



TOWN OF
BRECKENRIDGE

Town Council Regular Meeting
Tuesday, October 27, 2020, 7:00 PM
VIRTUAL Council Chambers

This meeting will be broadcast live, but the public will NOT be permitted to attend the meeting in person due to COVID-19 concerns. If you are interested, please monitor the meeting by joining the live broadcast available online. Log-in information is available in the calendar section of our website: www.townofbreckenridge.com.

Questions and comments can be submitted prior to the meeting to Mayor@townofbreckenridge.com or during the meeting using the Q&A feature in the Online Webinar.

I. CALL TO ORDER, ROLL CALL

II. APPROVAL OF MINUTES

A. TOWN COUNCIL MINUTES - OCTOBER 13 AND OCTOBER 20, 2020

III. APPROVAL OF AGENDA

IV. COMMUNICATIONS TO COUNCIL

A. CITIZEN'S COMMENT (NON-AGENDA ITEMS ONLY; PLEASE SUBMIT COMMENTS IN ADVANCE TO MAYOR@TOWNOFBRECKENRIDGE.COM, OR USE THE Q&A FEATURE OF THE WEBINAR)

V. CONTINUED BUSINESS

A. SECOND READING OF COUNCIL BILLS, SERIES 2020 - PUBLIC HEARINGS

1. *COUNCIL BILL NO. 35, SERIES 2020 - AN ORDINANCE AMENDING CHAPTER 16 OF TITLE 1 OF THE BRECKENRