	Dark Bronze	6022	BLACK 2C
<b>WH</b>	White	9003	11-0601
<b>NA</b>	Natural Aluminum	9006	N/A

### Performance Data 2700K (27K)

All data nominal. IES files are available at [leotek.com](http://leotek.com).

LED Code	Output Code	Delivered Lumens (Lm) <sup>1</sup>	System Wattage (W)	Efficacy (Lm/W)	Drive Current (mA)	Field Adjustable Output Range <sup>2</sup>
AR13-CG1	035 <sup>3</sup>	3400	30	113	370	↕
	040	4200	37	114	450	
	050	5300	45	118	580	
AR13-CG2	070	7000	59	119	770	↕
	080	8200	69	119	900	
	090	9400	81	116	1050	
	110	11100	97	114	1250	

### Performance Data 3000K (30K)

All data nominal. IES files are available at [leotek.com](http://leotek.com).

LED Code	Output Code	Delivered Lumens (Lm) <sup>1</sup>	System Wattage (W)	Efficacy (Lm/W)	Drive Current (mA)	Field Adjustable Output Range <sup>2</sup>
AR13-CG1	035 <sup>3</sup>	3600	30	120	370	↕
	045	4400	37	119	450	
	055	5600	46	122	580	
AR13-CG2	075	7400	60	123	760	↕
	085	8600	69	125	910	
	100	9800	80	123	1050	
	115	11700	97	121	1250	

### Performance Data 4000K (40K)

All data nominal. IES files are available at [leotek.com](http://leotek.com).

LED Code	Output Code	Delivered Lumens (Lm) <sup>1</sup>	System Wattage (W)	Efficacy (Lm/W)	Drive Current (mA)	Field Adjustable Output Range <sup>2</sup>
AR13-CG1	035 <sup>3</sup>	3600	29	124	360	↕
	045	4500	36	125	440	
	055	5600	45	124	570	
AR13-CG2	075	7500	60	125	760	↕
	090	8800	69	128	890	
	100	10000	80	125	1040	
	120	12000	97	124	1270	

Notes:  
 1 Normal tolerance ± 10% due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.  
 2 Performance codes available in two ranges for adjustable output as shown in performance data tables. Output set at factory to specified performance code.  
 3 DLC approved at 120V and 240V.

**Motion Sensor (Optional) Specifications**

**Description**

Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion detection. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool. PCR option is required for On/Off control using light detection. Available with both MV and HV input voltage options.

**Operation**

Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE. The percent dimming and time durations may be field adjusted as required using FSIR-100 configuration tool. FSIR-100 user guide available at: [www.wattstopper.com](http://www.wattstopper.com).

**Optical System**

Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion within one mounting height, up to 20 ft. maximum (MSL3) or 40 ft. maximum (MSL7). Consult factory for higher mounting height requirements.

**Finish**

Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

**Listings/Ratings**

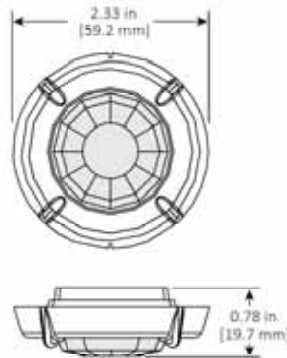
Sensor is TUV, UL and cUL listed, IP66 rated and CE compliant.

**Warranty**

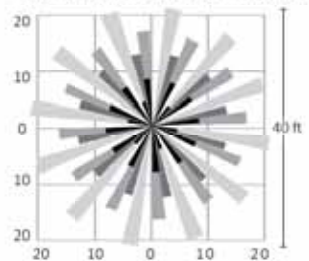
5-year limited warranty on luminaires and components with a motion sensor.

**Motion Sensor (Optional) Data**

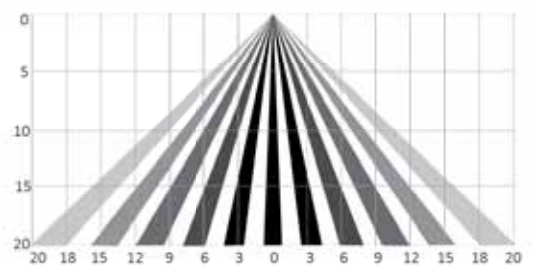
**MSL3 Lens Dimensions**



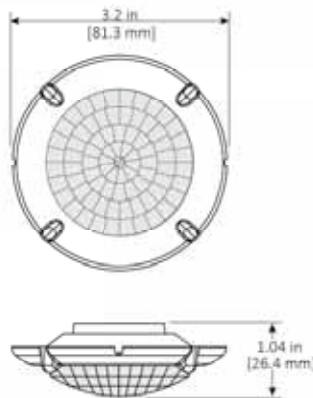
MSL3 Lens Coverage Top View



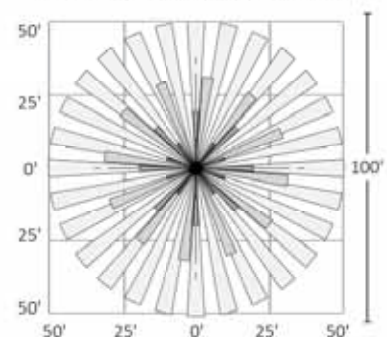
MSL3 Lens Coverage Side View



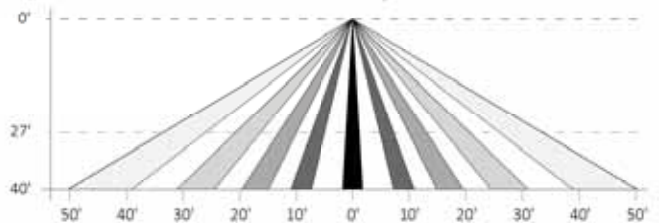
**MSL7 Lens Dimensions**



MSL7 Lens Coverage Top View



MSL7 Lens Coverage Side View



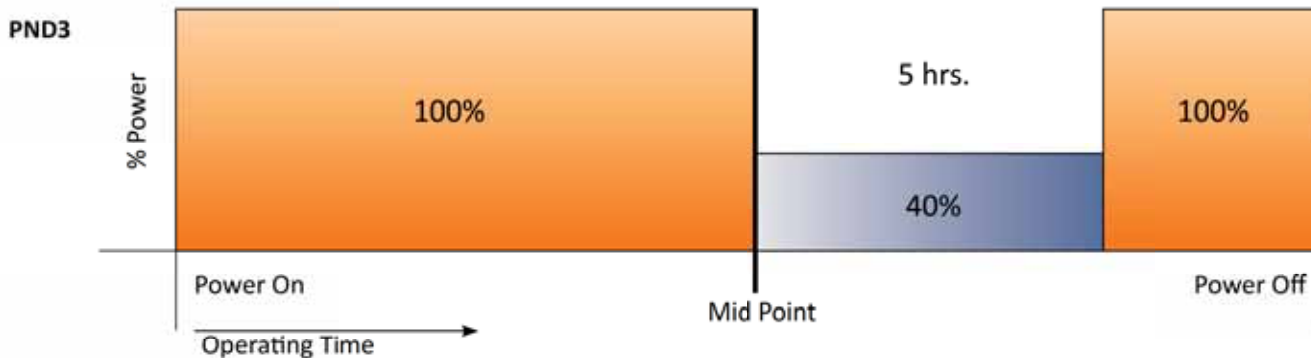
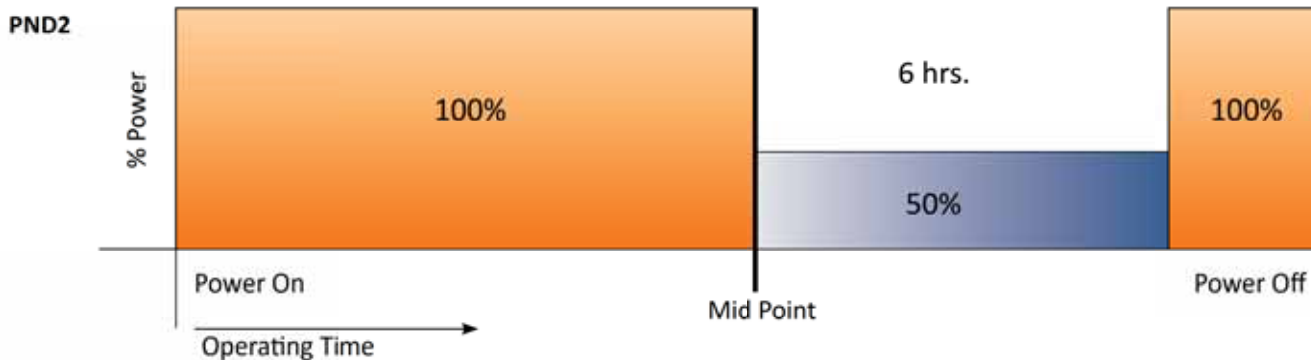
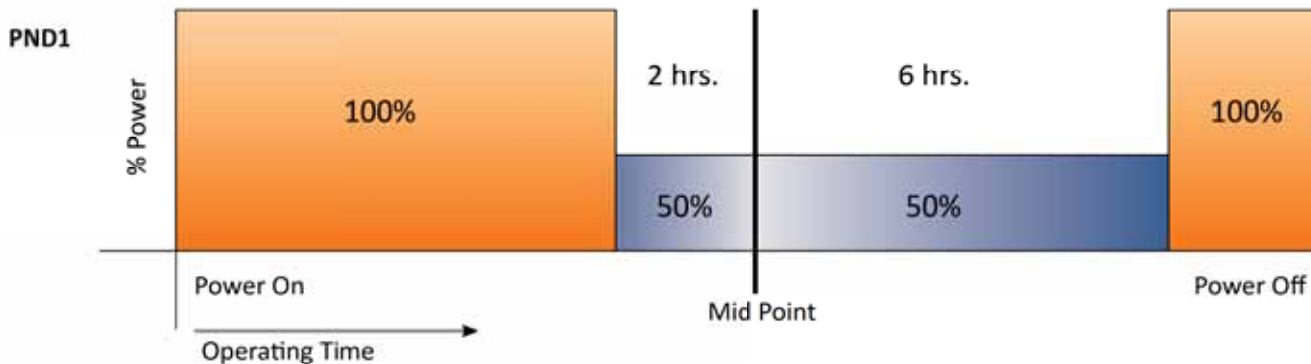
**Part-Night Dimming Specifications**

**Description**

Arieta's Part-Night Dimming (PND) option enables significant energy savings by automatically dimming the luminaire during early morning hours when infrequent use is expected. Factory programmed dimming profiles automatically take into account seasonal changes based on geographical location by continuously monitoring the nighttime midpoint. PND does not provide power on/off control which is provided by external controls (example: time clock) or a photocontrol using PCR3 or PCR7 option. Dimming profile of PND option is not field adjustable.

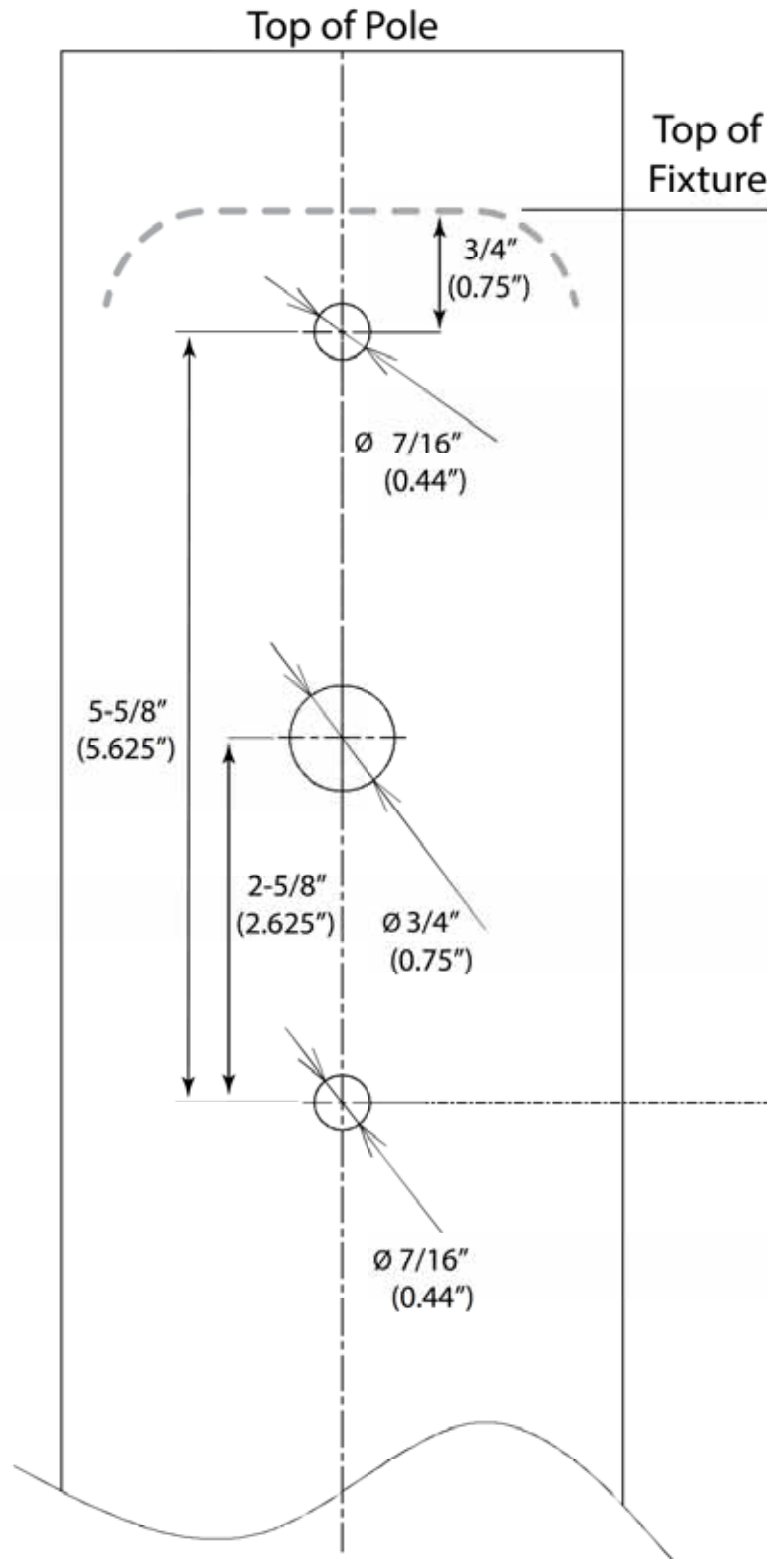
**Operation**

Based on the PND profile that is selected, the luminaire dims to the corresponding % power for the corresponding length of time (based on the nighttime mid-point) as shown below. Mid-point is continuously recalculated in the luminaire by monitoring the average length of time between when the light turns on (power on) and turns off (power off) over the previous two days. In effect, this functionality will take two days to initialize after installation before any dimming will occur. Power interruptions are ignored and do not affect the determination of mid-point. A motion sensor (MSL3 or MSL7) can be used with PND to temporarily override the dimming profile when motion is detected. Three factory programmed PND profiles are available for selection:



**Pole Mount Drilling Dimensions for New Construction**

For more details, consult the Arieta Installation Guide



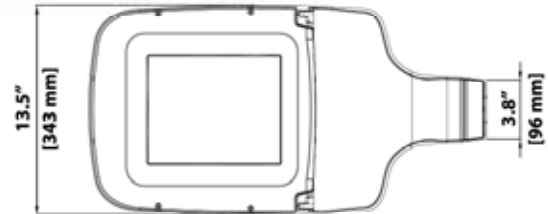
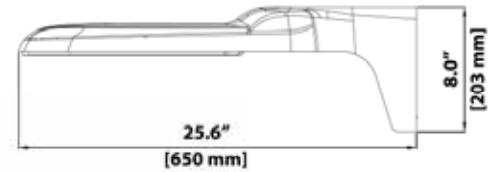
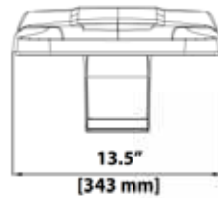
**Mounting Pole Drilling Dimensions for New Construction**

# ARIETA® 13 ComfortGuide™ Pedestrian & Site Luminaire

## AR13 CG1/CG2 Specification Data Sheet

### Luminaire Data

**Weight** 15.4 lbs [7 kg]  
**EPA** 0.47 ft<sup>2</sup>



### Ordering Information

Sample Catalog No. AR13-CG2-N-MV-27K-T2-DB-040-PCR7

AR13-CG1	N	MV	30K	T5	BK	045	MSL7
Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish <sup>1</sup>	Output Code <sup>2</sup>	Options
AR13-CG1	N	MV 120-277V	27K 2700K	T2 Type 2	BK Black	CG1 27K 30K 40K	FOC <sup>3</sup> Fixed Output Code
AR13-CG2		HV 347-480V	30K 3000K 40K 4000K	T3 Type 3 T5 Type 5	DB Dark Bronze WH White GY Gray NA Natural Aluminum		035 035 035 040 045 045 050 055 055
						CG2 27K 30K 40K	SP2 <sup>7</sup> 20kV/10kA Surge Protector
						070 075 075 080 085 090 090 100 100 110 115 120	PND1 <sup>8</sup> Part-Night Dimming PND2 <sup>8</sup> Part-Night Dimming PND3 <sup>8</sup> Part-Night Dimming WL Utility Wattage Label

- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes. See page 2 for RAL codes of Standard finishes.
- Specified output code is the factory set lumen performance. Refer to performance data table on page 3 of this spec sheet. Field adjustable current selector enables fixture to be changed in the field to adjust light output for local conditions (not available with Fixed Output Code (FOC) or PCR7-CR option). Consult factory if wattage limits require a special drive current.
- No field adjustable output. Specified output code set at the factory.
- Includes current selector that enables field adjustability of light levels. Includes connectors to allow easy upgrade of wireless dimming via PCR7. Wireless node by others.
- Control-ready wired at factory for wireless node dimming. Output selector not included in fixture. Not able to adjust above specified drive current.
- See L7 or L3 Lens coverage details on page 4. Consult factory for MS specified with ANSI 7-wire Photocontrol Receptacle. PCR7 option is required for On/Off control using light detection.
- Standard surge protection, 10kV/5kA, fail-to-on, meets enhanced surge protection based on ANSI 136.25-2015 3 part test.
- For PND profile options see page 5. Only available with MV (120-277V).
- Specify Color (GY, DB, BK, WH, NA)
- Specify MV (120-277V) or HV (347V-480V)

Accessories*	
RPA <sup>9</sup>	Round Pole Adapter
PTF1 <sup>9</sup>	Square Pole Top Fitter Single
PTF2 <sup>9</sup>	Square Pole Top Fitter Twin at 180°
PTF4 <sup>9</sup>	Square Pole Top Fitter Quad
WM <sup>9</sup>	Wall Mount
BSK	Bird Deterrent Spider Kit
LLPC <sup>10</sup>	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool

\*Accessories are ordered separately and not to be included in the catalog number

### Luminaire Specifications

#### Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without redrilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2010 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

#### Light Emitting Diodes

LEDs produce nominal 85% of initial intensity at 60,000 hours of life per IES recommended lumen maintenance life projection based on 6 times the duration of the collected LM-80 data. For details on IESNA position on LED Product Lifetime Prediction, refer to PS-10-18. LEDs have correlated color temperature of 2700K (27K), 3000K (30K), 4000K (40K), and 70 CRI minimum. LEDs are ROHS compliant, 100% mercury and lead free.

#### Field Adjustability

LED lumen output can be changed in the field to adjust for local conditions (not available with PCR7-CR option). The specified output code will be the factory set output. Field adjustments can be made with the output selector included in the fixture. Field adjustable range shown in performance data table.

#### Quality Control

Every luminaire is performance tested before and after a 2-hour burn-in period.

#### Optical Systems

ComfortGuide's patented light panel is fully sealed (IP66 rated) and designed to create large uniform source luminance that provides less contrast between the light source and the dark sky background. The combination of uniform source luminance and lower contrast greatly reduces glare, improves visual comfort, and enhances the user experience.

#### Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Standard surge protection complies with IEEE/ANSI C62.41 and ANSI C136.2-2015, Enhanced (10kV/5kA). SP2 option provides Extreme level (20kV/10kA).

#### Controls

ANSI C136.41 7-wire (PCR7) photocontrol receptacle is available. Photocontrol receptacle has a tool-less rotatable base. Wireless control module is provided by others.

#### Finish

Housing receives a fade and abrasion resistant polyester powder coat finish with 3.0 mil nominal thickness. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish meets scribe creepage rating 8 per ASTM D1654. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

#### Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ Premium Classification qualified product. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C.

#### Photometry

Luminaires photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

#### Warranty

5-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor. See Leotek.com for warranty details

#### Vandal Resistance

Housing and optics rated to IK09

#### Standards

Luminaire complies with:  
ANSI: C136.2, C136.3, C136.10, C136.13, C136.15, C136.22, C136.31, C136.35, C136.37, C136.41, C62.41, C78.377, C82.77  
Other: FCC 47 CFR, IEC 60598, ROHS II, UL 1449, UL 1598

### Color Specifications

Order Code	Color	RAL #	Pantone Equivalent
GY	Gray	7040	429C
BK	Black	9004	426C
DB	Dark Bronze	6022	BLACK 2C
WH	White	9003	11-0601
NA	Natural Aluminum	9006	N/A

### Performance Data 2700K (27K)

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Delivered Lumens (Lm) <sup>1</sup>	System Wattage (W)	Efficacy (Lm/W)	Drive Current (mA)	Field Adjustable Output Range <sup>2</sup>
AR13-CG1	035 <sup>3</sup>	3400	30	113	370	↕
	040	4200	37	114	450	
	050	5300	45	118	580	
AR13-CG2	070	7000	59	119	770	↕
	080	8200	69	119	900	
	090	9400	81	116	1050	
	110	11100	97	114	1250	

### Performance Data 3000K (30K)

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Delivered Lumens (Lm) <sup>1</sup>	System Wattage (W)	Efficacy (Lm/W)	Drive Current (mA)	Field Adjustable Output Range <sup>2</sup>
AR13-CG1	035 <sup>3</sup>	3600	30	120	370	↕
	045	4400	37	119	450	
	055	5600	46	122	580	
AR13-CG2	075	7400	60	123	760	↕
	085	8600	69	125	910	
	100	9800	80	123	1050	
	115	11700	97	121	1250	

### Performance Data 4000K (40K)

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Delivered Lumens (Lm) <sup>1</sup>	System Wattage (W)	Efficacy (Lm/W)	Drive Current (mA)	Field Adjustable Output Range <sup>2</sup>
AR13-CG1	035 <sup>3</sup>	3600	29	124	360	↕
	045	4500	36	125	440	
	055	5600	45	124	570	
AR13-CG2	075	7500	60	125	760	↕
	090	8800	69	128	890	
	100	10000	80	125	1040	
	120	12000	97	124	1270	

**Notes:**

- 1 Normal tolerance ± 10% due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.
- 2 Performance codes available in two ranges for adjustable output as shown in performance data tables. Output set at factory to specified performance code.
- 3 DLC approved at 120V and 240V.



**Motion Sensor (Optional) Specifications**

**Description**

Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion detection. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool. PCR option is required for On/Off control using light detection. Available with both MV and HV input voltage options.

**Operation**

Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE. The percent dimming and time durations may be field adjusted as required using FSIR-100 configuration tool. FSIR-100 user guide available at: [www.wattstopper.com](http://www.wattstopper.com).

**Optical System**

Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion within one mounting height, up to 20 ft. maximum (MSL3) or 40 ft. maximum (MSL7). Consult factory for higher mounting height requirements.

**Finish**

Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

**Listings/Ratings**

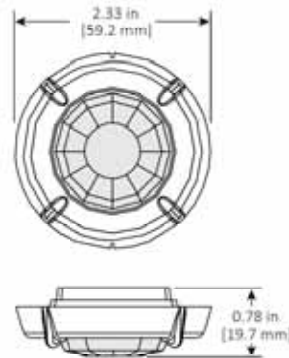
Sensor is TUV, UL and cUL listed, IP66 rated and CE compliant.

**Warranty**

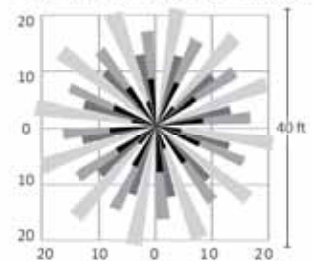
5-year limited warranty on luminaires and components with a motion sensor.

**Motion Sensor (Optional) Data**

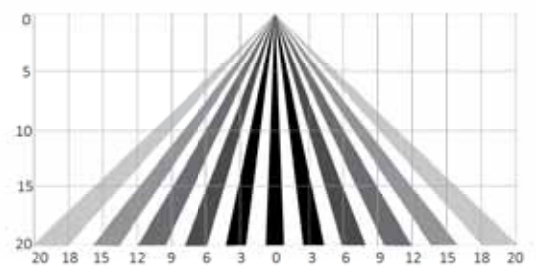
**MSL3 Lens Dimensions**



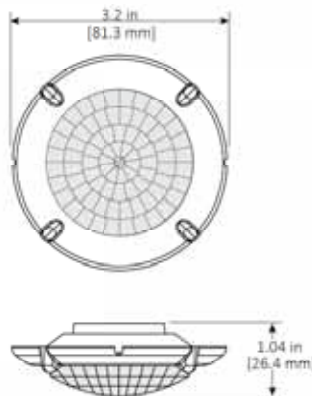
MSL3 Lens Coverage Top View



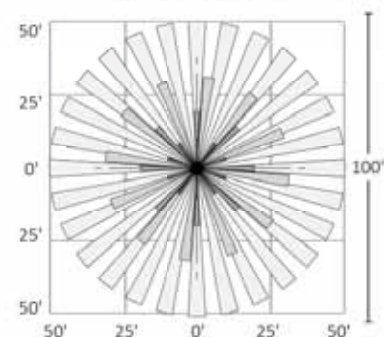
MSL3 Lens Coverage Side View



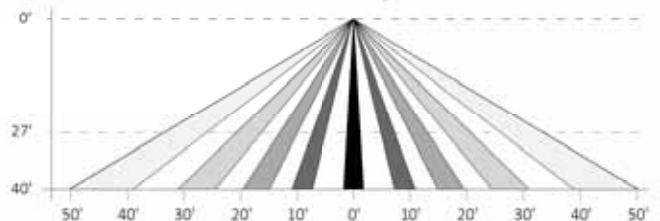
**MSL7 Lens Dimensions**



MSL7 Lens Coverage Top View



MSL7 Lens Coverage Side View



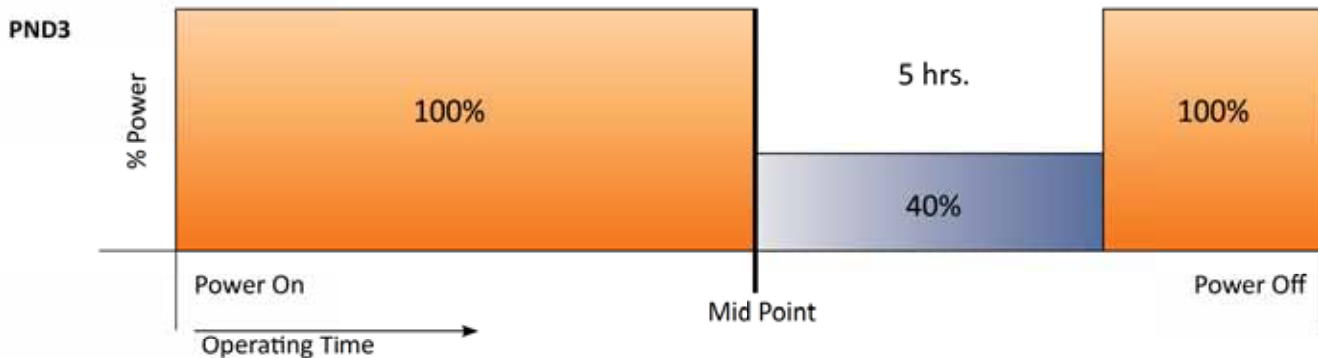
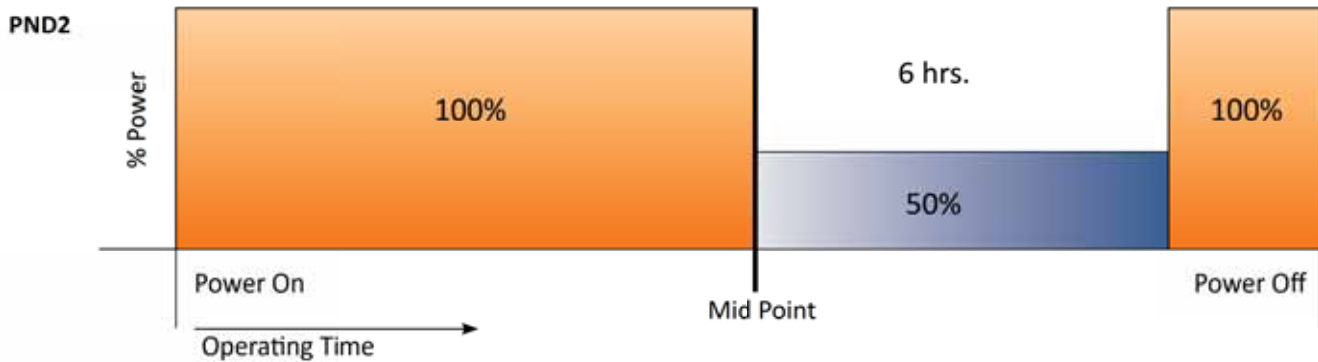
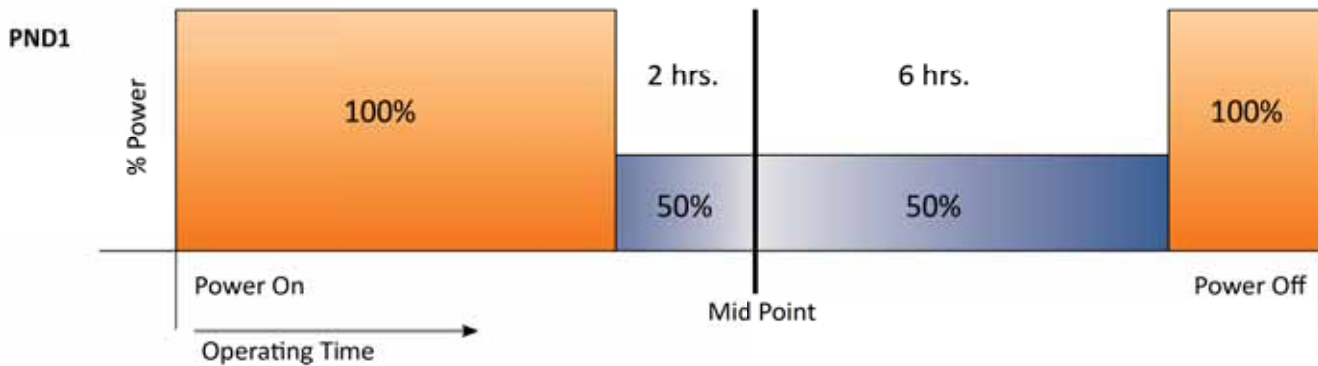
**Part-Night Dimming Specifications**

**Description**

Arieta's Part-Night Dimming (PND) option enables significant energy savings by automatically dimming the luminaire during early morning hours when infrequent use is expected. Factory programmed dimming profiles automatically take into account seasonal changes based on geographical location by continuously monitoring the nighttime midpoint. PND does not provide power on/off control which is provided by external controls (example: time clock) or a photocontrol using PCR3 or PCR7 option. Dimming profile of PND option is not field adjustable.

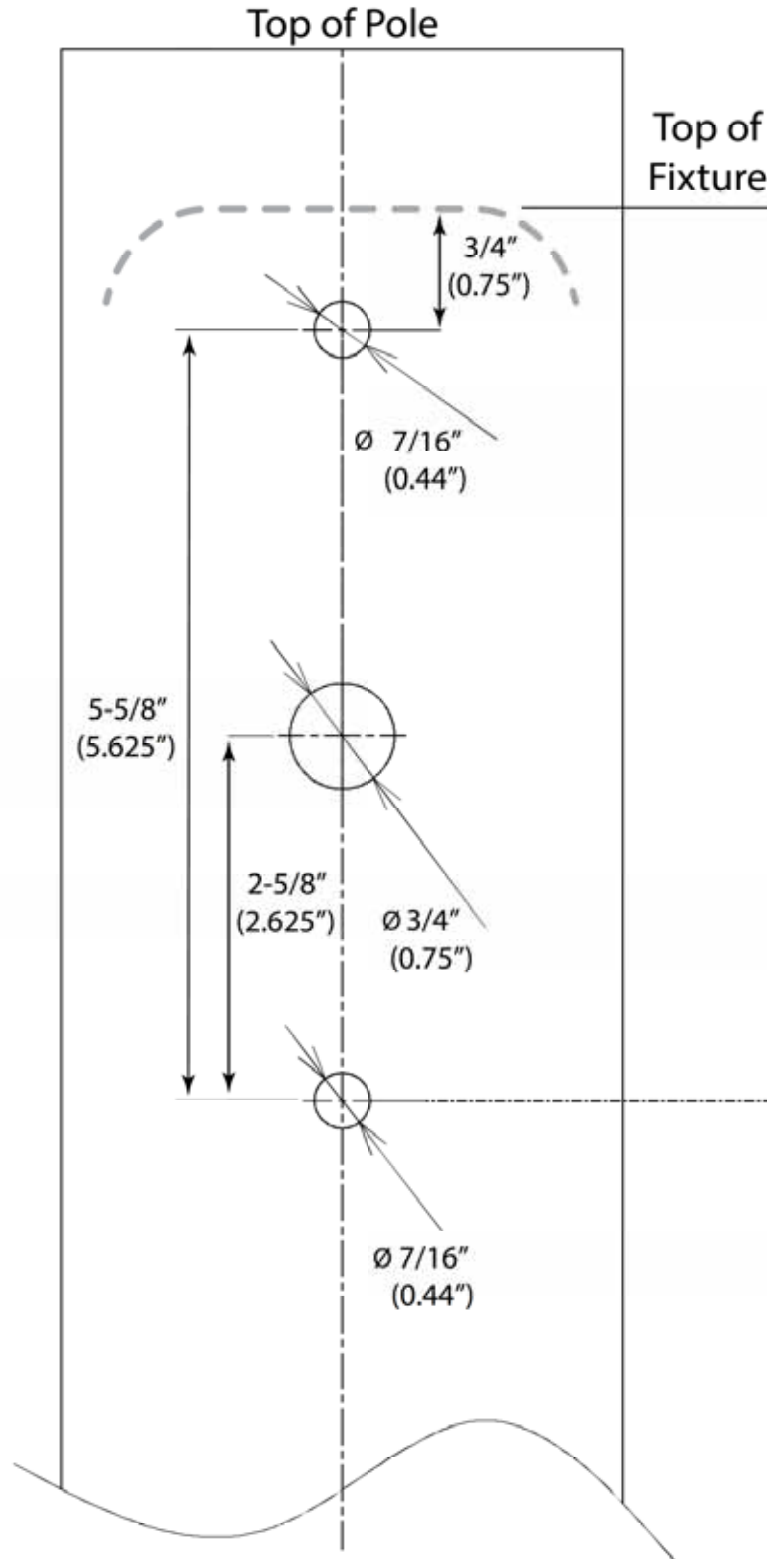
**Operation**

Based on the PND profile that is selected, the luminaire dims to the corresponding % power for the corresponding length of time (based on the nighttime mid-point) as shown below. Mid-point is continuously recalculated in the luminaire by monitoring the average length of time between when the light turns on (power on) and turns off (power off) over the previous two days. In effect, this functionality will take two days to initialize after installation before any dimming will occur. Power interruptions are ignored and do not affect the determination of mid-point. A motion sensor (MSL3 or MSL7) can be used with PND to temporarily override the dimming profile when motion is detected. Three factory programmed PND profiles are available for selection:



**Pole Mount Drilling Dimensions  
for New Construction**

For more details, consult  
the Arieta Installation Guide



**Mounting Pole Drilling Dimensions  
for New Construction**

Exhibiting Tech Lighting's refined and unadorned minimalist aesthetic, the Zur Collection of wall sconces feature an innovative pivot design that aims light precisely as needed for way finding, architectural accents or landscape illumination. The elegant Zur Outdoor Collection blends seamlessly and inconspicuously into contemporary architecture and landscapes while providing efficient LED illumination.

### Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- IP-65 rated

### Head pivots 240° for wall grazing or directional illumination

## SPECIFICATIONS

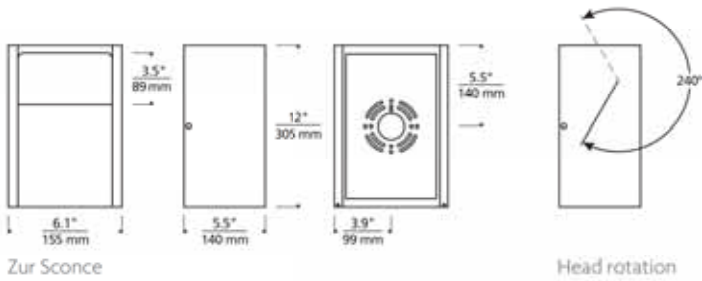
LUMENS	45°: 891.3, 0°: 660.1
WATTS	11
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	Adjustable
OPTICS	40° (2)
MOUNTING OPTIONS	Wall
ADJUSTABILITY	Head pivots 240°
PERFORMANCE OPTIONS	Photocontrol / In-Line Fuse
CCT	2700K, 3000K or 4000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	45°: B0-U1-G1, 0°: B1-U0-G0
DARK SKY	Compliant (Aimed down)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	10 lbs.

\* Visit [techlighting.com](http://techlighting.com) for specific warranty limitations and details.



## ORDERING INFORMATION

700WZUR	CRI/CCT	LENGTH	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
	937 90 CRI, 2700K	12 12"	Z BRONZE	UNV 120V-277V	A ADJUSTABLE	NONE
	930 90 CRI, 3000K		B BLACK			PC BUTTON PHOTOCONTROL
	940 90 CRI, 4000K					LF IN-LINE FUSE



## PHOTOMETRICS\*

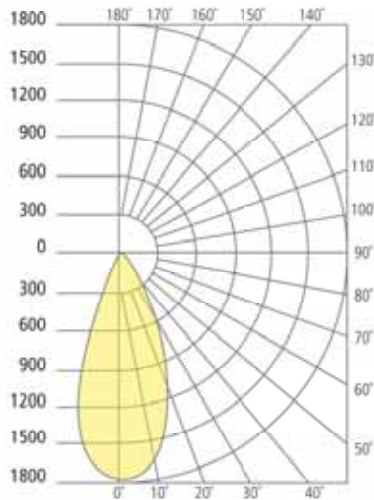
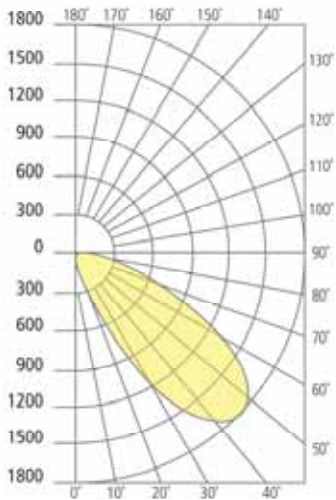
\*For latest photometrics, please visit [www.techlighting.com/OUTDOOR](http://www.techlighting.com/OUTDOOR)

### ZUR 12 WALL - 45°

Total Lumen Output: 891.3  
 Total Power: 11.4  
 Luminaire Efficacy: 78  
 Color Temp: 3000K  
 CRI: 90+  
 BUG Rating: B0-U1-G1

### ZUR 12 WALL - 0°

Total Lumen Output: 660.1  
 Total Power: 11.4  
 Luminaire Efficacy: 58  
 Color Temp: 3000K  
 CRI: 90+  
 BUG Rating: B1-U0-G0



## PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES

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**TECH LIGHTING**

**VISUAL COMFORT & Co.**

7400 Linder Avenue, Skokie, Illinois 60077

T 847.410.4400 F 847.410.4500

## Chapin LaChance

---

**From:** Gail Marshall <gmarshall@colorado.net>  
**Sent:** Monday, November 16, 2020 12:46 PM  
**To:** Chapin LaChance  
**Subject:** Re: Breckenridge, CO: Planning Commission Meeting

[EXTERNAL MESSAGE]

Chapin,

Thank you for forwarding this to me. My concerns about the development are:

The increased amount of density to the neighborhood has brought more traffic. In my explanation below I have given examples as to why I am concerned about this plan.

When we first moved out here we could go cross country skiing across the street after work. The realtor, Kim McGahey, told me it was to be softball fields. Then free skier parking moved in. In the summer it was easy to walk over to the river to enjoy the trail. Breckenridge Terrace was built. When that was completed it was once again easy to walk across the street safely. On a Sunday mornings we would sit out on the balcony and would know everyone who drove by. Slowly this all changed. Once Blue 52 went in, traffic became almost non-stop. I no longer could easily walk across the street. Most the time I get in my car to drive up the road, turn around and then turn in to the Free Skier Parking turn off. That is ridiculous.

The Free Skier Parking turn in is dangerous as it is a sharp turn in. In the winter there are several accidents from cars unable to stop thus hitting on-coming traffic to skidding off the road. Vehicles speed down Airport Rd as though it is a runway for airplanes. Approximately 20 years ago, a teenage was hit and killed by a car in front of the lot where Summit Mountain Rentals plans to build. When I first moved out here I made it my mission to have sidewalks put in. This was when there was basically no or very little development on Airport Rd. No one understood why I thought it was necessary. From what I was told it was the responsibility of the buildings to put the sidewalks in themselves. That was not done except the Ski Area did put in a dirt path in front of Breckenridge Terrace. There was no bus service out here and I was told that it was not necessary.

1745 Airport Rd is where the FIRC Thrift Store and Food Bank is. When those businesses began traffic became even heavier in the neighborhood and thefts in the Avalanche Condos started to happen. The pot shops have also brought an increased amount of traffic where people drive through other building parking lots looking for the pot shops or park at other buildings so as not to be seen parking at a pot shop. With the pot shops and thrifts store homeless people would be hanging out around the dumpsters. Avalanche Condos put locks on the dumpsters. The problem now it that people have learned the locks and dump their home trash in there. I find people in the woods behind the building smoking pot because they thought it was a beautiful spot. Across the street used hypodermic needles have been discovered in the parking lot.

The Rodeo - the town council thought that would be a great idea. Fun event but as far as bringing more money to town, not really. Seems good research was not done. I measure how far the rodeo entrance was from the entrance to my condo building, 400 ft. I looked at other communities that had rodeo and the amount of revenue it brought to hotels and restaurants as well as location to residential housing. Not sure anyone on Town Council did much research in to it until I handed in mine. The Rodeo lasted two years and did not bring in the revenue the community thought it would. I am still friends with the stock providers.

In August i was rear ended in front of the turn off for my building - 1705 Airport Rd. I drive a small SUV. The vehicle that hit me was a jacked up Ford pick up truck with a cattle grade on the front. The man was speeding. I was stopped waiting for on-coming traffic to pass so I could to turn in to my parking lot.

I purchased my condo in 1999 with the intent to live here for a maximum of 5 years. Unbeknownst to me my husband had other plans. So we are still here watching the neighborhood grow. In that growth responsibility needs to be taken beside landscaping, employee housing, and a "green" development. None of that does any good if the area becomes a traffic nightmare. A better entrance and exit for vehicles .

Do we need to add 7 two bedroom apartments out here for employees that will have too many people in them? Hourly pay does not compensate enough to pay the high rents. It has become a vicious circle. The BGV apartments down the street for example, a friend started working for BGV and wanted to live there. When he learned of the rent cost, he opted to live at Baldy Mountain Townhomes for half the rent. Those are the people who need the employee housing for. I know I should have spoken up when this was first proposed but I had just had major surgery.

I appreciate the opportunity to voice my concerns.

PS Actually we really like it out here. Very convenient.

On Nov 13, 2020, at 11:29 AM, Chapin LaChance <[chapinl@townofbreckenridge.com](mailto:chapinl@townofbreckenridge.com)> wrote:

Ms. Marshall,

Please the link below for the information related to the development proposal at 1730 Airport Rd. You may provide any written comments that you have directly to me prior to the Public Hearing, and I will pass them along to the Planning Commission. You are also welcome to virtually attend the Public Hearing and provide verbal comment at that time. Please let me know if you have any questions.

Thank you.

**Chapin LaChance, AICP**  
Planner II – Development Review  
Planning Division  
Community Development Dept.  
Town of Breckenridge  
150 Ski Hill Rd./P.O. Box 168  
Breckenridge, CO 80424  
(970) 453-3188  
<image002.png>

**From:** [webmaster@townofbreckenridge.com](mailto:webmaster@townofbreckenridge.com) <[webmaster@townofbreckenridge.com](mailto:webmaster@townofbreckenridge.com)>  
**Sent:** Friday, November 13, 2020 11:23 AM  
**To:** Chapin LaChance <[chapinl@townofbreckenridge.com](mailto:chapinl@townofbreckenridge.com)>  
**Subject:** Breckenridge, CO: Planning Commission Meeting

[EXTERNAL MESSAGE]

## Planning Commission Meeting

- **Date:** 11/17/2020 5:30 PM - 7:30 PM
- **Location:** Breckenridge Town Hall  
[150 Ski Hill Road](#)  
[Breckenridge, Colorado 80424](#)

Please Note: This will not be an in-person meeting. The meeting will be conducted remotely via an online portal.

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/88920972137>

Or iPhone one-tap :

US: +13462487799,,88920972137# or +16699006833,,88920972137#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 or +1 312 626 6799 or +1 929 436 2866 or +1 301 715 8592

Webinar ID: 889 2097 2137

International numbers available: <https://us02web.zoom.us/j/88920972137>

- **Agenda:** [Planning Commission Agenda 2020-11-17](#)
- **Agenda:** [Planning Commission Packet 2020-11-17](#)

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Gail Marshall  
[gmarshall@colorado.net](mailto:gmarshall@colorado.net)

PO Box 6403  
Breckenridge, CO 80424

970-485-0495



**Planning Commission Staff Report**

**Subject:** Howe Residence Landmarking, Restoration, and Garage Addition  
(Class A Major Development Permit, Preliminary Hearing; PL-2020-0464)

**Proposal:** A proposal to locally landmark and rehabilitate an existing historic residence and add a garage with an accessory dwelling unit on the rear of the property.

**Date:** November 23, 2020 (For meeting of December 1, 2020)

**Project Manager:** Jeremy Lott, AICP, Planner II

**Applicant/Owner:** Johnathan and Amanda Jones

**Agent:** Lee Edwards, Dry Rot Construction

**Address:** 106 South French Street

**Legal Description:** Abbett Addition, Lots 7 & 8, Block 4

**Site Area:** 0.141 acres (6,148 sq. ft.)

**Land Use District:** 17, Residential: 11 UPA

**Historic District:** 1- East Side Residential Character Area

**Site Conditions:** The lot is located on South French Street between a single-family residence and the French Street Parking Lot. This property is relatively flat and contains the Historic “Howe Residence” which is located on the front portion of the property. Existing parking is located in the rear of the house and is accessed via a common access easement which is shared with the single-family residence to the north. There are several large trees, mainly on the southern portion of the property, between existing house and the French Street Parking Lot. An existing 3’ wide concrete sidewalk connects the front of the home to the French Street sidewalk.

**Adjacent Uses:**

North:	Single-Family Home
South:	Town Owned French Street Parking Lot
East:	Breckenridge Grand Vacations Community Center
West:	St. Mary’s Church, Single-Family Residence, Breckenridge Laundromat

**Density:**

Allowed under LUGs, 11 UPA:	2,481 sq. ft.
Proposed density:	
(Excluding 1,044 sq. ft. Landmarked):	2,062 sq. ft.
Including Landmarked Density:	3,178 sq. ft.

**Above Ground Density:**

Allowed at 9 UPA:	2,030 sq. ft.
Proposed:	1,846 sq. ft.

**Density Breakdown: Main House**

Lower Level: (incl. 1,044 sq. ft. Landmarked):	1,044 sq. ft.
Main Level (excluding stairs):	963 sq. ft.
Upper Level:	451 sq. ft.
Subtotal – Main House:	2,458 sq. ft.

**Secondary Building/Garage Apartment**

Lower (with connector):	288 sq. ft.
Main Level (garage entry):	64 sq. ft.
Upper Floor:	368 sq. ft.
Subtotal – Secondary Building	720 sq. ft.

**Total: 3,178 sq. ft.**

**Mass:**

Allowed:	2,030 sq. ft.
Up to 10% bonus with 2 neg. points	2,233 sq. ft.
Up to 15% bonus with 4 neg. points	2,334 sq. ft.

Proposed Primary Structure:	1,414 sq. ft.
Proposed Secondary Structure:	872 sq. ft.
Total Proposed Mass (-4 neg. points):	2,286 sq. ft.

**Height:**

Existing Historic Residence (Unchanged):	19' 6" (mean); 25' 3" (overall)
Recommended:	23' 0" (mean); 26 ft. (max)
Proposed (secondary building):	23' 4" (mean); 27' 10" (overall)

**Lot Coverage:**

Building / non-Permeable:	1,628 sq. ft. (26.5% of site)
Hard Surface / non-Permeable:	1,703 sq. ft. (27.5% of site)
Open Space / Permeable Area:	2,816 sq. ft. (46% of site)

**Parking:**

Required:	3 spaces
Proposed:	3 spaces

**Snowstack:**

Required:	324 sq. ft. (25%)
Proposed:	720 sq. ft. (55%)

**Setbacks:**

Front (15' recommended): (Existing)	15 ft.
Sides (5' recommended):	18 & 10 ft.
Rear (15' recommended 10' absolute):	9.91 ft. <b>(Fails)</b>

## Item History

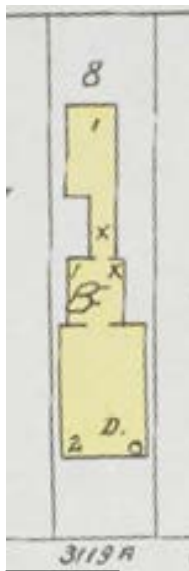


Per the Cultural Resource Survey, *Sanborn Fire Insurance maps indicate that the original (front) 1½-story portion of this building was constructed sometime between October 1890 and January 1896. The 1902 Sanborn map depicts the building with a rear extension which appears somewhat longer than the extant one-story rear extension. Summit County Journal newspaper articles indicate that owner M.M. Howe enlarged the original dwelling in 1898. This information conflates with the “new” rear extension depicted on the 1902 Sanborn map. Although it has been well-maintained, the building appears relatively unaltered in recent years. No building permit or development-related files for the property were located on file with the Town of Breckenridge.*

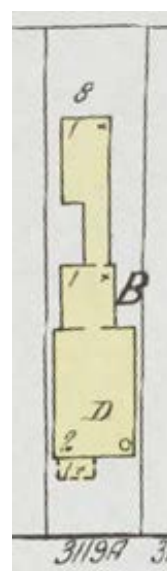
In addition to the above, the front porch appears on the 1914 Sanborn Map.



1896



1902



1914

*Historical background: The original front, 1½-story portion of this dwelling was built in the years between 1890 and 1896. M.M. Howe, a miner, then expanded the house to the rear in 1898. Howe married Ann Rogers in 1906. Later, Professor G.L. Harding purchased the building as his residence. Recent owners of the property include Stephen McDonald and Patty O'Brien.*

*Statement of significance: This building is historically significant for its associations with Breckenridge's historical development during the "Town Phase" and "Stabilization Phase" periods of the town's growth. It is also architecturally notable, to a modest degree, for its representative front gabled plan. The property's level of significance is not to the extent that it would qualify for individual listing in the National Register of Historic Places, or in the State Register of Historic Properties. It may, however, qualify for individual local landmark designation by the Town of Breckenridge, and it is a contributing resource located within the boundaries of the Breckenridge Historic District.*

*Assessment of historic physical integrity related to significance:*

*This building exhibits a reasonably high level of integrity, relative to the seven aspects of integrity as defined by the National Park Service and the Colorado Historical Society - setting, location, design, materials, workmanship, feeling and association. A sense of time and place of a late 19th century building is still in evidence.*

### **Staff Comments**

The applicant is proposing to remove a non-historic addition from the rear of the primary building and add a garage apartment with below grade-connector and above-grade breezeway. The scope of work includes a request to Landmark the historic structure and adding a basement beneath. At this preliminary hearing, staff would like to address the key policies related to staff's concerns and identify any other issues to have this proposal meet all absolute policies to have this project obtain a passing Point Analysis at a future meeting.

**Land Use (2/A & 2/R):** This property is located with Land Use District 17. This is a residential district that allows a maximum of 11 Units Per Acre.

**Accessory Dwelling Unit:** The applicant is proposing the secondary structure to contain a deed-restricted accessory dwelling unit. At 432 sq. ft., the accessory dwelling unit is less than one-third of the square footage of the primary unit of 2,458 sq. ft. The applicant is proposing one on-site parking space, as required by the Code. Staff has no concerns with the proposed uses.

### **Social Community (24/R):**

Project review under The Handbook of Design Standards for the Historic and Conservation Districts falls under the review of Policy 24. Each relevant standard is called out below:

**Historic Preservation:** The applicants propose to restore, rehabilitate and stabilize the structure by building a full basement beneath the historic house, restoring all historic windows, siding, trim details and doors, adding new electrical, plumbing and mechanical systems. The scope of the work is as follows:

- Historic structure to be fully dismantled and restored
- New structure framing added (sistering) to existing as required per code

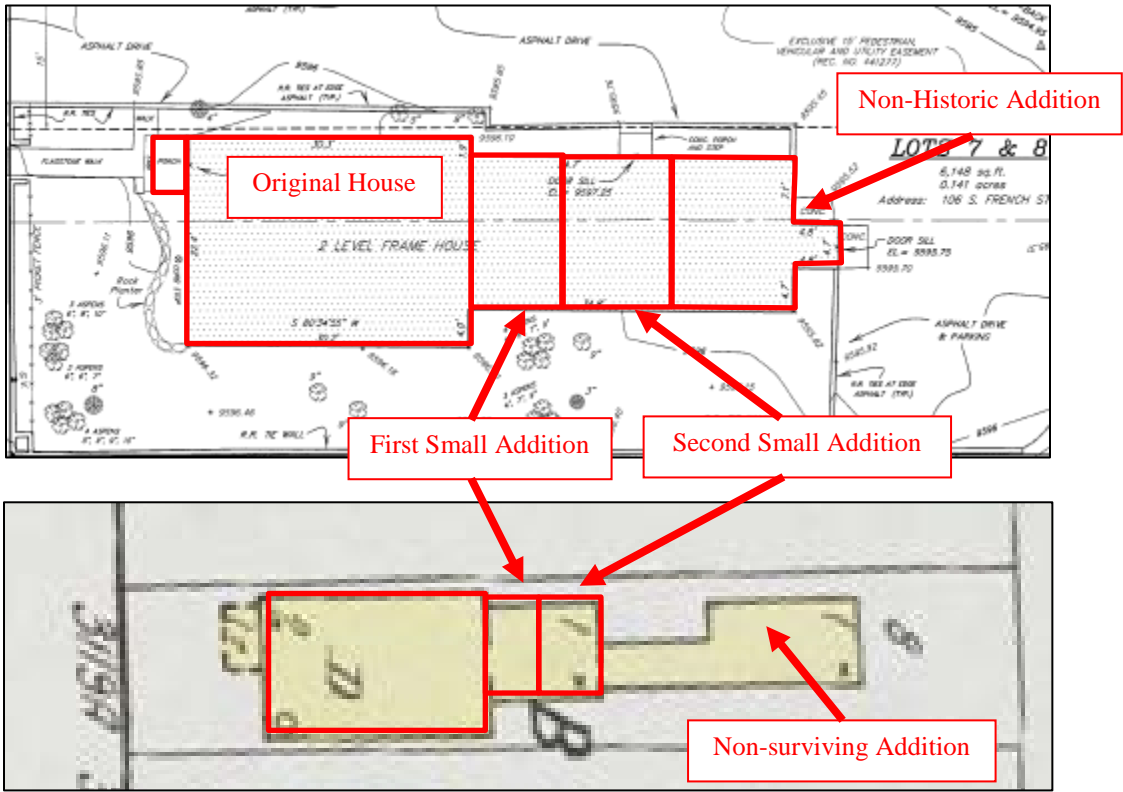
- New mechanical and electrical systems
- New full envelope insulation to code
- New full foundation to accommodate basement beneath historic structure
- Restore siding as required
- Repair any historic windows as required

Under Policy 24R, this scope of work qualifies as a “*On site historic preservation/restoration effort of above average public benefit*” and is eligible for positive six (+6) points. Does the Commission agree?

Precedent for positive six (+6) points for historic preservation includes both of the following projects that provided on-site historic preservation of average public benefit:

- Casey Residence, PL-2018-0262, 112 North French Street
- Searle House, PL-2017-0070, 300 East Washington Avenue

The applicant is proposing to remove a non-historic addition on the rear of the building, which is believed to be added outside of the Period of Significance. Design Standard 35: allows “*More recent alterations that are not historically significant may be removed*”. The applicant has indicated that if any historic material is found within this addition, staff will be contacted and the plan modified. The image below outlines the approximate location of the different additions over time. While the two smaller additions on the rear of the main house are not called out individually on the Sanborn Maps, internal walls indicate they were constructed at different times.



According to the Cultural Resource Survey for this property, the 1902 Sanborn map depicts the building with a rear extension which appears somewhat longer than the extant one-story rear extension. While

there is no specific information in the Town’s property file., the easternmost addition in the Sanborn map was removed and replaced with a different addition in 1954, according to a permit card acquired from Summit County.

**Size and Scale:**

Priority Design Standard 80: *For additions to historic structures in the residential character areas, additions may add up to one additional module of average size as specified in the individual Character Area up to the allowed remaining density on site. See Policy 4 and Policy 5 of the Town’s Development Code for allowed total density on site.*

*Historically, secondary structures at the rear of the property were generally subordinate in scale to the primary building façade. This relationship should be contained with new development. (Ord. 32, Series 2010)*

The module size range for this character area is 500-2,300 sq. ft. with 1,500 being the average size. The proposed secondary building is 872 sq. ft. and is located in the rear of the property. The proposed accessory apartment is located to the rear of the property. The main house is proposed to have 1,414 sq. ft. of mass after the removal of the non-historic addition. Staff believes the proposed secondary building is subordinate in scale to the primary structure.

Design Standard 85: *Design new structures in lengths that appear similar to those found historically in the character area.* The proposed secondary building is 27’ deep, which is within the range of other surviving barns and newer additions.

Priority Design Standard 88: *Maintain the perceived width of nearby historic buildings in new construction.* The proposed secondary structure is approximately the same width as the historic building, and placed behind the historic building. Staff does not have any concerns.

**Mass (4/R):** In August 2019 an update to the Handbook of Design Standards for the Historic District was approved. This included changes to the allowed Mass bonus for historic and non-historic properties. Properties with historic structures are allowed a mass bonus as outlined in the chart below. Properties without a historic structure receive the standard mass bonus, with no negative points.

Up to 10% Mass Bonus	-2 Points
Up to 15% Mass Bonus	-4 Points

The mass bonus is based on the maximum allowed above ground density of 9 UPA. This property is allowed 2,030 sq. ft. of above ground density. A 10% mass bonus would be 2,233 sq. ft. maximum and a 15% mass bonus would be 2,334 sq. ft. maximum. This project is proposing 2,286 sq. ft. of above ground square footage and therefore qualifies for negative four (-4) points.

Priority Design Standard 86: *Design new buildings to be similar in mass with the historic character are context.*

- *The overall perceived size of the building is the combination of height, width and length and essentially equals its perceived volume.*
- *This is an important standard which should be met on all projects.*

Staff feels that the proposed massing is generally appropriate based on the above standards.

**Building Height (6/A & 6/R) and Perceived Scale:** Building height for residences within Character Area 1 are reviewed under both the Handbook of Design Standards and Policy 6 in the Development Code.

Policy 6/R states *“In land use districts 11, 17 ..., a maximum height of twenty three feet (23') is strongly encouraged. For buildings with heights greater than twenty three feet (23'), points shall be deducted based on the following table:*

<u>Building Height</u>	<u>Point Deductions</u>
23.01 - 24 feet	-1

Since the tallest portion of the garage apartment measures 23'4” to the mean, the design would be four inches (4”) over the recommended mean. While staff feels that this height could be adjusted, it would qualify for negative one (-1) point as it is currently designed.

Beyond Policy 6, staff reviewed the height and perceived size of the addition against Priority Design Standards 37, 80, 81, 86 and 122.

*Priority Design Standard 37. Additions should be compatible in size and scale with the main building.*

- *They shall be visually subordinate to the main building.*
- *They also shall be compatible with the scale of the character area.*
- *Locating some building area density in a basement is encouraged, as a means of minimizing the mass of an addition.*
- *If it is necessary to design additions that are taller than the main building, set them back substantially from primary character defining facades. See also the discussion of scale in the standards for new construction.*
- *While it is preferred that additions do not go above the height of the historic home, higher building heights are allowed if designed appropriately in accordance with other policies. Should the building height of the addition have an appropriate design to go above the height of the historic home, in no case shall the addition exceed one half story (1/2) above the historic structure, up to a maximum of two (2) stories as measured to the mean from existing or natural grade, whichever yields the lesser height.*
- *The historic building front façade shall remain the primary front façade. The addition should be setback behind the historic building and not compromise the front façade.*

*Priority Design Standard 80: Respect the perceived building scale established by historic structures within the relevant character area.*

- *An abrupt change in scale within the historic district is inappropriate, especially where a new, larger structure would directly abut smaller historic buildings.*
- *Locating some space density below grade is encouraged to minimize the scale of new buildings.*
- *For additions to historic structures in the residential character areas, additions may add up to one additional module of average size as specified in the individual Character Area up to the allowed remaining density on site. See Policy 4 and Policy 5 of the Town’s Development Code for allowed total density on site.*

- *Historically, secondary structures at the rear of the property were generally subordinate in scale to the primary building façade. This relationship should be contained with new development. (Ord. 32, Series 2010)*

*Priority Design Standard 81: Build to Heights that are similar to those found historically.*

- *This is an important standard which should be met on all projects.*
- *Primary facades should be one or two stories in height, no more, depending on the height recommended in the Town's Development Code and Character Area.*
- *Additions to historic structures shall not exceed one-half (1/2) story above the existing historic structure, up to a maximum of two (2) stories. Measurements shall be taken from the mean height of the historic structure to the mean height of the addition. For the purpose of this standard, a half story is six-feet (6'). The overall mean height of the addition may not exceed the allowed height in Policy 6 Building Height in the Development Code.*
- *Secondary structures must be subordinate in height to the primary building. (Ord. 32, Series 2010)*
- *The purpose of this standard is to help preserve the historic scale of the block and the character area.*
- *Note that the typical historic building height will vary for each character area (1 to 1-1/2 stories for the East Side character area).*



*Priority Design Standard 122: Building height should be similar to nearby historic buildings.*

- *Primary facades should be 1 or 1 and ½ stories tall. (Some 2-story portions may be considered if they are set back from the street.)*
- *Refer to height limits in ordinance.*
- *Note that the height limits are absolute maximums and do not imply that all buildings should reach these limits. Visually appropriate buildings are often ones which are less than the maximum height allowed by ordinance.*





While the secondary structure is proposed to be taller overall than the historic structure, it may still be considered as subordinate because it is set back further on the site.

Based on the above Design Standards, staff is generally comfortable with the proposal as it relates to Priority Design Standards 37, 80, 81, 86 and 122, since the secondary building is less than one half story taller (3' 10") than the primary structure. Additionally, secondary structures may go up to two stories if they are substantially setback from the primary structure, which is the case with this proposal. Finally, the secondary building will largely not be visible from the front of the property due to existing mature landscaping and is significantly smaller in scale when compared to the adjacent historic Breckenridge Grand Vacations Community Center. Does the Commission concur?

Staff also reviewed Priority Design Standard 121 as it relates to the roof design of the addition.

Staff feels the roof design on the proposed secondary building meets the intent of this design standard because it is simple in nature. The main portion of the roof has a north-south orientation, differentiating from the primary historic structure. While there is a gable on the secondary structure, it is subordinate to the main roof structure and staff feels that the overall roof structure of the new building meets the standards of the Handbook. Does the Commission concur?

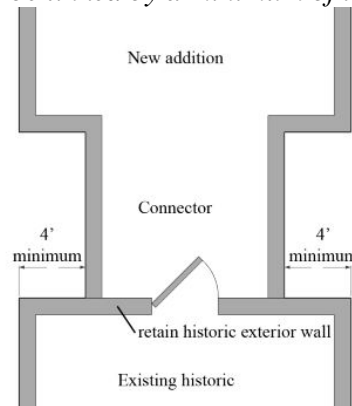
**Connector:** Connectors are addressed in the Handbook per Policies 37.5 and 80A. Below is the language from the Handbook:

*The intent of this policy is to clearly define and separate modules and/or separate a historic structure from the new addition. (Ord. 8, Series 2014). Below grade connectors are the preferred method to achieve the appearance of separate structures.*

*Priority Policy 80A. Use a connector to link smaller modules and for new additions to historic structures.*

1. *The connector and addition should shall be located at the rear of the building or in the event of a corner lot, shall be setback substantially from significant front facades.*
2. *No more than one connector is allowed.*
3. *The connector shall be design in a single straight line and shall step in from the historic building sidewall planes a minimum of four (4) feet on each side of the historic structure. shall not exceed two-thirds the width of the facade of the smaller of the two modules that are to be linked.*

4. *Within the connector, a cut into the historic fabric may be made to allow for the width of a typical doorway, to preserve the majority of the historic fabric. The remainder of the historic fabric, beyond the doorway opening shall be preserved in perpetuity. The wall planes of the connector should be set back from the corners of the modules to be linked by a minimum of two feet on any side.*

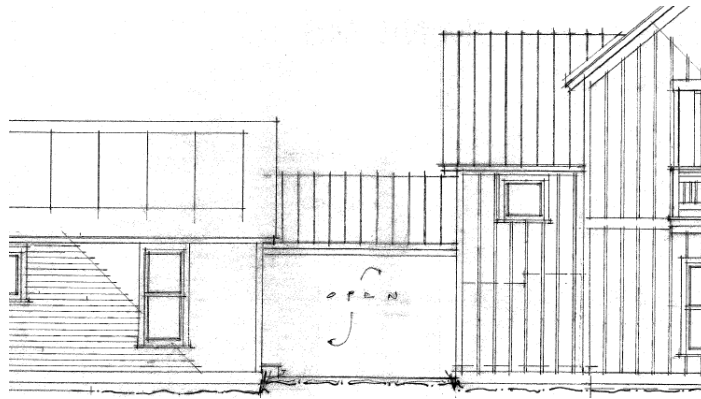


a.

5. ***Below grade or open air breezeways (i.e. roof cover with no walls) are encouraged and warrant positive two (+2) points. If receiving points under this policy, the applicant shall not be eligible for positive points for an below grade connector in Policy 37.5.***
6. *The connector shall be a minimum of ten (10) feet in length and shall be appropriate in proportion within the historic property.*
7. *The height of the connector should be clearly lower than that of the masses to be linked and should follow the topography. The connector shall not exceed one story in height and shall be a minimum of two feet lower than the ridgeline of the modules to be connected.*
8. *A connector shall be visible as a connector. It shall have a simple design with minimal features and a gable roof form. A simple roof form (such as a gable) is allowed over a single door.*
9. *When adding onto a historic building, a connector should be used when the addition would be greater than 50% of the floor area of the historic structure or when the ridge height of the roof of the addition would be higher than that of the historic building. (Ord. 8, Series 2014)8. Should the required connector width result in an unusable configuration (i.e. on a narrow historic structure), the Planning Commission may find sections 3 and 4 of this Policy not applicable and are given the flexibility to work with the applicant. **(Emphasis Added)***

*P 37.5 The location of additions should allow the historic structure to remain prominent on the site as viewed from the primary street frontage.*

- *The position of the addition sidewalls shall be aligned with at least one of the sidewall planes of the historic structure to reduce the visibility of the addition. Maintaining the alignment of both sidewall planes of the historic structure with the addition is desirable and would warrant positive one (+1) point.*
- ***Designs that result in the addition appearing as a separate structure (which may incorporate a below grade connection between the structures but no physical above grade connection) are encouraged and would warrant two (+2) positive points. (Emphasis Added)***



The project features an underground connector between the lower levels of the historic building and the secondary building. The project also features a roof connection between the two buildings, above a required parking space. Since there is an above-ground physical connection between the two structures, Policy 37.5 does not allow for positive points as the addition does not appear as a separate structure. However, Policy 80A does encourage open-air breezeways (i.e. roof cover with no walls) between the two structures in lieu of a full connector. Staff is uncertain if this design qualifies as a breezeway and should receive positive two (+2) points since the required parking space obstructs the path between the rear of the home and the garage. If designed as a full connector, the proposed roof would meet the design criteria of Priority Design Standard 80/A:

- It is located at the rear of the historic building;
- It is offset from the side walls of the historic structure by four feet;
- It is at least half of the length of the historic structure with a minimum of ten feet;
- It is one story in height and at least two feet lower than the ridgelines of the modules to be connected at approximately three and a half feet;
- It has a simple design with minimal features and a gable roof form.

Staff would like the Commission to weigh in whether the roof structure meets the intent of the Handbook and qualifies as a breezeway for positive two (+2) points as outlined in the policies above.

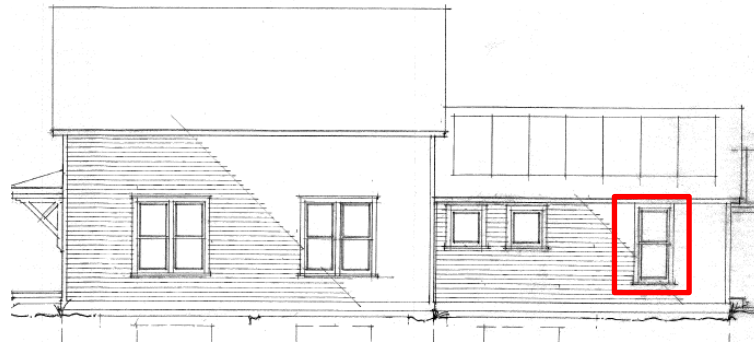
### **Windows and Glazing:**

Priority Design Standard 95 states, “*The proportions of window and door openings should be similar to historic buildings in the area*” and that “*this is an important design standard.*” Priority Design Standard 96 further emphasizes the importance of window proportions, “*Use a ratio of solid to void that is similar to those found on historic and supporting buildings.*” Design Standard 91 again reinforces the use of windows that are in a similar size and shape found historically, “*Use building components that are similar in size and shape to those found historically along the street*” and specifically states, “*these include windows, doors and porches.*” The applicant is proposing one window change on the south side. The proposed window appears to be similar to the other windows on the house. The proposed windows and doors on the secondary structure are proposed to match the dimensions of the main house. Staff has no concerns as with the proposed windows as they relate to Design Standards 91, 95 and 96.

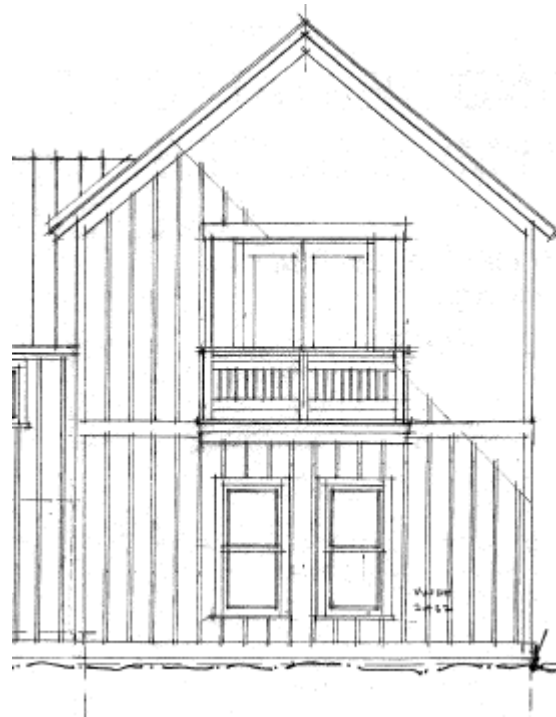
Design Standard #23: *Avoid removing or altering any historic material or significant features.*

While the majority of the Historic fabric is proposed to remain, one window on the south side of one of the historic rear additions is proposed for enlargement. This window is currently a square, but the applicant

believes that at one point in time the window was larger and is planning to restore the opening to the original shape.



Removal of historic fabric for this type of window modification would normally result in negative three (-3) points. However, if the opening is being restored to the original size, there would be no negative points assessed. Prior to the next Hearing, staff is asking the applicant to provide additional details on the opening via a third party to determine the final amount of points for this situation.



Beyond the project's windows, staff feels the proposed balcony and doors on the south facing façade of the secondary building should be modified to become simpler in nature. Staff would recommend the railings be made solid to further screen the doors from public view similar to the recently approved Collins Residence (PL-2019-0068). While this façade does face a parking lot, staff feels that the balcony should be simplified, even if it faced a structure instead of the existing parking lot. Staff would like the Commission's input on the proposed balcony design.

**Solar Panels:** *Priority Policy 69. Preserve the original roof form.*

- *Avoid altering the angle of the roof.*
- *Maintain the perceived line of the roof from the street.*
- *Roof additions, such as dormers, should be kept to a minimum, and should be set back from the primary façade so that the original roof line is perceived from the street.*
- *Flat skylights or solar panels mounted flush with the roof may be considered. Bubbled or domed skylights are not appropriate. Skylights should not be visible on primary facades of buildings.*
- *Locate solar panels so they are not overly visible from the street (i.e. on a section of roof toward the back of the property.)*

Despite being proposed on the historic addition, staff feels the proposed location of the solar panels meets the intent of this policy, as it will not be highly visible from French Street, and has no concerns. Does the Commission concur?

**Building Materials:** The siding on the historic main house has been maintained over the years and is generally in good shape. The applicant is proposing to restore any portions that need repair, which is minimal. Some of the final details are still being worked out for the remainder of the materials and will be included in a future Hearing packet.

**Site Plan:** The project follows the historic settlement pattern for this block (Priority Design Standard 4). It also matches the Town grid (Priority Design Standard 5). Staff believes the renovation will maintain the unity of the block (Priority Design Standard 8).

**Plant Material & Landscaping (22/A & 22/R):** The applicant is proposing to maintain the majority of trees on site as well as add some new ones. The trees that are to be removed include those along the driveway, on the northern side of the primary structure, due to excavation for the basement. The applicant believes replacing trees along the driveway is not feasible due to shadows from the building as well as impacts roots will have on the foundation. The applicant has indicated shrubs may be added in this location. Due to the installation of window wells for egress of the lower level, two aspens to the south of the oldest portion of the historic structure and one aspen clump south of the addition will be removed. An existing evergreen will be relocated further to the rear to provide screening for the accessory apartment. Along the street frontage, there is a significant cluster of trees, which will remain.

In addition to the existing trees, new landscaping is proposed between the structure and the parking lot, to the south. Four aspen trees, at 2" each, and several shrubs are proposed to enhance screening and help mitigate the impact the parking lot has on the residential structure.

In addition to Policy 22/R, landscape design is reviewed in the Handbook of Design Standards. The policies are as follows:

Design Standard 131: *Use evergreen trees in front yards where feasible.*

- *When initially installing trees, begin with a tree, or cluster of trees, that is large enough in scale to have an immediate visual impact.*

Design Standard 132: *Reinforce the alignment of street trees wherever feasible.*

- *Planting new cottonwood trees to define the street edge is encouraged.*

Design Standard 133: *Use landscaping to mitigate undesirable visual impacts.*

- *Use large trees to reduce the perceived scale where larger building masses would abruptly contrast with the historic scale of the area.*

- *Include hedges and other masses of lower scale-scale plantings to screen service areas.*

Staff feels this proposal both provides sufficient screening and meets the policies within the Handbook. While there is no cottonwood tree proposed along the street, the addition of any trees in this area would impact the existing trees, which are already significant. The existing large trees, along with the one to be relocated, help to reduce the perceived scale of the structures from both the right-of-way and the parking lot. Staff has no concerns with the proposed landscaping plan.

**Site and Environmental Design (7/R):** The property is currently developed and has an existing yard with minimal trees and a paved driveway. Policy 7/R discourages intense levels of development and encourages adequate site buffering.

Policy 7/R states: “...*This policy is also intended to discourage levels of development intensity that result in generally compromised site functions, buffering and aesthetics. Taking into consideration the basic character of the site and the nature of the proposed uses, the development should be visually harmonious as perceived from both the interior and exterior of the project. Platted lots with building envelopes, site disturbance envelopes, or designated building locations are still subject to the following rules and recommendations unless noted otherwise.*”

Policy 7/R (B) also encourages new developments to be adequately buffered from neighboring properties. Specifically the policy states:

*“Site Buffering: Developments **should be buffered from adjacent properties and public rights of way.** To achieve this, buildings and other development impacts should be located in a manner that allows for site buffering (existing or proposed). Buffering between the developments and neighboring properties may include, but are not limited to:*

- *Existing mature tree stands.*
- *The physical distance from property edge to the development.*
- *New landscaping.*
- *Landscaped berms at the property perimeter.” (emphasis added).*

This proposal is not proposing any significant changes to the overall site design. Some existing trees on the south side of the historic residence are planned for removal due to excavation for the basement and installation of window wells. Staff met on-site with the applicant to determine which trees were to be removed as part of this project, including those due to construction activities. While some Aspens will be removed due to the work, several trees will remain between the house and adjacent parking lot and will provide buffering. One evergreen tree in this area is also proposed to be relocated to provide better buffering for the garage. Three trees along the driveway are likely to be removed as well, due to excavation for the basement. The applicant has indicated that those trees may be replaced with shrubs but since an existing access easement abuts the residence, planting room is scarce. The large trees in the front of the property will remain as well. Staff has no major concerns with the proposed site changes and resulting site buffering.

**Placement Of Structures (9/A & 9/R):**

The existing historic home’s position will remain unchanged and is setback approximately 15’ from the front property line. The relative side setbacks of 5’ are met as the residence is approximately 11’ from the south property line and 16’ from the north. The secondary building is shown at 10’ from the southern

property line and 18' from the north. The north and south sides of the addition are proposed at 18' and 10', respectively and also meet relative setbacks. The rear absolute setback of 10' is not being met as the rear of the addition is 9' 11" from the rear property line. This would fail Policy 9/A and will necessitate a design change.

**Parking (18/R):** This project requires two parking spaces for the main house and one parking space for the accessory apartment, for a total of three. The applicant is proposing two spaces in the proposed garage and one space between the proposed garage and historic house, partially underneath the connecting roof. The plans currently show gravel in this area but the applicant is planning to modify this into either a paved area or paver strips prior to final hearing to meet Code requirements. Staff has no concerns.

The Handbook of Design Standards addresses parking in the East Side Residential Character in Design Standards 116 and 17.

*Design Standard 116: Minimize the visual impact of parking as seen from the street.*

Staff finds this proposal meets Design Standard 116 because the parking is proposed to be located in the rear of the historic structure. While two of the three spaces will be internal and unseen from the street, the third space is outside but still behind the primary structure. Staff finds no issues and has no concerns.

*Design Standard 117: Develop parking such that the front edge of the site is retained as a yard.*

The property has an existing curb cut and driveway that runs east-west from South French Street, along the south property line to the rear of the property. Since this driveway is within an easement and serves two properties, modification of the pavement would require approval from the property to the north. Since the driveway is currently existing, staff has no concerns as there is no conflict with the Handbook as there is still a yard for this property.

Under Policy 18R, this project would be eligible for positive one (+1) point for utilizing the following: *Common Driveways: The sharing of common driveways leading from public streets or alleyways to off street parking facilities by more than one use or parcel of land is encouraged, whether the parking facilities be joint or separate.*

Precedent for a shared driveway includes:

1. Cavanaugh Residence, PL-2019-0067, 305 North French Street for a proposal utilizing a shared driveway.
2. Lincoln Grill, PL-2018-0030, 112 Lincoln Avenue, for a shared driveway that serves more than one property.

Does the Commission agree that the shared driveway would be awarded positive one (+1) point?

**Drainage (27/A & 27/R):** The Town Engineering Staff has reviewed the preliminary plans for the project and does not have any concerns.

**Local Landmark Designation:** The applicant is seeking local landmarking status with this application. To be designated as a landmark the property must: (1) satisfy the **sole** requirement of Column A; (2) satisfy **at least one** of the requirements of Column B; and (3) also satisfy **at least one** of the requirements of Column C. Applicable criteria have been highlighted in **bold**.

COLUMN "A"	COLUMN "B"	COLUMN "C"
<p><b>The property must be at least 50 years old.</b></p> <p>The original (front) 1½-story portion of the Howe Residence was constructed sometime between October 1890 and January 1896.</p>	<p>The proposed landmark must meet at least ONE of the following 13 criteria:</p> <p><b>ARCHITECTURAL IMPORTANCE</b></p> <p><b>1. The property exemplifies specific elements of architectural style or period.</b> This building is historically significant for its associations with Breckenridge’s historical development during the “Town Phase” and “Stabilization Phase” periods of the town’s growth.</p> <p>2. The property is an example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.</p> <p>3. The property demonstrates superior craftsmanship or high artistic value</p> <p>4. The property represents an innovation in construction, materials or design.</p> <p><b>5. The property is of a style particularly associated with the Breckenridge area.</b> This building is also architecturally notable, to a modest degree, for its representative front gabled plan.</p> <p>6. The property represents a built environment of a group of people in an era of history.</p> <p>7. The property includes a pattern or grouping of elements representing at least one of the above criteria.</p> <p>8. The property is a significant historic remodel.</p> <p><b>SOCIAL IMPORTANCE</b></p> <p>9. The property is a site of an historic event that had an effect upon society.</p> <p>10. The property exemplifies cultural, political, economic or social heritage of the community.</p> <p>11. The property is associated with a notable person or the work of a notable person.</p>	<p>The proposed landmark must meet at least ONE of the following 4 criteria:</p> <p>1. The property shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.</p> <p><b>2. The property retains original design features, materials and/or character.</b> This building exhibits a reasonably high level of integrity, relative to the seven aspects of integrity as defined by the National Park Service and the Colorado Historical Society - setting, location, design, materials, workmanship, feeling and association. A sense of time and place of a lat 19th century building is still in evidence.</p> <p>3. The structure is on its original location or is in the same historic context after having been moved.</p> <p>4. The structure has been accurately reconstructed or restored based on documentation.</p>



<b>GEOGRAPHIC/ENVIRONMENTAL IMPORTANCE</b>
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- |   |
|---|
| 12. The property enhances sense of identity of the community.<br>13. The property is an established and familiar natural setting or visual feature of the community |
|---|

Staff finds that the property is eligible for local landmarking. Does the Commission concur? If so, staff will add a condition of approval at the Final Hearing for the applicant to obtain approval of an ordinance from the Town Council designating the property a local landmark.

**Point Analysis (Section: 9-1-17-3):** At this preliminary review staff has identified Absolute, Relative and Priority Design Standards that the applicant will need to correct to have an approvable project. We have identified the following with this report:

From the Development Code:

- Policy 4/R Mass: Negative four (-4) points – For being up to 15% more than the allowed Above-Ground Density for a property containing a historic structure.
- Policy 6/R Building Height: Negative one (-1) point for being 4” over allowed mean height
- Policy 9/A Placement of Structures: (Fail) for not meeting the absolute rear setback of 10 feet.
- Policy 24/R, Social Community: Positive six (+6) points - On-site historic preservation/restoration effort of above average public benefit for a primary structure.
- Policy 18/R Parking: Positive one (+1) point for utilization of a joint parking facility

Historic Standards (24/A)

- Design Standard 23: Negative three (-3) points – for the removal of historic fabric for the enlargement of the window on the south side
- Design Standard 37.5: Possible positive two (+2) points for an open air breezeway connector

At this preliminary hearing, the proposal is failing one Absolute Policy and showing a passing score of positive (+1) point, if historic fabric is removed for the enlargement of the window on the southside. If it is determined historic fabric is not removed, the application would have a passing score of positive (+4) points, given the additional information provided prior to another hearing meets policies outlined in the Development Code.

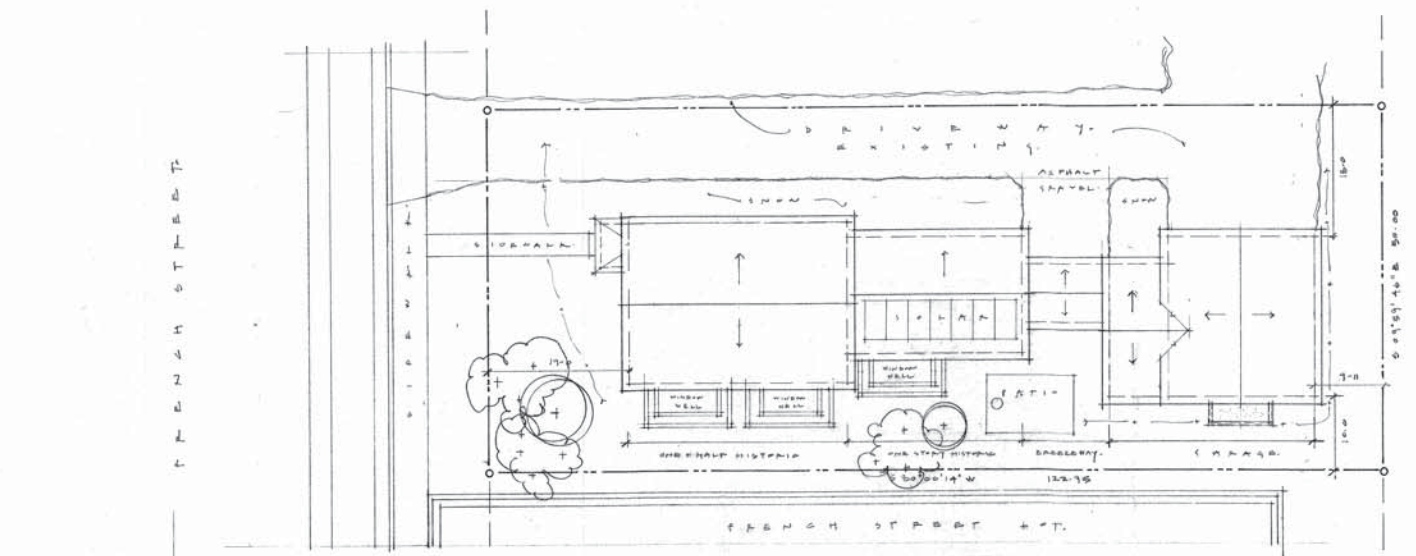
**Staff Recommendation**

Staff acknowledges there are several policies that need to be addressed before the project is ready for a subsequent review.

Based on staff’s recommendations, we have the following questions for the Commission:

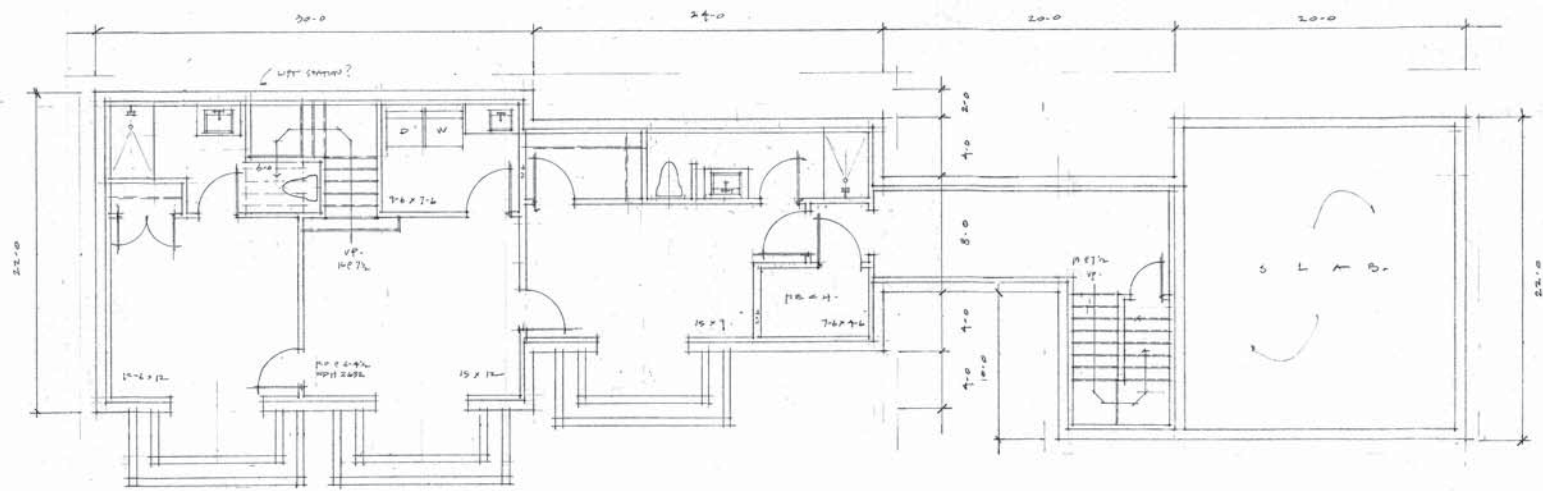
1. **Mass** – Staff believes the project meets the maximum above ground density but is utilizing the allowed 15% mass as outlined in the Handbook of Design Standards and would be subject to negative four (-4) points. Does the Commission agree?
2. **Historic Preservation** - Staff believes the proposal positive six (+6) points for on-site historic preservation/restoration efforts of above average public benefit for a primary structure. Does the Commission agree?
3. **Roof Design and height** - Does the Commission believe the height and roof design of the proposed addition complies with Priority Policies 37, 80, 81, 121 and 122 and that as currently designed, would receive negative one (-1) point under Policy 6/R?
4. **Roof Connector** – Does the Commission find the roof connector a breezeway and therefore eligible for positive two (+2) points as it pertains to Design Standard 37.5?
5. **Secondary Building Balcony** – Does the Commission have any feedback for the proposed balcony design?
6. **Solar Panels** – Does the Commission find the location of the solar panels meets the intent of the Handbook?
7. **Local Landmarking** – Does the Commission find the property is eligible for Local Landmarking?

The Planning Department recommends this proposal return for a second review after the applicant has acquired a third party historic assessment, addressed the above issues and any other concerns expressed by the Commission.

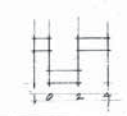


SITE PLAN

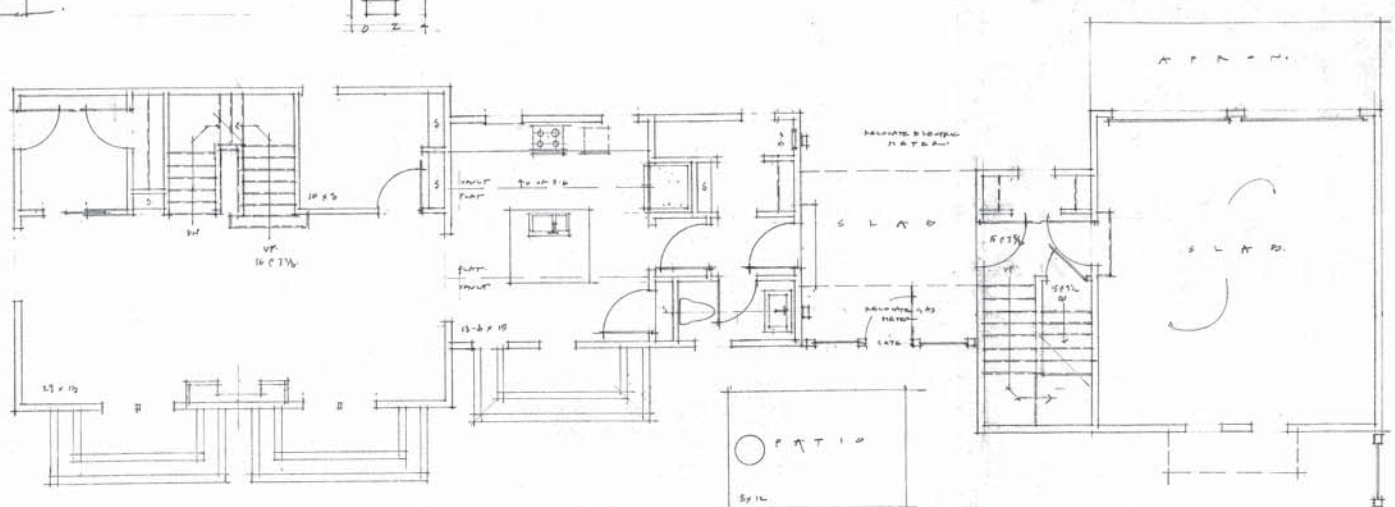
HOWE HOUSE  
106 SOUTH FRENCH STREET. 10.1.20



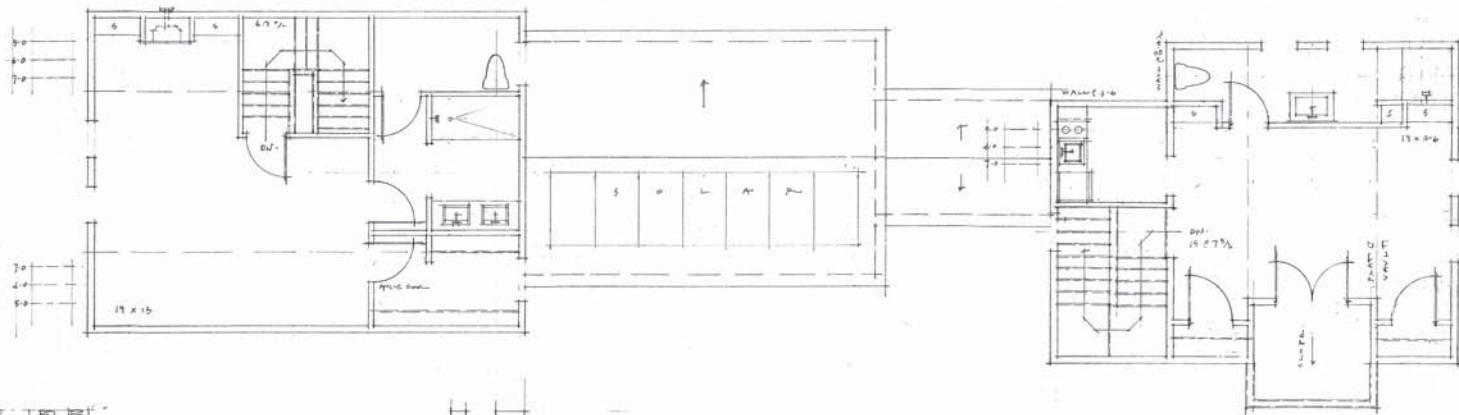
LOWER LEVEL



MAIN LEVEL



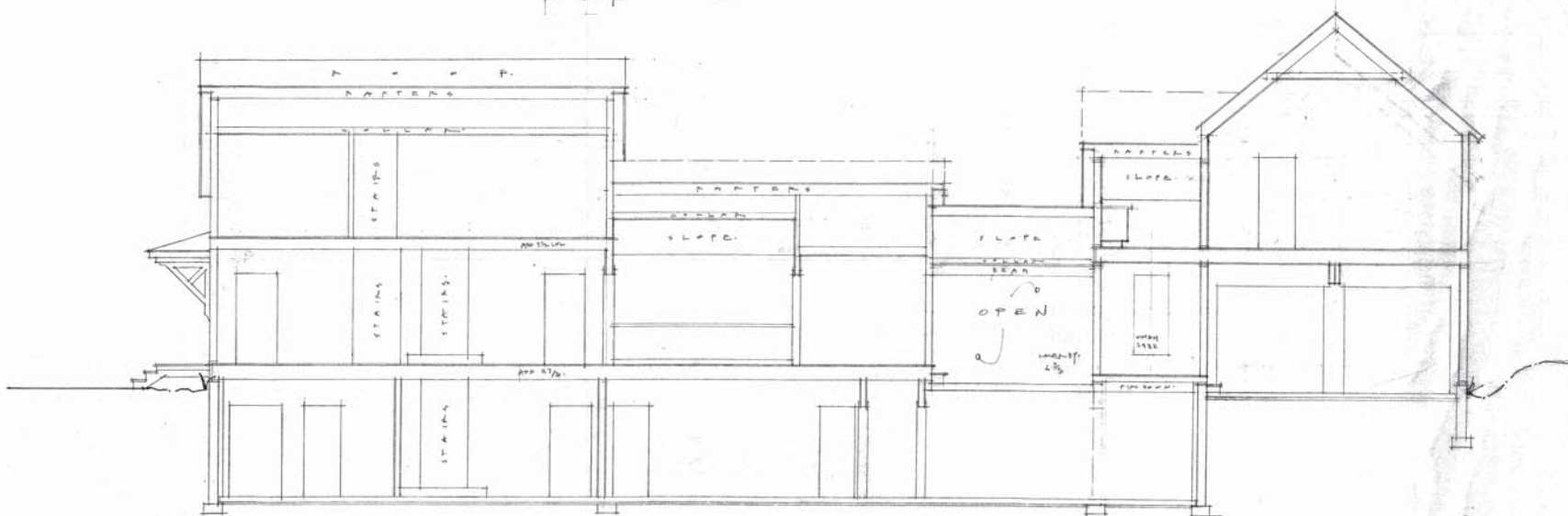
HOME HOUSE 106 SOUTH FRENCH STREET 10-1-20



UPPER LEVEL



WEST/EAST SECTION



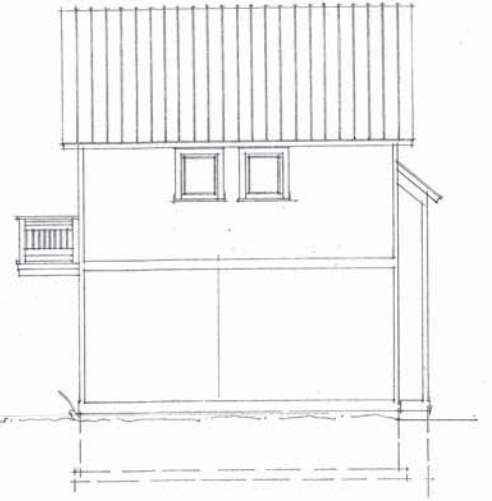
HOME HOUSE - 106 SOUTH FRENCH STREET - 10-1-20



WEST



WEST/GARAGE



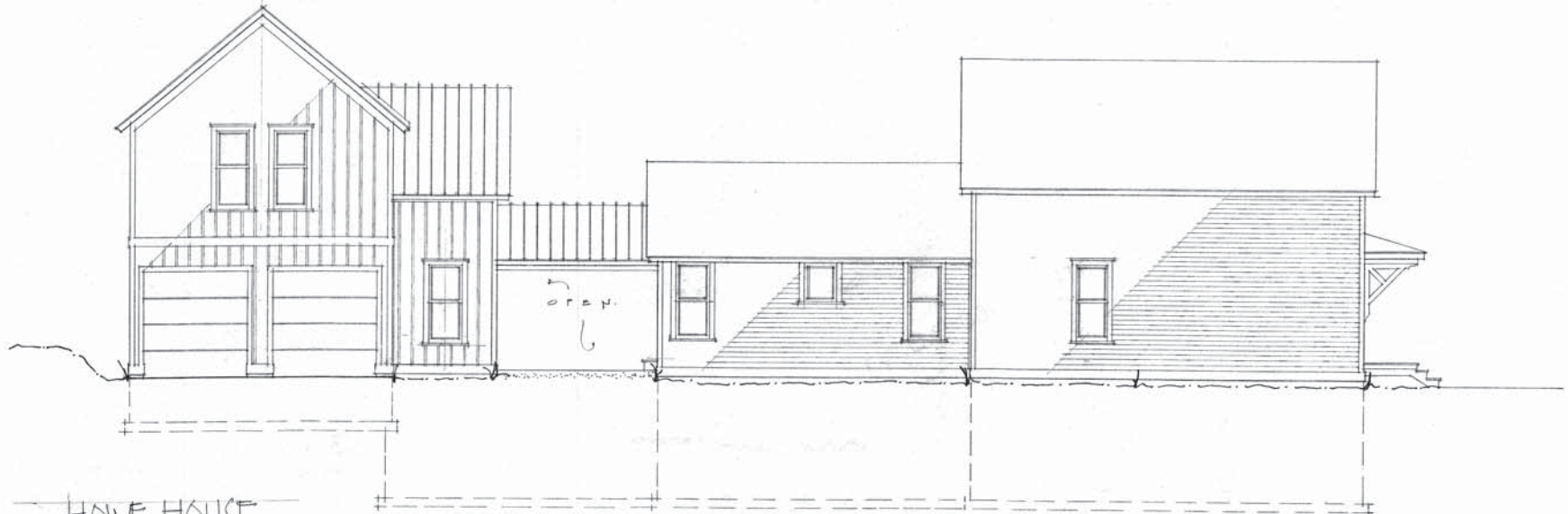
EAST

HOME HOUSE

106 SOUTH FRENCH STREET 10.1.20



SOUTH  
NORTH



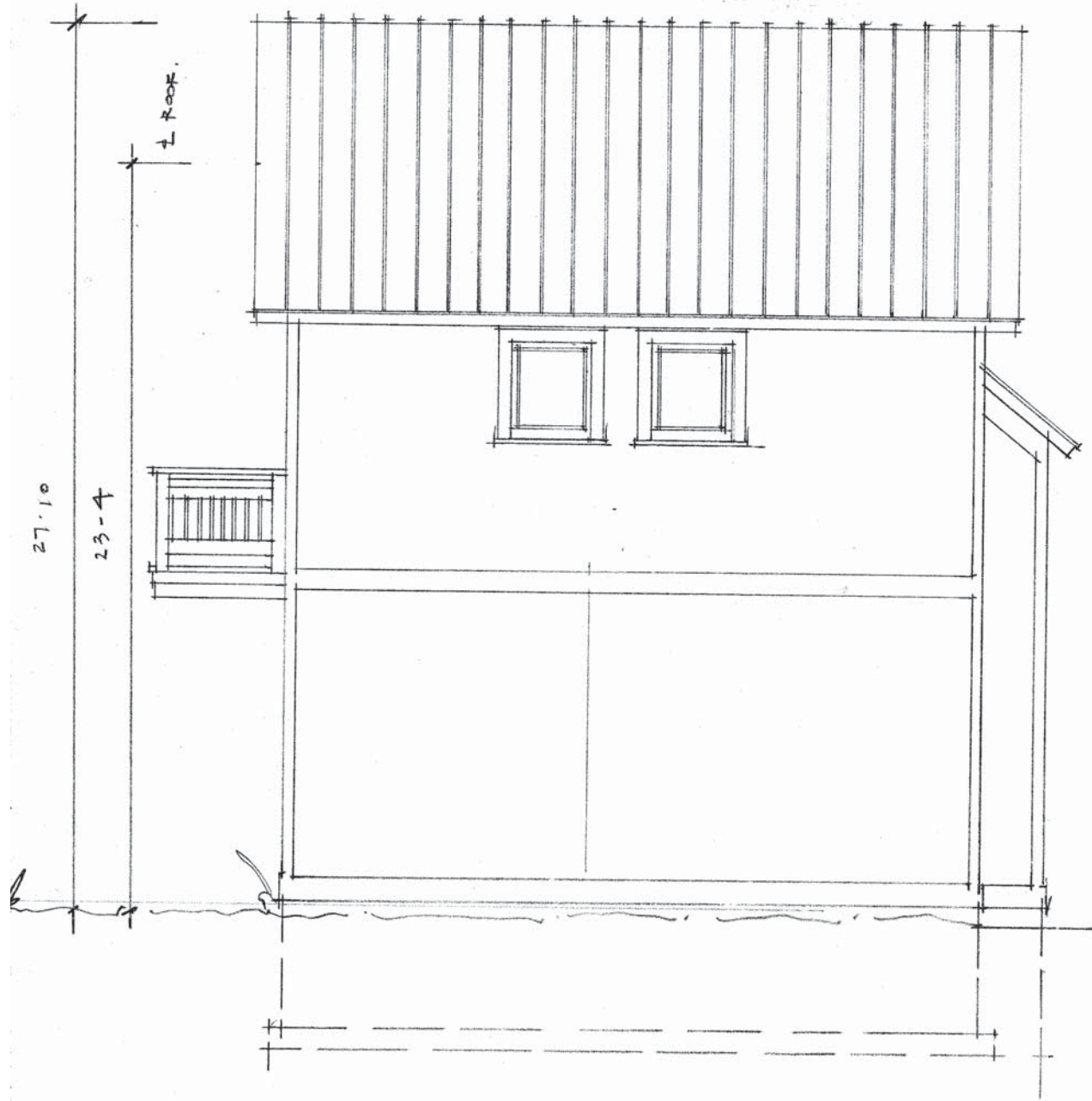
HOME HOUSE

122 SOUTH FRENCH STREET 10.1.20

25'-2"

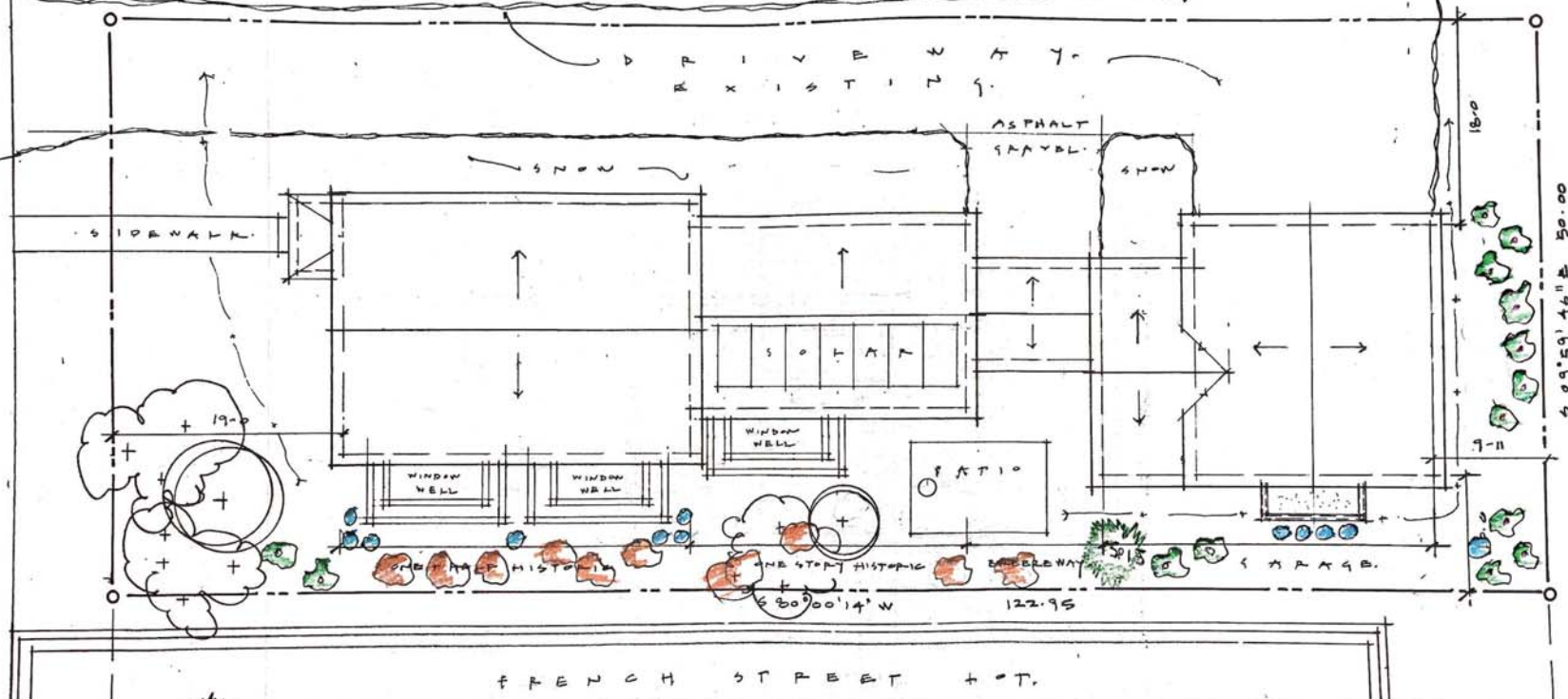








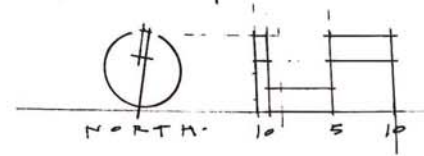


EAST

SITE PLAN BY THETFORD LANDSCAPING  
 JONES RES 106 S. FRENCH ST.

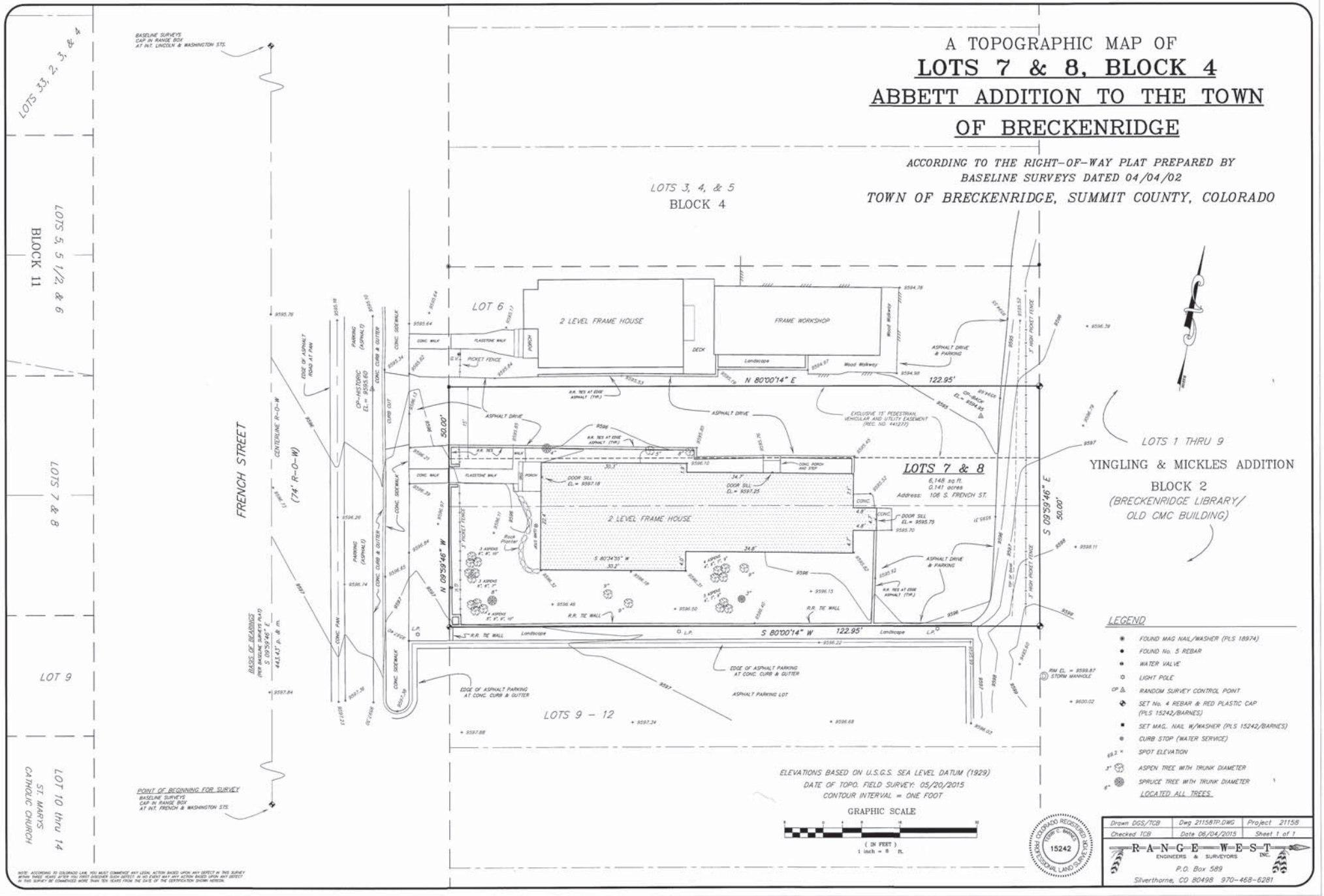


-  TRANSPLANTED 14' SPRUCE
-  2" ASPEN
-  15 GALLON 2-3' TALL SHRUB
-  #5 SHRUB 18"-24"



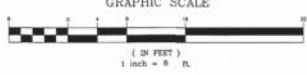
# A TOPOGRAPHIC MAP OF LOTS 7 & 8, BLOCK 4 ABBETT ADDITION TO THE TOWN OF BRECKENRIDGE

ACCORDING TO THE RIGHT-OF-WAY PLAT PREPARED BY  
BASELINE SURVEYS DATED 04/04/02  
TOWN OF BRECKENRIDGE, SUMMIT COUNTY, COLORADO



- LEGEND**
- FOUND MAG. NAIL/WASHER (PLS 18974)
  - FOUND No. 5 REBAR
  - WATER VALVE
  - LIGHT POLE
  - △ RANDOM SURVEY CONTROL POINT
  - ◆ SET No. 4 REBAR & RED PLASTIC CAP (PLS 15242/BARNES)
  - ◆ SET MAG. NAIL/WASHER (PLS 15242/BARNES)
  - CURB STOP (WATER SERVICE)
  - SPOT ELEVATION
  - 3' ASPEN TREE WITH TRUNK DIAMETER
  - 6" SPRUCE TREE WITH TRUNK DIAMETER
  - LOCATED ALL TREES.

ELEVATIONS BASED ON U.S.G.S. SEA LEVEL DATUM (1929)  
DATE OF TOPO. FIELD SURVEY: 05/20/2015  
CONTOUR INTERVAL = ONE FOOT



Drawn DCS/TCB	Dwg 21158TP.DWG	Project 21158
Checked TCB	Date 06/04/2015	Sheet 1 of 1
RANGEL ENGINEERS & SURVEYORS, INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

Class A Historic Development Point Analysis				
Project:	Howe Residence Landmarking, Restoration, and Garage Addition	Positive Points	+9	
Plan #	PL-2020-0464	Negative Points	-8	
Date:	11/23/2020			
Staff:	Jeremy Lott, AICP - Planner II			
		<b>Total Allocation:</b>	<b>+1</b>	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)	0	Complies
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	<b>Mass</b>	5x (-2>-20)	-4	The mass bonus is based on the maximum allowed above ground density of 9 UPA. This property is allowed 2,030 sq. ft. of above ground density. A 10% mass bonus would be 2,233 sq. ft. maximum and a 15% mass bonus would be 2,334 sq. ft. maximum. This project is proposing 2,286 sq. ft. of above ground square footage and therefore qualifies for negative four (-4) points.
5/A	<b>Architectural Compatibility</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)	-1	Since the tallest portion of the garage apartment measures 23'4" to the mean, the design would be four inches (4") over the recommended mean.
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	FAILS		For not meeting the rear absolute setback of 10'.
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)	0	Complies
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	<b>Internal Circulation</b>	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)	+1	Utilization of a shared driveway between two properties.

18/R	Parking - Downtown Service Area	2x(-2+2)																			
19/A	<b>Loading</b>	Complies																			
20/R	Recreation Facilities	3x(-2/+2)																			
21/R	Open Space - Private Open Space	3x(-2/+2)																			
21/R	Open Space - Public Open Space	3x(0/+2)																			
22/A	<b>Landscaping</b>	Complies																			
22/R	Landscaping	2x(-1/+3)																			
24/A	<b>Social Community</b>	Complies																			
24/R	Social Community - Employee Housing	1x(-10/+10)																			
24/R	Social Community - Community Need	3x(0/+2)																			
24/R	Social Community - Social Services	4x(-2/+2)																			
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)																			
24/R	Social Community - Historic Preservation	3x(0/+5)																			
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15	+6							Above average restoration of historic window and door openings, preservation of historic roof materials, siding, windows, doors and architectural details, plus structural stabilization and installation of a new foundation.											
24/R	Social Community - Historic Preservation/Restoration - Benefit	-3	-3							For the removal of historic fabric for the enlargement of a window on the southside of the historic structure.											
24/R	Social Community - Connector/Breezeway	2	+2							Connector that is designed as an open air breezeway.											
25/R	Transit	4x(-2/+2)																			
26/A	<b>Infrastructure</b>	N/A																			
26/R	Infrastructure - Capital Improvements	4x(-2/+2)																			
27/A	<b>Drainage</b>	Complies																			
27/R	Drainage - Municipal Drainage System	3x(0/+2)																			
28/A	<b>Utilities - Power lines</b>	N/A																			
29/A	<b>Construction Activities</b>	Complies																			
30/A	<b>Air Quality</b>	Complies																			
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2																			
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)																			
31/A	<b>Water Quality</b>	Complies																			
31/R	Water Quality - Water Criteria	3x(0/+2)																			
32/A	<b>Water Conservation</b>	Complies																			
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)																			
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)																			
33/R	HERS index for Residential Buildings																				
33/R	HERS/ERI analysis = 20% - 39% energy saved	+2																			
33/R	HERS/ERI analysis = 40% - 59% energy saved	+3																			
33/R	HERS/ERI analysis = 60% - 79% energy saved	+4																			
33/R	HERS/ERI analysis = 80% - 99% energy saved	+5																			
33/R	HERS/ERI analysis = 100% energy saved	+6																			
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)																			
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)																			
33/R	Large Outdoor Water Feature	1X(-1/0)																			
33/R	Other Design Feature	1X(-2/+2)																			
34/A	<b>Hazardous Conditions</b>	Complies																			
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)																			
35/A	<b>Subdivision</b>	Complies																			
36/A	<b>Temporary Structures</b>	Complies																			
37/A	<b>Special Areas</b>	Complies																			
37/R	Community Entrance	4x(-2/0)																			
37/R	Individual Sites	3x(-2/+2)																			
37/R	Blue River	2x(0/+2)																			
37/R	Cucumber Gulch/Setbacks	2x(0/+2)																			
37/R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)																			
38/A	<b>Home Occupation</b>	Complies																			
39/A	<b>Master Plan</b>	Complies																			
40/A	<b>Chalet House</b>	Complies																			
41/A	<b>Satellite Earth Station Antennas</b>	Complies																			
42/A	<b>Exterior Loudspeakers</b>	Complies																			
43/A	<b>Public Art</b>	Complies																			
43/R	Public Art	1x(0/+1)																			
44/A	<b>Radio Broadcasts</b>	Complies																			
45/A	<b>Special Commercial Events</b>	Complies																			
46/A	<b>Exterior Lighting</b>	Complies																			
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies																			
48/A	<b>Voluntary Defensible Space</b>	Complies																			
49/A	<b>Vendor Carts</b>	Complies																			
50/A	<b>Wireless Communication Facilities</b>	Complies																			

**Planning Commission Staff Report**

**Subject:** The Carlin Building Remodel and Site Plan Redesign  
(Class B Minor, Preliminary Hearing; PL-2020-0498)

**Proposal:** To renovate an existing structure at N. Main and Wellington Rd. with a restaurant on the lower two levels and four apartments on the upper story. The existing parking lot will be reduced by approximately five spaces, the vehicular entrance/exit at Main St. will be removed and a new heated patio area is proposed with outdoor fireplace installed. Main level access to the building will be reconstructed to better connect to Main St.

**Date:** November 25, 2020 (For meeting of December 1, 2020)

**Project Manager:** Luke Sponable, Planner I

**Applicant/Owner:** Jeremy Fischer, Wellington and Main, LLC

**Agent:** Suzanne Allen Sabo and Ben Henson, Allen Guerra Architecture

**Address:** 200 North Main St.

**Legal Description:** Lots 55 & 56, Bartlett and Shock Addition

**Site Area:** 0.36 acres (15,718 sq. ft.)

**Land Use District:** 19 - Commercial – 1:1 FAR/20 Units per Acre (UPA)

**Historic District:** 5 - North Main Street Residential/Commercial

**Site Conditions:** The property is located at the corner of N. Main St and Wellington Rd. and is made up of two lots, Lot 55 and 56 of the Bartlett and Shock Addition. The property slopes downhill from east to west at approximately three to four %. The lot has a number of larger aspen trees and paved parking exists along the entire eastern and northern portions of the lot. The eastern end of the parking lot has a retaining wall. An existing Utility Easement crosses the lot from the northeastern corner of the structure to the eastern property line.

**Adjacent Uses:**

North:	Breckenridge Pour House Restaurant (Commercial)
South:	Local Market and Liquor Shed (Commercial)
East:	McGraphix and Single-Family Homes (Residential & Commercial)
West:	Wellington Public Parking Lot

**Density:**

Allowed under LUGs:	
Commercial (1:1):	15,718 sq. ft.
Residential (20 UPA):	11,547 sq. ft.
Existing Density:	7,142 sq. ft.
Proposed density (reduction of 44 sq. ft.):	7,098 sq. ft.

**Above Ground Density:**

**Allowed:**

At 9 UPA:	5,198 sq. ft.
Existing:	6,922 sq. ft.
Proposed (reduction of 44 sq. ft.):	6,882 sq. ft.

**Mass:**

Allowed under LUGs:	6,752 sq. ft.
Existing:	6,922 sq. ft.
Proposed (reduction of 44 sq. ft.):	6,882 sq. ft.

**Total:**

**Commercial**

Main Level:	2,595 sq. ft.
Lower Level:	2,635 sq. ft.
Subtotal:	5,230 sq. ft.

**Residential**

Upper Floor:	1,868 sq. ft.
Subtotal:	1,868 sq. ft.

**Total**

**7,098 sq. ft.**

**Height:**

Recommended:	23.0 ft. (mean) 26 ft. (max)
Existing (No change):	36 ft. (mean) 46 ft. (overall)

**Lot Coverage:**

Building / non-Permeable:	2,983 sq. ft. (19% of site)
Hard Surface / non-Permeable:	9,147 sq. ft. (58% of site)
Open Space / Permeable Area:	3,588 sq. ft. (23% of site)

**Parking:**

Required:	
Restaurant (3.5/1,000 sq. ft.):	18.3 spaces
Apartment (1.1/1,000 sq. ft.):	2.0 spaces
Proposed Onsite:	20.0 spaces
To be purchased in Parking Service Area:	.3 spaces

**Snowstack:**

Required:	1,634 sq. ft. (25%)
Proposed:	1,634 sq. ft. (25%)

**Setbacks:**

Building footprint is unchanged, second level overhangs have been reduced.

**Item History**

The original structure was approved in 1979 and again in 1980. It contained a restaurant on the main floor, 3 employee units on the lower floor and an owners unit on the upper floor. In 1993 the owners unit was converted to 4 short term lodging rooms which made the use a combined Restaurant and Inn. In 1996, the 3 employee units were removed and replaced with a restaurant space.

## Staff Comments

At this preliminary review, staff would like to address the key policies addressing staff's concerns and identify issues related to having this proposal meet all absolute policies and obtain a passing Point Analysis at a future meeting.



### **The Social Community (24/A):**

*B. Historic And Conservation District: Within the conservation district, which area contains the historic district (see special areas map) substantial compliance with both the design standards contained in the "handbook of design standards" and all specific individual standards for the transition or character area within which the project is located is required to promote the educational, cultural, economic and general welfare of the community through the protection, enhancement and use of the district structures, sites and objects significant to its history, architectural and cultural values.*

Since this policy addresses the design criteria found in the Handbook of Design Standards for the Historic and Conservation Districts along with the individual Character Areas, discussion of all historic details will be reviewed here.

**Windows:** Staff has expressed concern to the applicants about the amount of glazing, particularly on the western and southwestern façades.

Priority Design Standard 95 states, *"The proportions of window and door openings should be similar to historic buildings in the area"* and that *"this is an important design standard."* Priority Design Standard 96 further emphasizes the importance of window proportions, *"Use a ratio of solid to void that is similar to those found on historic and supporting buildings."* Design Standard 203 also states, *"Use windows similar in size and proportion to those used historically"* Staff finds the window size and overall amount of glazing to be inappropriate and therefore negative three (-3) points are warranted.





Staff believes there should be a general reduction in the amount of glazing on the western and southwestern elevations. Does the Commission agree?

**North Patio:** The proposed site plan shows a large patio area in place of the existing N. Main St. entrance/exit. Priority Design Standard 15 states, *“Maintain a clear separation between the sidewalk and the site”* and *“developing a paved patio that extends forward from a set-back facade across the sidewalk is therefore inappropriate because it blurs this distinction.”* According to Priority Design Standard 101, the proposal shall *“use landscaping and fencing to define yard edge.”* A fence is not proposed. Staff recommends that a fence be installed 4 feet from the sidewalk to allow for snow stack area or an alternative landscape/patio design be proposed that meets this policy intent. Priority Design Standard 192 further specifies, *“Maintain character of yard spaces, especially front and side yards visible from the street”* and *“front yards should be designed predominantly with plant materials, including trees and grass, as opposed to hard surfaced paving.”*

The patio has some separation from the sidewalk but is predominantly hard surface paving and therefore Staff finds that Priority Design Standard 101 and 192 have not been met. Does the Commission agree?

**Building Materials:** The structure is proposed to be sided primarily with horizontal cedar 4.5” reveal lap siding in muted colors, 1x random width vertical siding elements, cedar shake shingle accents, cedar 1x trim, wood posts and beams. The thin cut stone wainscoting will remain with slight changes.

Priority Design Standard 200 states, *“Maintain the present balance of building materials found in the Character Area.”* and further emphasizes;

- *Use painted wood lap siding as the primary building material. An exposed lap dimension of approximately 4 inches is appropriate. This helps establish a sense of scale for buildings similar to that found historically.*
- *Contemporary interpretations of historically compatible materials are discouraged. Wood imitation products are discouraged as primary façade materials because they often fail to age well in the Breckenridge climate. The long-term durability of siding materials will be considered.*

- *Modular panel materials are inappropriate.*
- *Masonry (brick or stone) may only be considered as an accent material. Stone indigenous to the mountains around Breckenridge may be considered.*
- *Logs are discouraged.*
- *Rough-sawn, stained or unfinished siding materials are inappropriate on primary structures.”*

Staff finds that the amount of vertical siding should be reduced and all siding should be painted, not stained, to abide with the Handbook of Design Standards, particularly Priority Design Standard 200. The proposed materials are predominantly 4.5” reveal lap siding with the exception of the north elevation. Does the Commission agree that the vertical siding should be reduced and the siding should be painted not stained?

The proposed roofing materials consist of composite shingles on the primary roof elements and non-reflective, standing seam metal on the low slope roof elements, all of which comply with Priority Design Standard 201. Staff has no concerns with the proposed roofing materials and is supportive of the elimination of the existing turrets in favor of the more historically accurate shed roof forms.

**Building Scale & Architectural Compatibility (5/A):** The structure is already a large, non-conforming building in the historic district. The applicant has taken steps to more closely conform to the Handbook including removal of the hexagonal turret elements on the corners fronting Main Street and reduced the building by 44 square feet. Staff is supportive of this change.

**Plant Material & Landscaping (22/A & 22/R):**

The plans show multiple deciduous and evergreen trees to be maintained and added along the east and northern property lines. Existing aspen trees along the western and southern property lines will be maintained along with two additional 2” caliper deciduous trees at the parking lot entrance which gives the property a solid landscaping plan.

In addition, there are trees and a walkway proposed in the abutting Town ROW. Executing and recording an encroachment license agreement will be added as a Condition of Approval for any off-site improvements. Additionally, if trees are to be planted in the ROW, the Town will require cottonwood trees be used to meet this design standard.

**Access / Circulation (16/A & 16/R; 17/A):** Vehicular access to the site is via Wellington Rd. Pedestrian access is provided via North Main Street and Wellington Rd. Staff has no concerns and believes that positive three (+3) points should be awarded for the improvement in pedestrian safety and separation of systems. Does the Commission agree?

**Parking (18A/18R):** The N. Main St. entrance will be removed along with the approximately 5 parking spaces that exist along the north driveway. The applicant is proposing to leave the remaining 20 parking spaces with improvements to comply with current requirements. An additional .3 parking spaces will need to be purchased in the Parking Service area. The Off Street Parking Standards prohibit parking spaces within 5’ of any public street, public alleyway, public pedestrian way or public right-of-way. Currently 2 spaces are shown to be within that setback and therefore does not comply with Policy 18/A.

**Snow Removal and Storage (13/R):** The applicants propose 1,634 sq. ft. (25%) of snow stacking for the 6,535 sq. ft. of proposed non-heated impervious surfaces. Staff has no concerns.

**Energy Conservation (33/R):** The applicant is proposing to heat the entire north patio area totaling 2,525 square feet. Staff believes negative four (-4) points should be awarded. The applicant is also proposing to install a fire pit in the north patio which staff believes should be awarded negative one (-1) point.

**Open Space (21/R):** For commercial uses and residential uses there is a 15% and 30% open space requirement respectively. Since this is a mixed used development, the amount of open space required is pro-rated based on the proposed density. The commercial space accounts for 74% of the project's density and residential component makes up 26%. Based on this formula, 2,971 sq. ft. of open space is required. The applicants propose 3,588 sq. ft. of open space. This application meets the open space requirement. Staff has no concerns.

**Refuse (15/R):** The property currently utilizes a Town dumpster to the north in the Ridge St. Alley. Staff has no concerns.

**Drainage (27/A & 27/R):** Positive drainage from the structure is proposed along with a detention pond on the north east side of the property, at the end of the parking. The detention pond will serve to collect trainage from the parking lot and adjacent areas. The detention pond is proposed to be fully landscaped with native grass, shrubs and trees and is eligible for positive one (+1) point Does the Commission agree?

**Utilities Infrastructure (26/A & 26/R; 28/A):** All necessary utilities are located in the adjacent ROWs. Staff has no concerns.

**Point Analysis (Section: 9-1-17-3):** At this preliminary review staff has identified several absolute, relative and priority policies that will need to be corrected to have an approvable project. We have identified the following with this report:

From the Development Code:

- Policy 16/R Access / Circulation: Positive three (+3) points for improved circulation due to removal of N. Main entrance/exit.
- Policy 27/R Drainage: Positive one (+1) point for a landscaped detention pond.
- Policy 33/R Energy Conservation: Negative four (-4) points for the 2,525 sf of heated paving.
- Policy 33/R Energy Conservation: Negative one (-1) point for the proposed fire pit.

Historic Standards (24/R)

- Priority Design Standard 95: Fail – The design of the windows on the western and southwestern elevation have more glazing than what is typically found in the character area.
- Priority Design Standard 96: Fail – The solid to void ratio on the western and southwestern elevation is inconsistent with what is typically found in the character area.
- Priority Design Standard 200: Fail - The siding should be predominantly 4.5” reveal painted lap siding.
- Priority Design Standard 203: Negative three (-3) points, the window size and proportions found on the western and southwestern elevation is inconsistent with what is typically found in the character area.

At this initial review, the proposal is showing a failure of four (4) Priority Design Standards along with a total of negative eight (-4) points.

### **Staff Recommendation**

Staff acknowledges there is a long list of policies that need to be addressed before the project is ready for a final review. However, many of these policies are overlapping and therefore can be brought into compliance by adjustments to three main categories; windows, site design and building materials. Additionally, opportunities for positive points should be identified to bring the project to a passing point analysis.

Based on staff's recommendations, we have the following questions for the Commission:

1. **Windows** - Staff recommends a reduction of glazing to the western and southwestern elevation to comply with Design Standards 95, 96 and 203. Does the Commission support this recommendation?
2. **North Patio** - Staff find that the separation between the proposed patio and sidewalk complies with Design Standards 15 and 192. Does the Commission agree?
3. **Building Materials** - Staff recommends a greater use of horizontal 4.5" reveal lap siding to comply with Design Standard 200. Does the Commission agree?
4. **Access/Circulation** - Does the Commission support awarding positive three points under Policy 16R for the elimination of the curbcut on North Main Street?

The Planning Department recommends this proposal return for a second review.

<b>First Preliminary Hearing Impact Analysis</b>				
Project:	The Carlin Building Remodel and Site Plan Redesign	<b>Positive</b>	<b>Points</b>	<b>+4</b>
PC#:	PL-2020-0498			
Date:	11/25/2020	<b>Negative</b>	<b>Points</b>	<b>- 8</b>
Staff:	Luke Sponable, Planner I			
		<b>Total</b>	<b>Allocation:</b>	<b>- 4</b>
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
	Mass	5x (-2>-20)		
4/R				
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		

16/R	Internal Circulation / Accessibility	3x(-2/+2)	+3	Removal of N. Main curbcut improves separation of systems and increased pedestrian safety.
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	<b>Social Community</b>	Fails	-3	<ul style="list-style-type: none"> <li>• Priority Design Standard 95: Fail – The design of the windows on the western and southwestern elevation have more glazing than what is typically found in the character area.</li> <li>• Priority Design Standard 96: Fail – The solid to void ratio on the western and southwestern elevation is inconsistent with what is typically found in the character area.</li> <li>• Priority Design Standard 200: Fail - The siding should be predominantly 4.5" reveal painted lap siding.</li> <li>• Priority Design Standard 203: Negative three (-3) points, the window size and proportions found on the western and southwestern elevation is inconsistent with what is typically found in the character area.</li> </ul>
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Stormwater Detention Pond	1x(-1/+1)	+1	Applicant is proposing a landscaped stormwater detention pond.
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	Complies		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		

	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)	- 4	2,525sf heated paving
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)	- 1	
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		

# THE CARLIN

LOTS 55 & 56 . BARTLETT & SHOCK ADDITION  
 200 NORTH MAIN STREET  
 BRECKENRIDGE . COLORADO . 80424



NOTE: RENDERING FOR PRESENTATION PURPOSES ONLY.

## PRELIMINARY PLANNING RESUBMITTAL

17 NOVEMBER 2020



FRISCO . COLORADO  
 T: 970.453.7002

WWW.ALLEN-GUERRA.COM



ALLEN-GUERRA ARCHITECTURE  
 510 BOX 540  
 FRISCO . COLORADO 80441  
 P: 970.453.7000  
 F: 970.453.7002  
 WWW.ALLEN-GUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION

THE CARLIN

LOTS 55 & 56 . BARTLETT & SHOCK ADDITION . 200 NORTH MAIN STREET  
 BRECKENRIDGE . COLORADO . 80424

COVER SHEET

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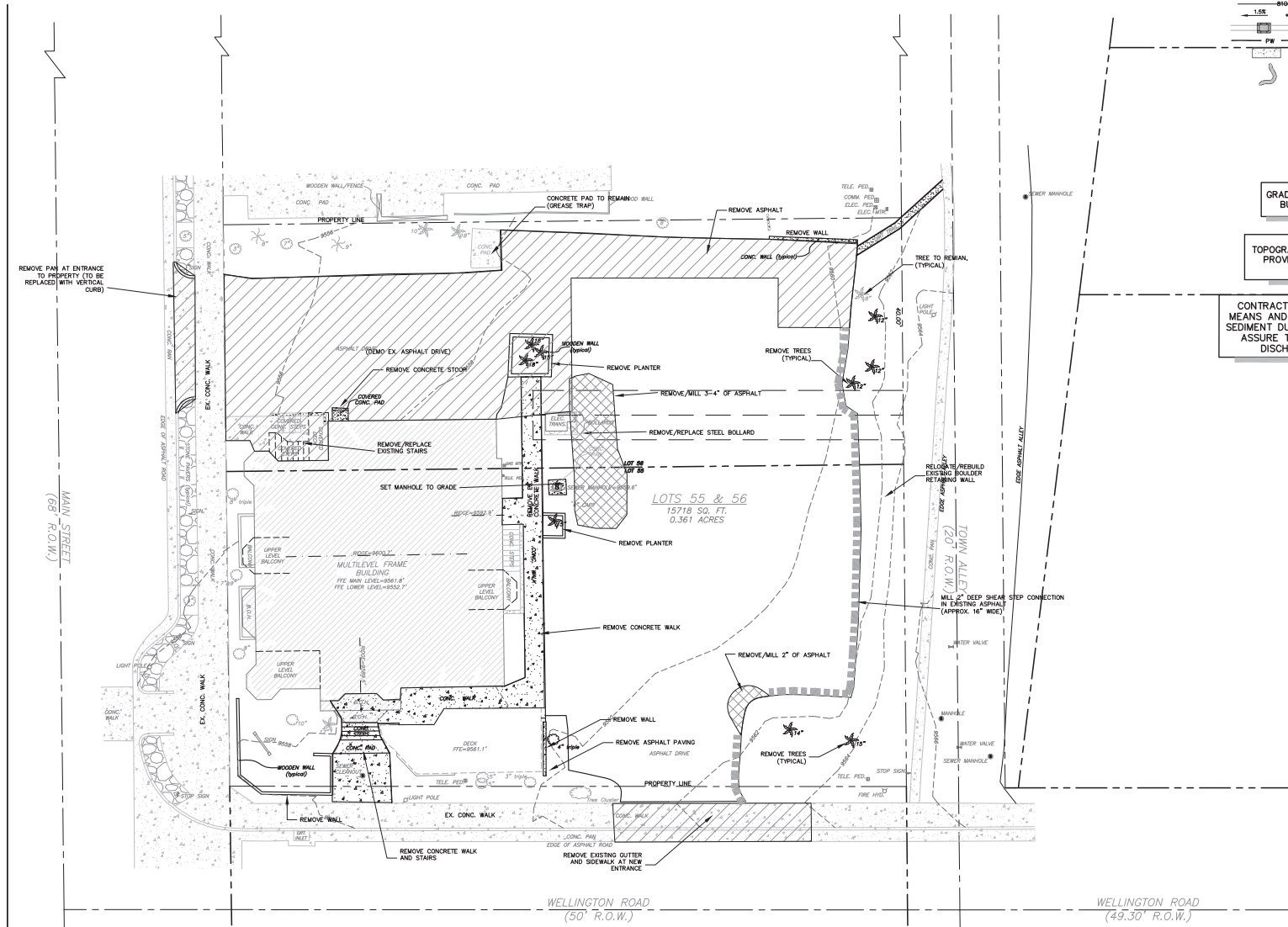
DATE	DATE
PRELIM PLANNING	15 OCT 2020
PP RESUBMIT	17 NOV 2020
PROJECT # 209	











**LEGEND**

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- EASEMENT
- PROPOSED CONTOUR
- PROPOSED GRADING, SLOPE, SPOT
- PROPOSED STORM SEWER
- PROPOSED EROSION MATTE
- PROPOSED CONCRETE
- DITCH EROSION MATTE

**GRAPHIC SCALE**

1 inch = 30 ft.

**GRADE TO DRAIN AWAY FROM BUILDING IN ALL AREAS**

**TOPOGRAPHIC INFORMATION WAS PROVIDED BY SUMMIT LAND CONSULTING**

**CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.**



(SEAL)

## 200 NORTH MAIN ST. BRECKENRIDGE, COLORADO

### SITE DEMO PLAN

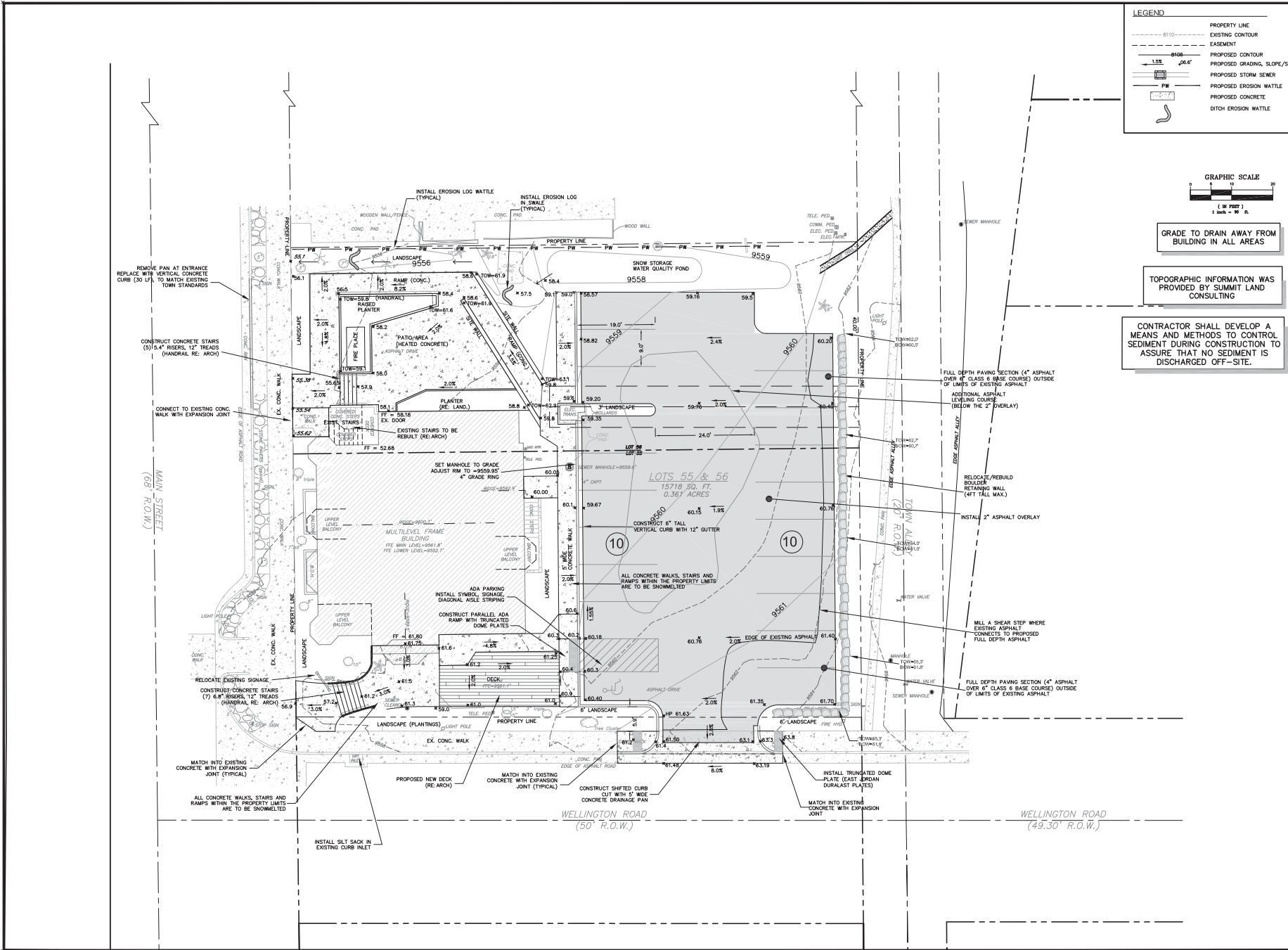
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1	MCW	10/15/2020	PRELIMINARY PLANNING	MCW
2	DFE	11/17/2020	PRELIM. PLANNING RESUBMITTAL	MCW
3	MCW			
4	MCW			
5	MCW			
6	MCW			
7	MCW			
8	MCW			
9	MCW			
10	MCW			

DESIGNED: MCW  
 DRAWN: MCW, DFE  
 CHECKED: MCW  
 JOB NO.: 2324  
 DATE: 09/15/2020

**SHEET  
C1.0**

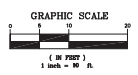
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**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- EASEMENT
- PROPOSED CONTOUR
- PROPOSED GRADING, SLOPE/SPOT
- PROPOSED STORM SEWER
- PROPOSED EROSION MATTE
- PROPOSED CONCRETE
- DITCH EROSION MATTE



GRADE TO DRAIN AWAY FROM BUILDING IN ALL AREAS

TOPOGRAPHIC INFORMATION WAS PROVIDED BY SUMMIT LAND CONSULTING

CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.



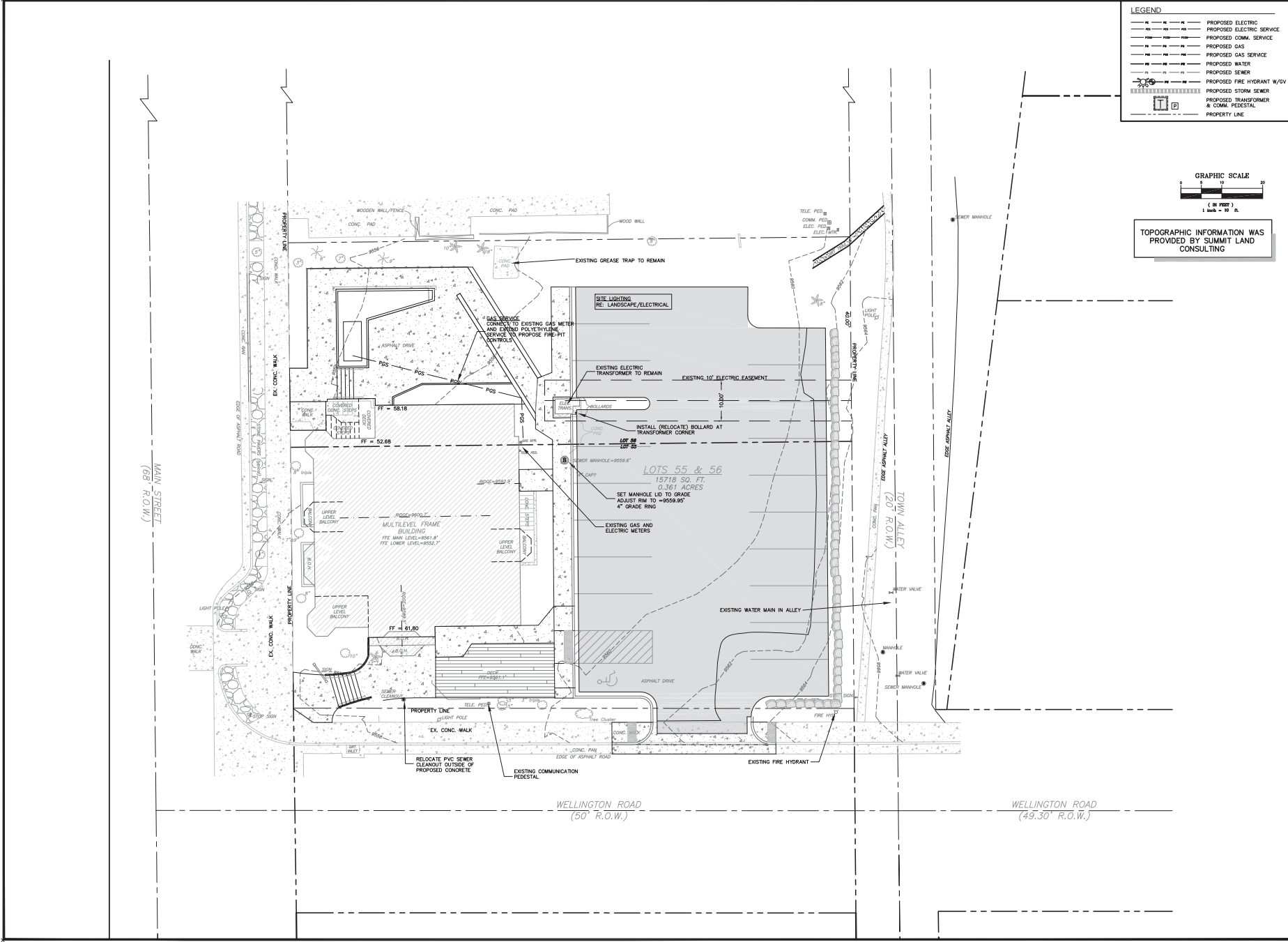
**200 NORTH MAIN ST.  
BRECKENRIDGE, COLORADO  
GRADING & DRAINAGE PLAN**

NO.	DATE	REVISIONS	BY	CHK
	10/15/2020	PRELIMINARY PLANNING	MCW	
	11/17/2020	PREL. PLANNING RESUBMITTAL	MCW	

DESIGNED	MCW	DATE	09/01/2020
DRAWN	MCW	CHECKED	MCW
JOB NO.	2020		

**SHEET C2.0**

(SEAL)



(SEAL)

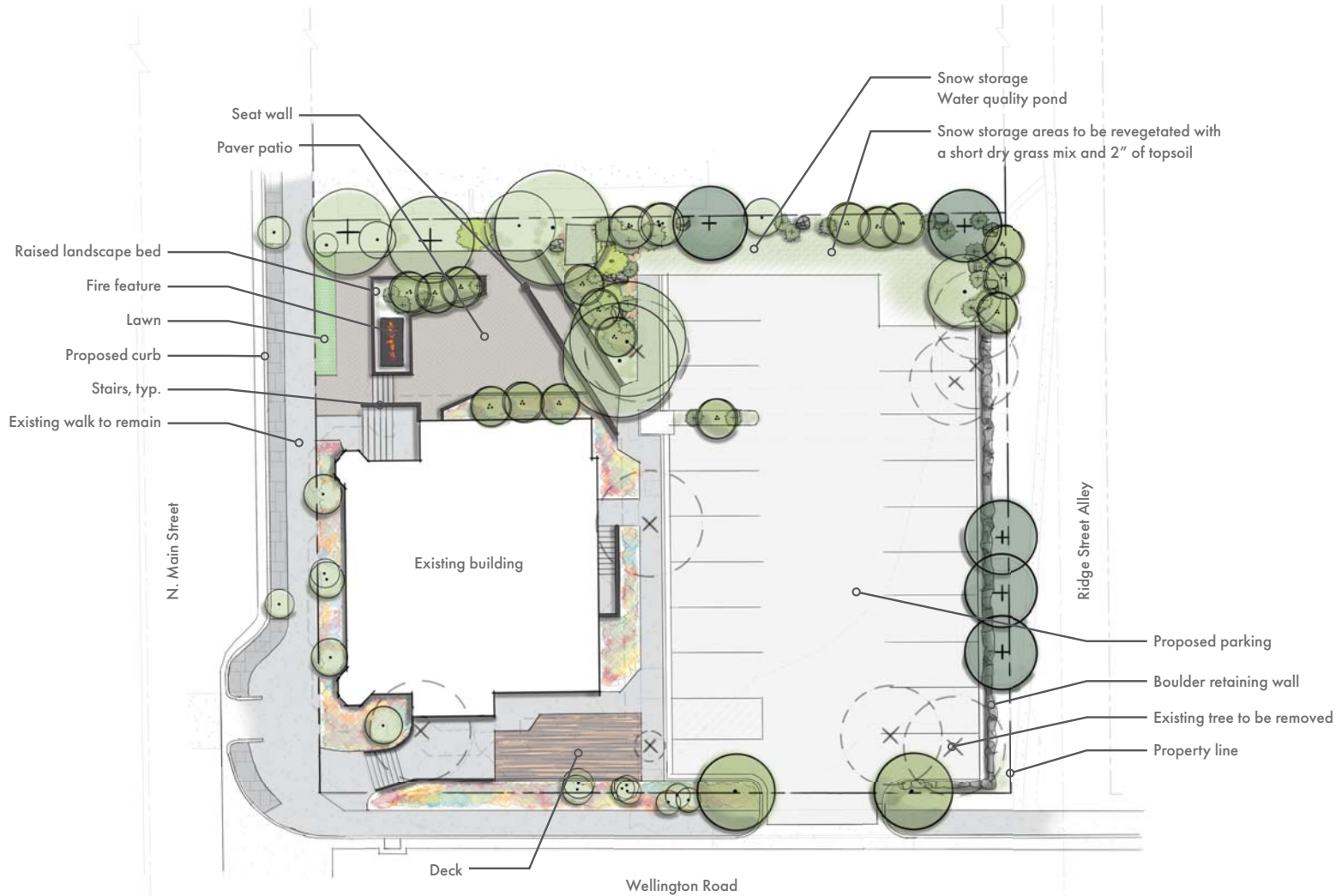
**200 NORTH MAIN ST.**  
**BRECKENRIDGE, COLORADO**  
 UTILITY PLAN

NO.	DATE	REVISIONS	BY
	10/15/2020	PRELIMINARY PLANNING	MCW
	11/17/2020	PRELIM. PLANNING RESUBMITTAL	

DESIGNED	MCW	DATE	09/01/2020
DRAWN	MCW, BFE		
CHECKED	MCW		
JOB NO.	232		

**SHEET**  
**C3.0**

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**LEGEND**

- EXISTING TREES TO REMAIN (DETAIL 5, SHEET L-300)
- EXISTING TREES TO BE REMOVED
- EVERGREEN TREES (DETAIL 1, SHEET L-300)
- DECIDUOUS TREES (DETAIL 1, SHEET L-300)
- DECIDUOUS SHRUBS (DETAIL 4, SHEET L-300)
- EVERGREEN SHRUBS (DETAIL 4, SHEET L-300)
- ORNAMENTAL GRASSES (DETAIL 2, SHEET L-300)
- LANDSCAPE BOULDERS
- PERENNIALS
- ASPHALT PAVING: DRIVEWAY
- PROPERTY LINE
- BUILDING ROOF LINE
- LIMIT OF WORK
- DEFENSIBLE SPACE ZONE LINE

**GENERAL NOTES**

1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
3. DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPAIR THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
4. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. REVISIONS TO THESE DOCUMENTS, REVIEW AND CONSIDERATIONS OF SUBSTITUTIONS, OWNER DIRECTED CHANGES, AND/OR RFI RESPONSES WHICH REQUIRE PROVIDING ADDITIONAL DETAIL AFTER APPROVAL OF THE PERMIT SET MAY REQUIRE APPROVAL OF AN ADDITIONAL SERVICES REQUEST BY THE CLIENT.
7. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
8. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
9. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS THAT IT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
10. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
11. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
14. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
15. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
18. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
19. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
20. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNERS REPRESENTATIVE.
21. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURERS' RECOMMENDATIONS.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
23. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
24. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.

**GENERAL LANDSCAPE NOTES**

1. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
26. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE SENSITIVE AREAS DURING THEIR CONTRACTED COURSE OF WORK.
27. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
28. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
29. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
30. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILL FENCING VOLS AS AN EROSION CONTROL MEASURE IS PROHIBITED.
31. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
32. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS. DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
33. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
34. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

**LAYOUT NOTES**

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURBED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
4. THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING WHO WILL PROVIDE SURVEY SERVICES FOR LAYOUT OF THE WORK.
6. THE CONTRACTOR SHALL REVIEW WITH OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT ALL STAKING PRIOR TO SETTING CORNERS OR COMPLETING FLATWORK AND PERFORM MINOR MODIFICATIONS AS REQUIRED TO ACHIEVE PROPER DRAINAGE OR ACCESSIBILITY AS REQUIRED FOR THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL INSTALL PAVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK.
8. LAYOUT WALKS, SCORE JOINTS AND SLEEVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS, DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
9. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
10. WHEN APPLICABLE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FENCING AROUND ALL PLAY STRUCTURES UNTIL PROPER FALL SURFACE IS COMPLETELY INSTALLED PER MANUFACTURERS' SPECIFICATIONS.
11. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

**GRADING NOTES**

1. THE CONTRACTOR IS TO REVIEW, UNDERSTAND AND ADHERE TO SPOT ELEVATIONS AND CONTOURS AS INDICATED ON THE GRADING PLAN UNLESS SPECIFICALLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL VERIFY THAT ALL MINIMUM AND MAXIMUM SLOPES IDENTIFIED ON THE PLANS ARE ACHIEVABLE IN THE FIELD PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL STAKING NECESSARY TO COMPLETE THE WORK. THIS SHALL INCLUDE ANY RE-STAKING IF NECESSARY. THE CONTRACTOR SHALL PAY FOR ALL STAKING FOR THE PROJECT UNLESS SPECIFICALLY AGREED TO OTHERWISE IN THE CONTRACT DOCUMENTS.
3. ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% (4:1) UNLESS OTHERWISE INDICATED ON THE PLANS.
4. MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
5. ALL FINAL GRADES FOR WALKS SHALL HAVE A MINIMUM 1% CROSS SLOPE AND MAXIMUM 2% CROSS SLOPE UNLESS OTHERWISE INDICATED ON THE PLANS.
6. EXCAVATION INCLUDES ALL MATERIAL ENCOUNTERED TO WHATEVER DEPTH INDICATED ON THE PLANS. EXCAVATE TO ALLOW FOR PROPER FILL MATERIAL. SLABS, VOIDS, FORMS, AND FOUNDATIONS.
7. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING GRADING AND EXCAVATION INCLUDING GUIDELINES AND RESTRICTIONS FOR EARTHWORK AND PLACING OF PAVEMENT AND LANDSCAPE SURFACING FOR THIS PROJECT.
8. CONTRACTOR SHALL ENSURE EXISTING GRADES ARE WITHIN 0.1 OF A FOOT PRIOR TO START OF WORK, AND SHALL NOTIFY OWNER'S REPRESENTATIVE IF CONDITIONS ARE DIFFERENT. PRIOR TO THE START OF WORK.
9. CONTRACTOR SHALL ENSURE THEIR COMPLETED GRADES ARE WITHIN 0.01 OF A FOOT WHEN COMPLETED WITH WORK.
10. FINISH GRADE SHOWN ON THESE PLANS SHALL REPRESENT COMPACTION REQUIREMENTS AS DEFINED BY PLANS, DETAILS, AND SPECIFICATIONS.

**SHEET INDEX**

LANDSCAPE NOTES	L.1.0
LANDSCAPE SCHEDULES	L.1.1
SITE & LANDSCAPE PLAN	L.2.0
LANDSCAPE DETAILS	L.3.0

**THE CARLIN**  
 200 N. MAIN STREET  
 BRECKENRIDGE, CO 80424  
 PRELIMINARY PLANNING RESUBMITTAL

**OWNER**  
 JEREMY FISCHER  
 IVAN STRALE  
 100 SOUTH ROSE STREET  
 PO BOX 654  
 BRECKENRIDGE, CO 80424  
 970.389.3310

**NOT FOR CONSTRUCTION**



**DATE:**  
 10/15/20, PRE PLAN  
 11/17/20, PP RESUB

**SHEET TITLE:**  
 LANDSCAPE NOTES

L.1.0

CHECKED BY: BOWMANBY  
 DATES: 11/15/20

**PLANTING SCHEDULE**

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE	WATER USE
<b>DECIDUOUS CANOPY TREE</b>					
9	ASC	QUAKING ASPEN	POPULUS TREMULOIDES	2 1/2' CAL. CLUMP	MEDIUM
7	ASP	QUAKING ASPEN	POPULUS TREMULOIDES	2 1/2' CAL.	MEDIUM
4	ASP	QUAKING ASPEN	POPULUS TREMULOIDES	2' CAL. CLUMP	MEDIUM
<b>EVERGREEN TREES</b>					
2	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS, CULTIVAR TO BE DETERMINED	8' HT. B&B	MEDIUM
3	FOX	BRISTLEcone PINE	PINUS ARISTATA	8' HT. B&B	LOW
<b>DECIDUOUS AND EVERGREEN SHRUBS</b>					
	ALP	ALPINE CURRANT	RIBES AUREUM	#5 CONT.	LOW
	CRG	SIBERIAN PEASHRUB	CARAGANA ARBORESCENS	#5 CONT.	LOW
	DAW	DWARF ARCTIC WILLOW	SALIX PURPUREA 'GRACILIS'	#5 CONT.	MEDIUM
	DRW	DRUMMOND WILLOW	SALIX DRUMMONDIANA	#5 CONT.	MEDIUM
	MSL	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	#5 CONT.	MEDIUM
	MBT	BIG TUNA MUGO PINE	PINUS MUGO 'BIG TUNA'	#5 CONT.	MEDIUM
	NMO	MOUNTAIN NINEBARK	PHYSCARPUS MONOGYNUS	#5 CONT.	LOW
27	<b>TOTAL SHRUB QUANTITY</b>				
<b>ORNAMENTAL GRASSES</b>					
	THG	TUFTED HAIR GRASS	DESCHAMPSIA CESPITOSA	#1 CONT.	LOW
	IRG	INDIAN RICE GRASS	ACHNATHERUM HYMENOIDES	#1 CONT.	LOW
	<b>TOTAL GRASS QUANTITY TO BE DETERMINED</b>				
<b>PERENNIALS</b>					
	TO BE DETERMINED				

**SITE AND LANDSCAPE CALCULATION TABLES**

**PLANT QUANTITY TABLE**

PLANT QUANTITY DESCRIPTION	EVERGREEN TREES PROVIDED	DECIDUOUS TREES PROVIDED	MULTISTEM TREES PROVIDED	SHRUBS PROVIDED
PLANT QUANTITIES:	5	20	13	27
PERCENT MULTISTEM TREES:			65%	
<b>Totals:</b>				

**SNOW STORAGE TABLE**

SNOW STORAGE DESCRIPTION	DRIVEWAY AREA (SF)	WALKWAY AREA (SF)	SNOW STORAGE REQUIRED (SF)	SNOW STORAGE PROVIDED (SF)
SITE SNOW STORAGE (25% OF PAVING AREA, DRIVEWAY AND MAIN WALKS)	6535	0'	1634	1637
<b>Totals:</b>				

NOTES:  
 1.) SEE LANDSCAPE AND SITE PLAN FOR SNOW STORAGE LOCATIONS ADJACENT TO WALKS AND DRIVEWAY.  
 2.) WALKWAYS TO BE HEATED.

**EXISTING TREE TABLE**

EXISTING TREES DESCRIPTION	QTY.	PRESERVED TREES	TREES REMOVED	TREES PROPOSED
EXISTING TREES ON SITE FROM SURVEY	34	25	9	25
<b>Totals:</b>				

NOTES:  
 1.) PLANT MATERIAL PROVIDED IN SNOW STACK AREAS IS TOLERABLE OF SNOWLOADS.



409 Main Street  
 Suite 207  
 P.O. Box 2120  
 Frisco, CO 80443  
 P 970.485.4478  
 www.norris-design.com

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 100 SOUTH RIDGE STREET  
 PO BOX 6564  
 BRECKENRIDGE, CO 80424  
 970.399.3310

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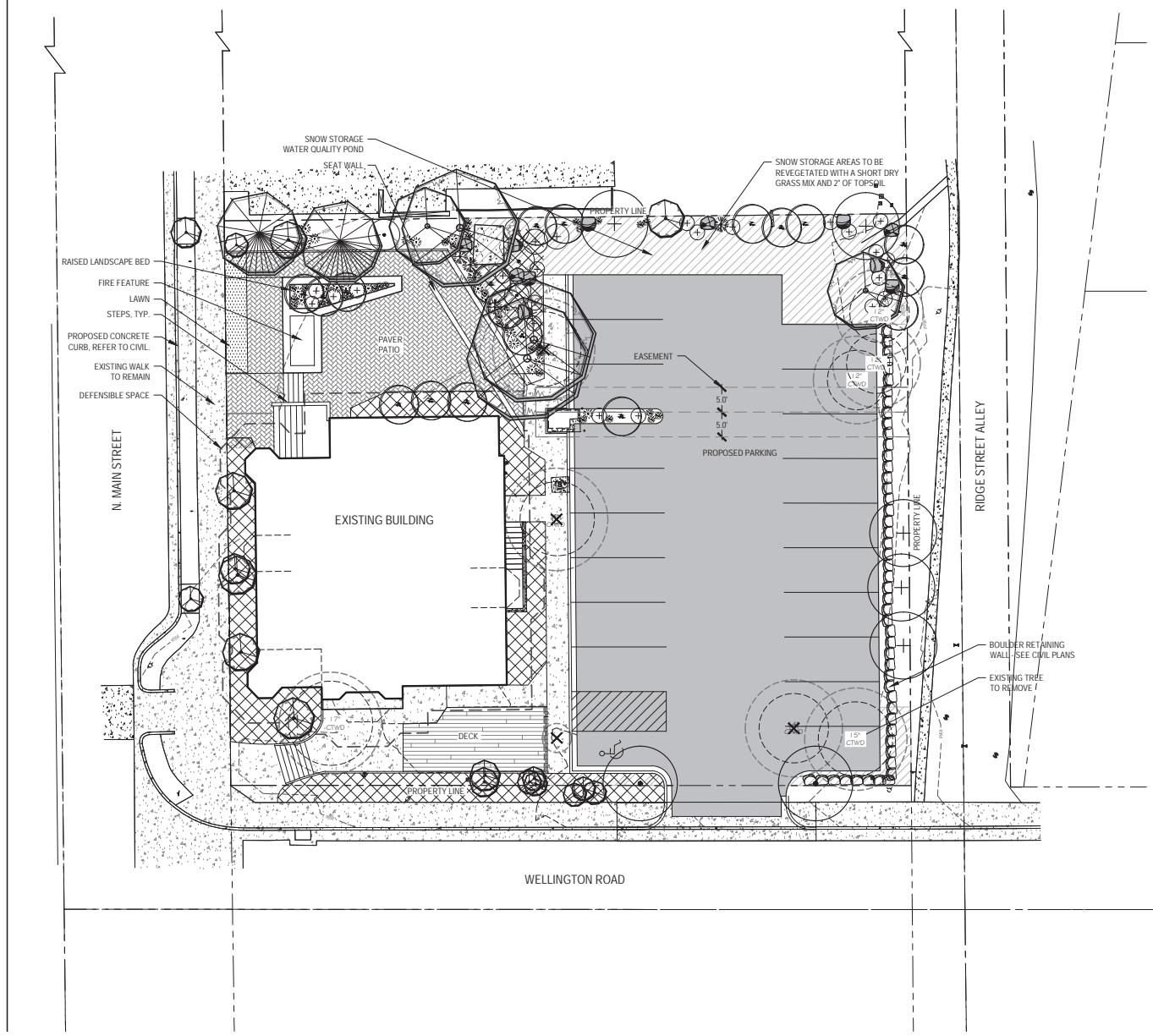
**DATE:**  
 10/15/20 - PRE PLAN  
 11/17/20 - PP RESUB

**SHEET TITLE:**  
 LANDSCAPE SCHEDULES

L1.1

CHECKED BY: MILES CLARK





LEGEND

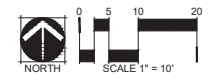
- EXISTING TREES TO REMAIN (DETAIL 5, SHEET L-300)
- EXISTING TREES TO BE REMOVED
- EVERGREEN TREES (DETAIL 1, SHEET L-300)
- DECIDUOUS TREES (DETAIL 1, SHEET L-300)
- DECIDUOUS SHRUBS (DETAIL 4, SHEET L-300)
- EVERGREEN SHRUBS (DETAIL 4, SHEET L-300)
- ORNAMENTAL GRASSES (DETAIL 2, SHEET L-300)
- LANDSCAPE BOULDERS
- PERENNIALS
- ASPHALT PAVING: DRIVEWAY
- LAWN
- PROPERTY LINE
- BUILDING FOOT LINE
- LIMIT OF WORK
- DEFENSIBLE SPACE ZONE LINE

IRRIGATION NOTES

1. ALL TREES, SHRUBS, AND PERENNIALS SHALL BE IRRIGATED.
  - 1.1. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.
  - 1.2. ALL PERENNIALS TO BE SPRAY IRRIGATED.

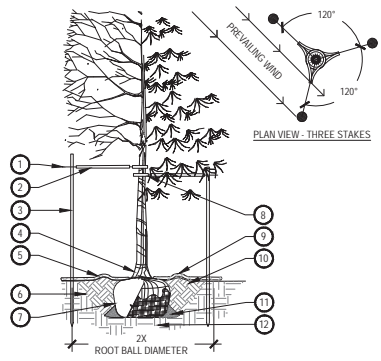
SNOW STORAGE

- SNOW STORAGE FOR DRIVEWAY AND WALKWAYS (SEE LANDSCAPE SCHEDULES FOR CALCULATION TABLE)



**PRUNING NOTES:**  
 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.  
 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERNAL TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

**STAKING NOTES:**  
 1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE. WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.  
 a. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).  
 b. EVERGREEN TREES - 3 STAKES PER DIAGRAM.  
 c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.  
 2. WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.  
 3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.  
 4. TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



- ① GALVANIZED WIRE
- ② PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- ③ INSTALL STAKING PER SPECIFICATIONS
- ④ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE
- ⑤ 2'-0" RADIUS MULCH RING, VENTERED ON TRUNK. 3" DEPTH, ON TOP OF WEED FABRIC. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FINISHED GRADE REFERENCES TOP OF MULCH
- ⑥ 1:1 SLOPE ON SIDES OF PLANTING HOLE
- ⑦ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
- ⑧ GROMMETED NYLON STRAPS
- ⑨ 4-4" HIGH WATER SAUCER IN NON-TURF AREAS
- ⑩ BACKFILL AROUND ROOTBALL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
- ⑪ PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- ⑫ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

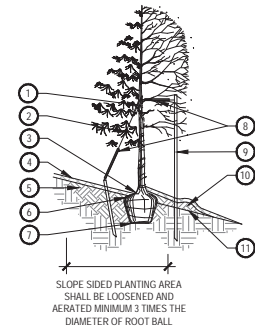
**1 TREE PLANTING DETAIL**

SCALE: 3/16" = 1'-0"

**NOTES:**  
 1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS THAN THE DISTANCE FROM THE TOP MOST ROOT AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. REFERENCE TREE PLANTING DETAIL FOR BACKFILL NOTES.  
 2. TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. TREES WHERE THE TRUNK FLANK IS NOT VISIBLE SHALL BE REJECTED.  
 3. FIRM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.

**PRUNING NOTES:**  
 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.  
 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERNAL TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

**STAKING NOTES:**  
 1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE. WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.  
 a. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).  
 b. EVERGREEN TREES - 3 STAKES PER DIAGRAM.  
 c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.  
 2. WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.  
 3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.  
 4. USE GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CALIPER. ALL WIRE TO BE MINIMUM 12 GAUGE GALVANIZED.

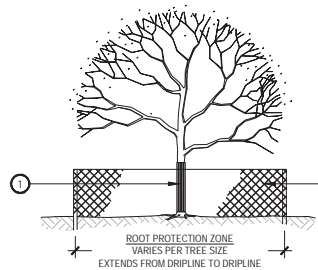


- ① GROMMETED NYLON STRAP
- ② GALVANIZED WIRE
- ③ TOP MOST ROOT IN ROOTBALL: 1"-2" ABOVE EXISTING GRADE, UPHILL SIDE
- ④ 2-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK. REFER TO MATERIAL SCHEDULE, SHEET L-XXX. FINISHED GRADE REFERENCES TOP OF MULCH
- ⑤ BACKFILL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS. WATER THOROUGHLY WHEN BACKFILLING
- ⑥ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOTBALL AND TRUNK
- ⑦ GROMMETED NYLON STRAP
- ⑧ GALVANIZED WIRE
- ⑨ 2 1/2" X 3 1/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- ⑩ TREATED WOOD POST, OR METAL STAKE WITH CAP, WITH GROMMETED NYLON STRAPS, USE 2 GUY WIRES
- ⑪ UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE. REFER TO SPECIFICATIONS
- ⑫ EXISTING GRADE

**3 TREE PLANTING ON SLOPE**

SCALE: 1/4" = 1'-0"

**NOTES:**  
 1. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.  
 2. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.  
 3. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.  
 4. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.  
 5. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.  
 6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIFLINE TO TRUNK. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING. DURING DORMANCY PERIOD, ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.  
 7. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING. DURING DORMANCY PERIOD, EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.  
 8. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.



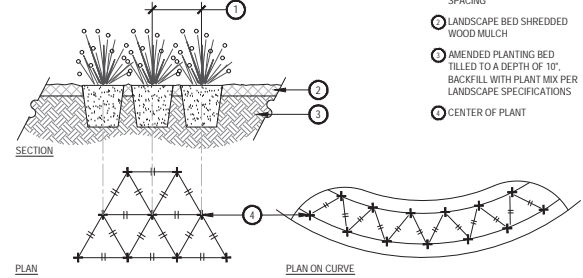
- ① TRUNK PROTECTION - 1" BOARDS NO LESS THAN 5' LONG OR TO REACH FIRST SCAFFOLD BRANCH. WIRE TO HOLD BOARDS IN PLACE. NO NAILS PERMITTED. INCLUDE WRAPPING OF BURLAP UNDER BOARDS.
- ② BRANCH PROTECTION - PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIFLINE MINIMUM.
- ③ PLACE SIGNS EVERY 50'. PLACE SIGNS WHERE VISIBLE. ATTACH TO FENCING.

**5 TREE PROTECTION**

SCALE: 1/8" = 1'-0"

**2 ORNAMENTAL GRASS AND PERENNIAL PLANT LAYOUT**

SCALE: 1" = 1'-0"



**NOTES:**  
 1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED

- ① 2-4" WOODEN STAKE DRIVEN INTO THE GROUND NEXT TO ROOTBALL REQUIRED WHEN SHRUBS ARE LOCATED IN NATIVE SEED. 18" OF THE STAKE MUST BE VISIBLE
- ② BACKFILL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, AND EXCAVATED SOIL. TILL SOIL AMENDMENT TO A DEPTH OF 8". WATER THOROUGHLY WHEN BACKFILLING
- ③ FINISH GRADE (TOP OF NATIVE SEED OR LANDSCAPE BED)
- ④ SET SHRUB ROOTBALL 1" HIGHER THAN FINISH GRADE
- ⑤ UNDISTURBED GRADE
- ⑥ PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING

**NOTE:**  
 1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED  
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER  
 3. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

**4 SHRUB PLANTING**

SCALE: 1-1/2" = 1'-0"

**THE CARLIN**  
 200 N. MAIN STREET  
 BRECKENRIDGE, CO 80424  
 PRELIMINARY PLANNING RESUBMITTAL

**OWNER:**  
 JEREMY FISCHER  
 IVAN STANLEY  
 100 SOUTH RIDGE STREET  
 PO BOX 6564  
 BRECKENRIDGE, CO 80424  
 970.399.3310

NOT FOR CONSTRUCTION



**DATE:**  
 10/15/20, PRE PLAN  
 11/17/20, PP RESUB

**SHEET TITLE:**  
 LANDSCAPE DETAILS



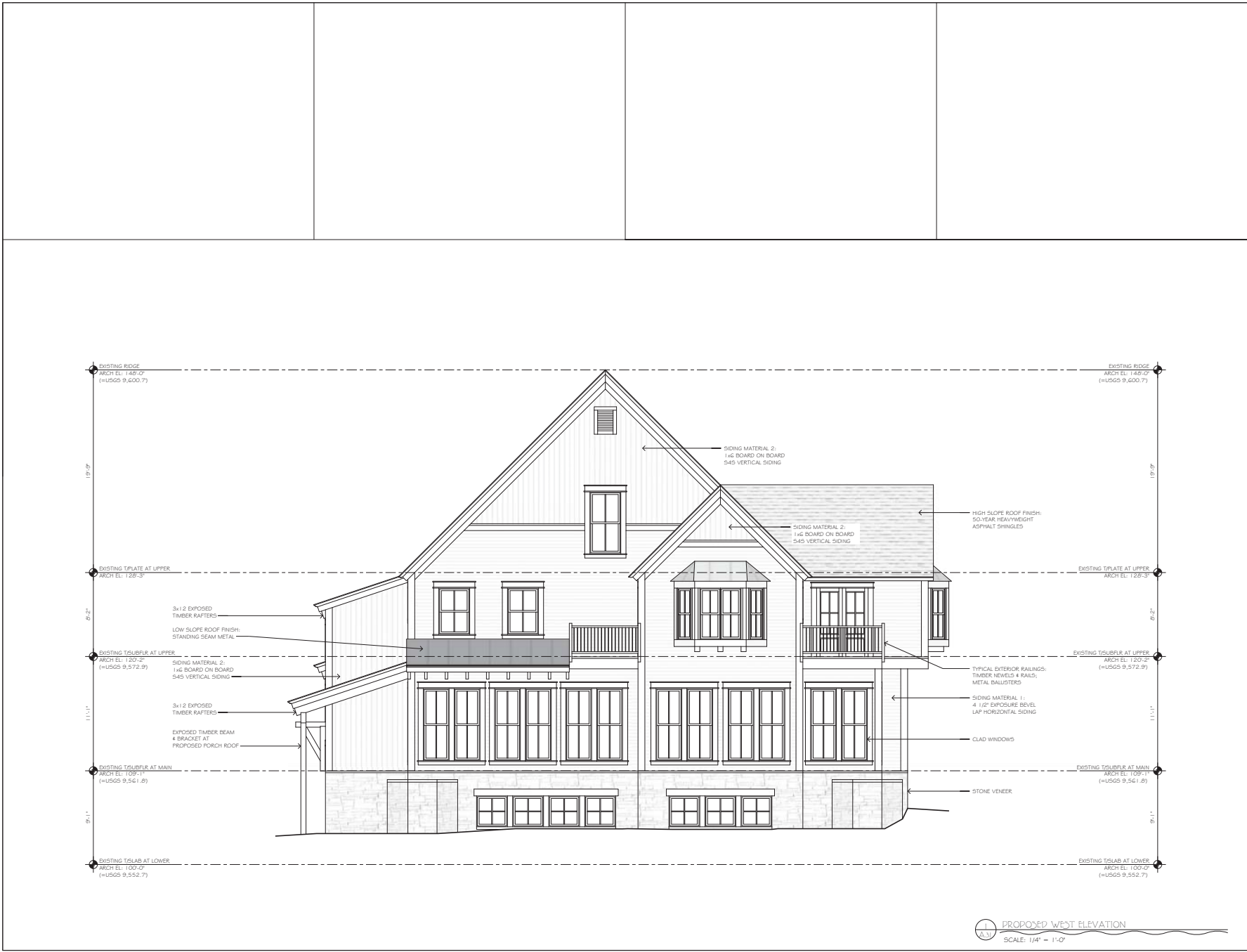
ALLEN GUERRA ARCHITECTURE  
 30 S GRANITE STREET  
 PO BOX 340  
 FRED CO, COLORADO 80443  
 P: 970.848.0000  
 F: 970.848.0000  
 WWW.ALLENGUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION

THE CARLIN  
 LOT# 35 & 36 - DARTLETT & SHOCK ADDITION 200 NORTH MAIN STREET  
 BRECKENRIDGE, COLORADO 80424  
 TITLE: PROPOSED EXTERIOR ELEVATIONS  
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DATE	DATE
PRELIM PLANNING	15 OCT 2020
PP RESUBMIT	17 NOV 2020
PROJECT# 209	

A3.1





ALLEN GUERRA ARCHITECTURE  
 30 S GRANITE STREET  
 FRED CO. COLORADO 80443  
 P: 970.848.0008  
 F: 970.848.0008  
 WWW.ALLENGUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION

THE CARLIN  
 LOT# 35 & 36, DARTLETT & SHOCK, ADDITION, 200 NORTH MAIN STREET  
 BRECKENRIDGE, COLORADO 80424  
 TITLE: PROPOSED EXTERIOR ELEVATIONS

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DATE	DATE
PRELIM PLANNING	15 OCT 2020
PP RESUBMIT	17 NOV 2020
PROJECT# 209	

A3.2



PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



ALLEN GUERRA ARCHITECTURE  
215 S GRANITE STREET  
PO BOX 3442  
FRED CO, COLORADO 80441  
P: 970.846.0008  
E-MAIL: INFO@ALLEN-GUERRA.COM  
WWW.SITE: WWW.ALLEN-GUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION

THE CARLIN

LOT 35 & 36 - DARTLETT & SHOCK ADDITION - 200 NORTH MAIN STREET  
BRECKENRIDGE, COLORADO 80424

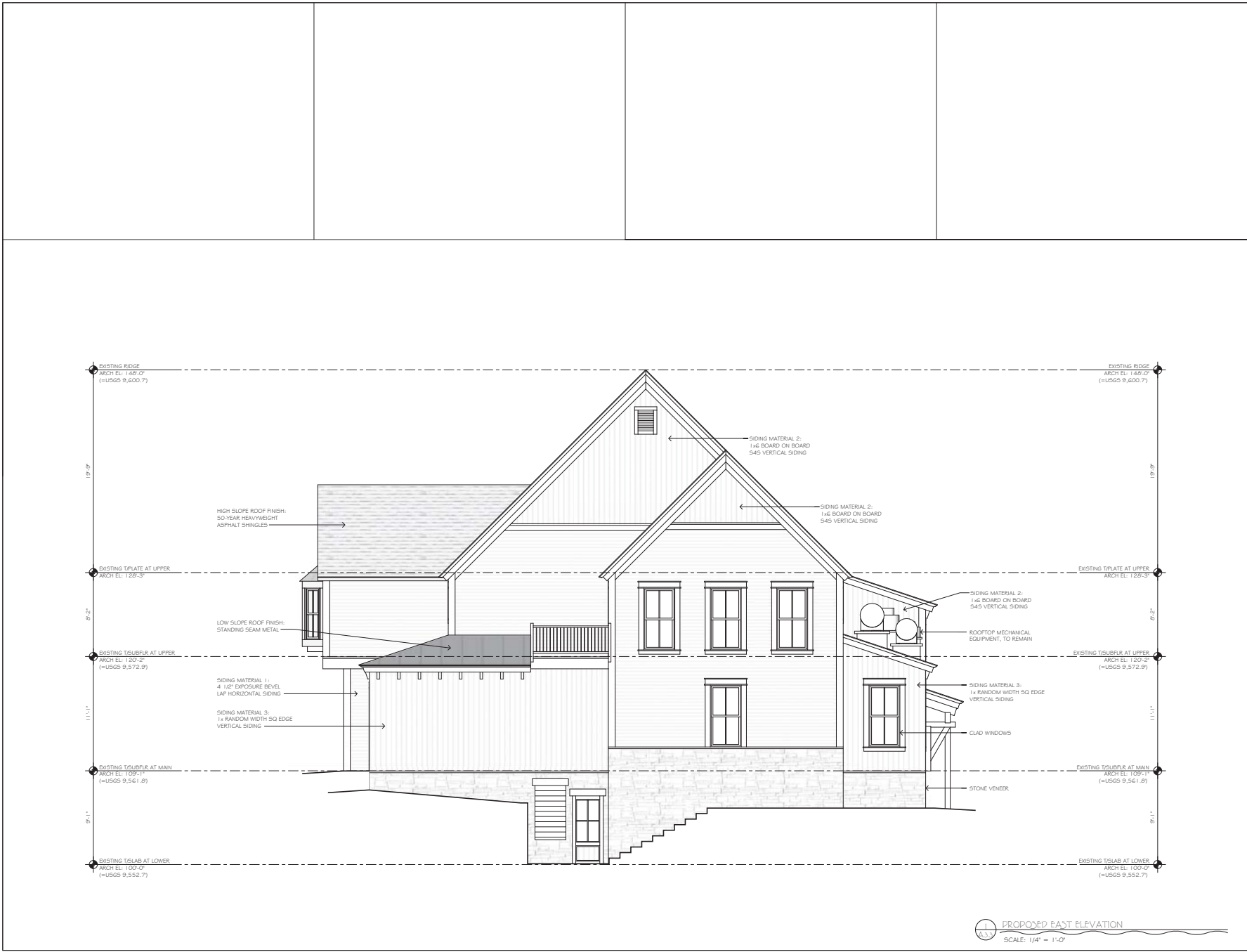
PROPOSED EXTERIOR ELEVATIONS

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DATE	DATE
PRELIM PLANNING	15 OCT 2020
PP RESUBMIT	17 NOV 2020

PROJECT# 2019

A3.3



PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



ALLEN-GUERRA ARCHITECTURE  
 100 BOX 3400  
 FRED CO. COLORADO 80443  
 P: 970.868.0008  
 F: 970.868.0008  
 WWW.ALLEN-GUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION

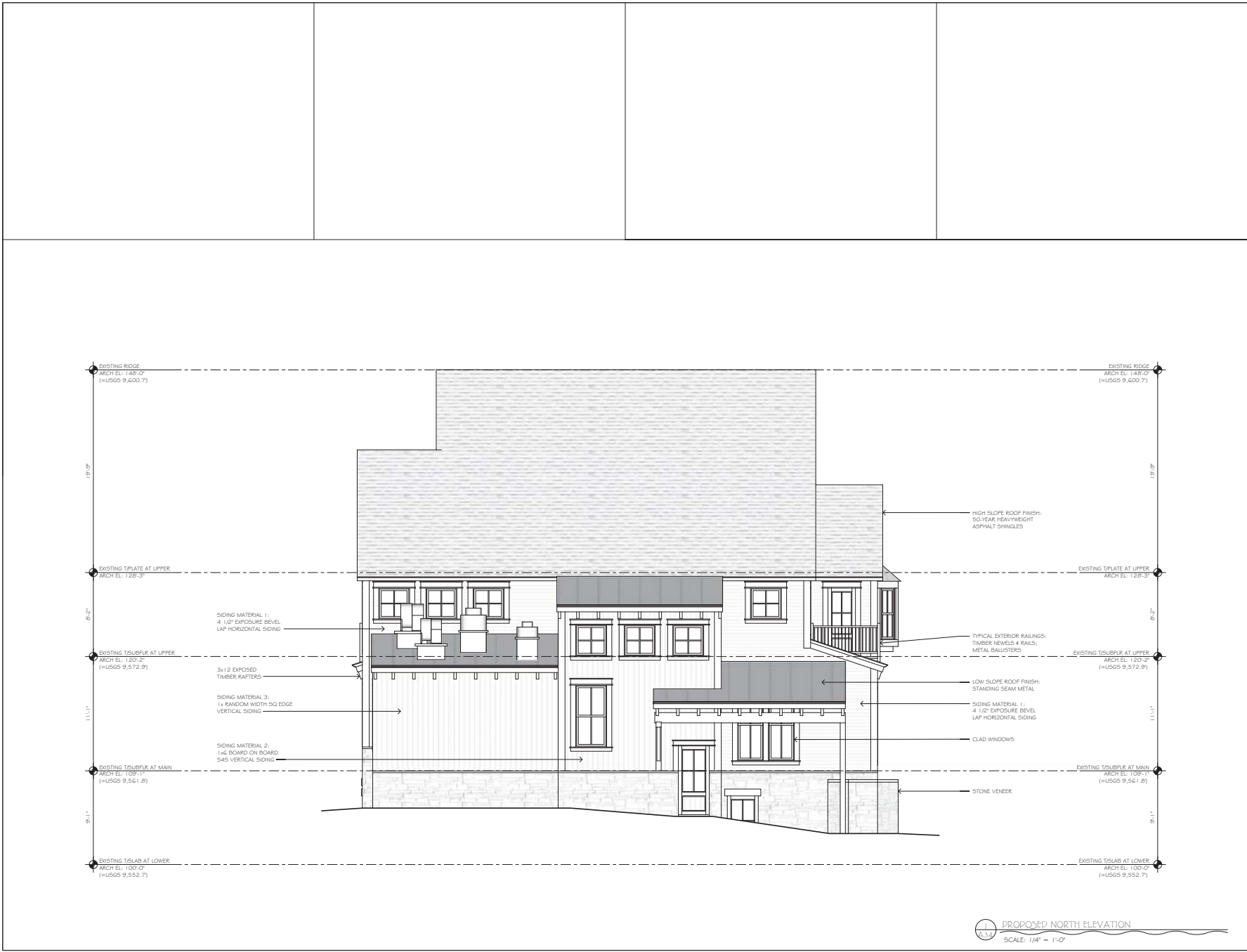
THE CARLIN  
 LOT 35 & 36, DARTLETT & SHOCK ADDITION 200 NORTH MAIN STREET  
 BRECKENRIDGE COLORADO 80424

PROPOSED EXTERIOR ELEVATIONS  
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DATE	DATE
PRELIM PLANNING	15 OCT 2020
PP RESUBMIT	17 NOV 2020

PROJECT# 209

A3.4



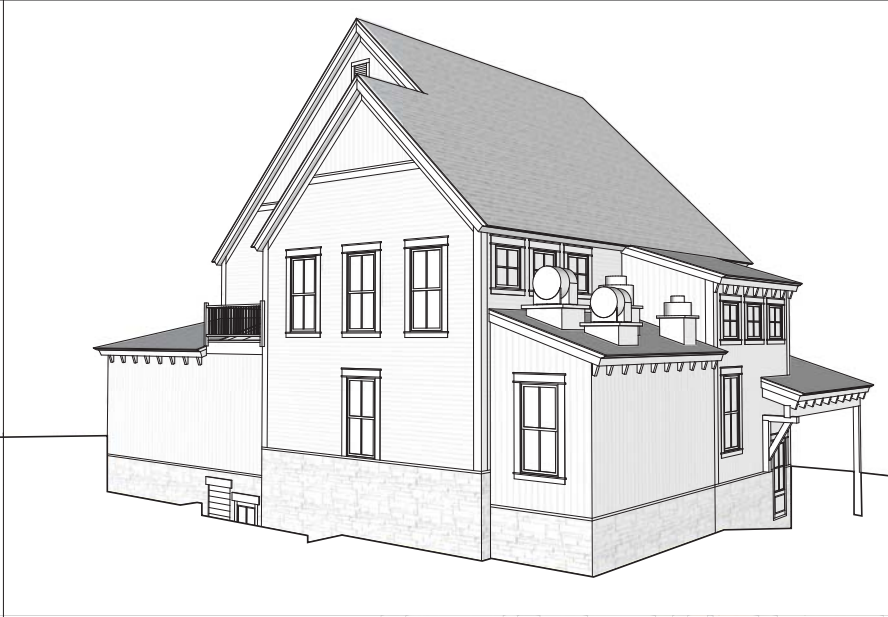
A3.4 PROPOSED NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



ALLEN GUERRA ARCHITECTURE  
315 B GRANITE STREET  
PO BOX 5400  
FRISCO, COLORADO 80441  
TEL: 303.660.8800  
E-MAIL: INFO@ALLEN-GUERRA.COM  
WWW.SITE: WWW.ALLEN-GUERRA.COM



4 A3.5 SOUTHEAST VIEW  
SCALE: NTS



3 A3.5 NORTHEAST VIEW  
SCALE: NTS



2 A3.5 NORTHWEST VIEW  
SCALE: NTS



1 A3.5 SOUTHWEST VIEW  
SCALE: NTS

PRELIMINARY - NOT FOR CONSTRUCTION

THE CARLIN  
LOT'S 55 & 56, DARTLETT & SHOCK, ADDITION, 200 NORTH MAIN STREET  
BRECKENRIDGE, COLORADO 80424

PROPOSED 3D MODEL VIEWS

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DATE	DATE
PRELIM PLANNING	15 OCT 2020
PP RESUBMIT	17 NOV 2020
PROJECT # 209	

A3.5



## Town Council Highlights

[Read the full Council packets and memos here.](#)

### Agenda & Timing:

0:0:00-0:13:00 - Legislative Review

0:13:00-1:09:00 - Public Projects, Transportation, Childcare, Sledding Hill, Housing, Financials, and Events

1:09:00 - 1:22:00 - Executive Session Protocol

1:22:00 - 1:34:00 - Milne Park Town Project and Revised CORA Administrative Regulations

1:34:00 - 2:53:00 - COVID UPDATE: Business Relief, Employee Support, Childcare Support, Lodging

2:53:00 - 3:52:00 - Regular Evening Council Meeting

### Managers Report

- **Public Projects:** Work is being completed for the acquisition of the Wellington street lights. Excavation, the setting of posts, electrical conduit, backfill, and installation of panels has been completed. The contractor is completing the wiring, painting of equipment, and final cleanup the next week. Minor landscape restoration will be completed in spring 2021. The work is being completed without any vehicle delays or detours. The Town has contracted with Stan Miller, Inc. to complete excavation work to maintain a drainage ditch on a Town easement north of Silverthorne, near the intersection of SH 9 and Ute Pass. The drainage easement is for a water right acquired by the Town



in 1984 through a decree with Denver Water, which provides consumptive makeup water for the Blue River in Breckenridge.

- **Childcare and Housing:**

- **Rec Center Day Camps:** Daycamps will only allow children enrolled in the Summit County School District. The Rec Center continues to work with Public Health to ensure child care availability and safety within programming and camps.

- **Fee-In-Lieu:** As a part of the employee housing mitigation requirements in Policy 24, methods for mitigation were established. The primary mitigation method is to create affordable units through new construction and deed restricting existing market rate inventory. It is written into the policy to allow projects that are required to provide less than one unit in employee housing mitigation (less than 350 S.F.) to pay a fee-in-lieu of the housing mitigation requirement. Staff presented a fee-in-lieu calculation to the Committee with a market affordability gap based on 100% AMI for a two-person household. The Committee supported the approach, but wanted to consider using 80% AMI for a two-person household instead of 100% AMI because our greatest need is at 80% AMI and below. Staff agreed that this is a good change to reflect our community need. This changes the final fee-in-lieu from \$210 per S.F. to \$250 per S.F. The fee-in-lieu calculation below shows this change.

- **Financials:** Overall, we are approximately \$873k under 2020 budgeted revenues in the Excise fund. Sales tax is currently \$2.2M under YTD budget, and \$2.2M behind prior year. Accommodations tax is \$133k under budget, and \$90k behind last year. Real Estate Transfer Tax is \$1.4M over budget, and \$221k ahead of prior year. For the year, net taxable sales are currently behind 2019 by 11.10%. September net taxable sales are currently ahead of September 2019 by 17.72%. For September 2020, there were increases across the following sectors Retail (7.98%), Grocery/Liquor (25.84%), Weedtail (60.72%), and Short Term Lodging (83.00%). There were decreases in the Restaurant/Bar (2.30%) and Construction (30.89%) sectors. Short Term Lodging taxes are generally remitted based on reservation date.

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- **Future Events Follow Up:** The Town of Breckenridge, Breckenridge Events Committee, the Breckenridge Resiliency Committee, and the Breckenridge Tourism Office has decided to cancel the 2020 Ullr Fest and the 2021 Snow Sculpture event to focus on safety and not encourage public crowding in Town. "We all want to do the right thing here," Lucy Kay, CEO of Breckenridge Tourism Office.
- **Executive Session Protocol:** For specifics regarding this conversation, please view the YouTube video from 1:09:00 to 1:22:00

### Other

- **Milne/McNamara House and Eberlein House Rehabilitation, Relocation and Site Modifications Town Project:** The development proposal for the historic Milne/McNamara House and Eberlein House property is being reviewed as a Town Project. All public noticing requirements for the review of a Town Project have been fulfilled as required under the adopted Town Projects Ordinance amendment (by Ordinance No. 21, Series 2020). The proposal by the BHA includes rehabilitation of the two historic buildings and installation of three parking spaces along the rear alley, with additional site modifications. The BHA proposes to use the buildings for public exhibition space, collections storage, staff offices, and flex room for the public.
  - **Council Discussion:** There is some pushback regarding the addition of parking to the area and concern about the increased office space, though BHA assured that the office space was very limited to 2-3 staff members. BHA has continued to meet with residents to address concerns (reduced parking from 6 to 3 and increased snow storage). Approving the Town Project **does not** commit the Town Council to fund the project. BHA did have money for the project but cut this project due to COVID-19 budget cuts. The Town Project permit is good for three years.
    - "I think that with increased use comes increased appreciation for this amazing mining history that we have, so I think it's great that you're doing this," Carol Saade. Council feels that the preservation of this home against further

degradation is important. Mayor Mamula expressed concern about finances and other projects that need to be focused on during COVID.

- **Revised CORA Administrative Regulations:** The Colorado Open Records Act (CORA) authorizes the Town's record custodian (the Town Clerk) to adopt and enforce administrative rules related to the Act. Staff is proposing to adopt the following new administrative rule as part of the Town's Open Records Act Rules and Regulations, as it pertains to the confidentiality of the Student Scholarship Program administered by the Town. This rule, if adopted, would be included in the CORA Rules and Regulations administered by the Town Clerk. The purpose of this rule is to address the confidentiality concerns of the Town's Scholarship Program, which shall be treated as such under Section 24-72-204(3)(a)(IV), C.R.S. The rule includes references to the confidential personal and financial information protected by the C.R.S., as well as guidelines for the handling of such information by Town employees and contractors. **Council Approved.**

#### **COVID Update**

- **Sledding Hill:** There is council concern about crowding at the Carter Park Sledding Hill. Staff will add signage and information to the area to encourage social distancing and safety. Council wants to ensure that people continue to have things to do during these times. There is staff concern about enforcement around closing the hill and think signage/warnings can encourage people to do the right thing. There is council concern that if the Town closes more opportunities for activities, it will continue to crowd people into other spaces. The focus is on spreading out guests, especially once Gold Run Nordic Center opens.
  - **Business Relief Package (\$500,000):** (Mayor Eric Mamula and Councilmember Dick Carleton both abstained from the discussion due to their position as restaurant owners). The focus remains on restaurants and bars (approx. 125 including coffee shops) as they are currently shut down for indoor dining and fared much worse over the summer compared to other industries in the town. This will be a rent and mortgage relief program to defray costs, up to \$5,000 per individual business (not per owner), working directly with the landlords. Last round, the Town mandated applications for the PPE loans to qualify but will not mandate applications for state/federal grants for
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this round. The Town will not require rent forgiveness from the landlord, which held up some distribution last time, and the Town wants to distribute as quickly as possible. The Town will **not** restrict the size of the restaurant. Businesses and employees will have to apply. Restaurants historically have much larger rents and mortgages than other businesses. "If we end up with a need for more business relief in the future, the best way will be to bring back the fund balance numbers to you because that's typically the money that we have to work with and we can make some very quick adjustments," Rick Holman, Town Manager. "We can also get a good idea from Shannon what we can move around in the Capital Improvement projects to open up more funding. That would give us a comfort level to pull out more money."

- **Workforce Relief Package (\$500,000):** This funding will go towards workers who have been furloughed, laid off, or have had a drastic reduction of hours regardless of what industry. The focus will be on rent relief. The Town has been working with the FIRC to determine what worked and didn't work in the spring. Have come up with a recommendation that we provide up to \$850 per person per month for rental relief with the option for the second month of assistance if the person qualifies and money is available. FIRC has been doing a lot of work with "wraparound" benefits regarding unemployment, healthcare, and food assistance, but FIRC feels that a lot of individuals are educated and there is not as much a need for those services. FIRC would send out information about ways that people can be financially sustainable in Summit and offer help if people need it, rather than part of the application process to help streamline applications. FIRC now has access to new funds for grants to go towards food assistance. FIRC believes they will be able to meet people's food assistance needs with these grants. FIRC is planning a hybrid model with food distribution and grocery store gift cards. FIRC will reserve 10% of the funding for operating costs and to hire two administrators for the program. Dick Carleton would like to see the requirements be **either** a minimum of six months in the county or a signed year's lease demonstrating an intent to stay in the community. Carol Sadde suggested that some people do not have formalized leases or go month-to-month.

- **Childcare Relief Package (\$100,000):** Focus is on how to ensure that we can continue to pay teachers who get quarantined because of exposure at work and how to help families who have

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experienced a loss of income due to reduced hours, loss of job, or children's quarantine. The childcare centers are pursuing other federal and state funding opportunities. The money would be split between the four centers based on the number of teachers and provide two more weeks of paid leave. "This is impacting our families just like rent," Dick Carleton, "childcare can be as expensive as housing costs so I think this is important as we're offering assistance for our workforce." Corrie Burr and Councilmember Kelly Owens will bring back a specific plan along with a better understanding of county-wide funding options and plans. "I'd like to put \$25,000 away right away for Corrie to distribute to families, and I know that there is a hardship right now with people not able to work because their kids are virtual or they have fewer hours," Kelly Owens.

- **Lodging:** "We've sort of talked around the issue of not doing lodging restrictions just in Breck because our town touches too much of the County and if the County isn't going to have a restriction, should we?" Mayor Eric Mamula. Erin Gigliello brought up an idea of a moratorium on being able to fill rooms that have been canceled (2 or 3 weeks) and not allow for price reductions to fill these rooms but compliance and enforcement would be difficult. "The County properties are still feeding the Town and Main Street and the ski area." The county is not interested in restricting short-term rentals. The county feels that they will only displace more workers (housekeepers and front desk workers) who are local and would be out of work with a lodging shutdown. "I don't want Lodging all of the sudden to stop giving refunds because of this, which really gives us a black eye," Dick Carleton. "I think the moratorium is a great idea but it's a better idea at a County level," Rick Holman. "I think us doing it on our own has challenges."

## Legislative Review

- **Amenity Club Ordinance (Second Reading):** Ordinance to extend the current moratorium on the submission, acceptance, processing, and approval of all applications for development permits that include an amenity club. The current moratorium is scheduled to expire on November 26, 2020. If

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this ordinance is adopted the moratorium would be extended until May 26, 2021, unless sooner terminated by the Town Council. **(Passed 7-0).**

- **2021 Mill Levy Ordinance (Second Reading):** The 5.07 mill levy is the amount the Town is authorized to impose, and cannot be increased without an election. For the 2021 budget year, we are forecasting the 5.07 mill levy to result in property tax revenues of \$3.498M, up .76% from the 2020 amount of \$3.472M. This is not an assessment year, so there is not a significant change due to the County Assessor's biannual assessment process being complete. **(Passed 7-0)**

- **2020 Model Traffic Code Adoption (Second Reading):** Every few years the Colorado Department of Transportation publishes a new "Model Traffic Code" for use by Colorado municipalities and counties. The MTC compiles the state traffic laws into a single electronic file and/or bound pamphlet that can easily be adopted "by reference" by a municipality and then enforced in the municipal court. This allows the fines that are collected to be retained by the municipality. **(Passed 7-0)**

- **Unclaimed Property Ordinance (Second Reading):** In 2019 the Colorado legislature adopted the "Revised Uniform Unclaimed Property Act." The new law contains numerous revisions to the state's administration of unclaimed property. The Act retains the ability of municipalities to opt-out of the state system and to locally administer a program for how it will deal with unclaimed (i.e., found property), but new provisions and restrictions apply. The most significant change for the Town in order to opt-out of the new Act the found property must be retained by the Town for at least five years before it can be disposed of. Additionally, the Town must report specified information on intangible property being held by the Town to the administrator of the state's unclaimed property system. **(Passed 7-0)**

- **2021 Budget Adoption (Resolution):** Second budget hearing for approval of the following changes - Property tax revenue increased to \$3,498,554 from \$3,472,449 as a result of revised County assessment figures. A transfer of \$250,000 has been added from the Excise to Health Benefits fund. Personnel expense increased in the Housing Fund by \$5,524. Personnel expense increased in Child Care fund by \$291. The grant to Breckenridge Creative Arts has been set at the

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\$1,700,000 level. The Hoosier Path reserve (\$100K/year) has been removed from the Open Space fund. Fiber 9600 lease revenue of \$48,000 has been added to the Capital fund. Open Space debt payment amount to the General fund has been adjusted to reflect interest expense. Liability Insurance rates finalized, increases General Fund expenses by \$103,000 and Housing fund by \$31,272. Some smaller changes to other funds. The sustainability program was increased by \$14,000 for 2021. Our Social Equity program is funded for \$100,000 in 2021 in the General Fund (it is \$30,000 in 2020). Revenue projections have been revised to reflect the latest results. We will update the final budget as well, and we can summarize changes at that time. Our projections have been increasing based on RETT and sales tax results. **(Passed 7-0)**

- **Frisco Nordic IGA (Resolution):** Attached for Town Council review and approval is a resolution approving an Intergovernmental Agreement (IGA) with the Town of Frisco regarding the Frisco Nordic Center. For years, the Town of Breckenridge and its Town-run Gold Run Nordic Center has cooperated with the Frisco Nordic Center (Town of Frisco-managed) and the Breckenridge Nordic Center (operated under agreement by the Dayton family) to jointly market, share pass sales, and agree on general operating parameters. These cooperative agreements ensure consistent pass pricing, clarify the sharing of administrative costs for pass sales, allow skiers to benefit from joint pass opportunities at all three Nordic facilities, and define the rec path grooming agreement between the Towns of Frisco and Breckenridge. **(Passed 7-0)**

- **Sales and Use Tax System IGA (Resolution):** The attached resolution will authorize the Town Manager to execute the Intergovernmental Agreement (IGA) for the Department of Revenue Sales and Use Tax (SUTS) software that is necessary for the Town to collect remote sales tax remittances from a single point of a collection managed by the Colorado Department of Revenue. **(Passed 7-0)**

- **TOWN PROJECT: Milne/McNamara House and Eberlein House Rehabilitation, Relocation, and Site Modifications:** The proposal by the BHA includes rehabilitation of the two historic buildings and installation of three parking spaces along the rear alley, with additional site

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modifications. The BHA proposes to use the buildings for public exhibition space, collections storage, staff offices, and flex room for the public. **(Passed 7-0)**

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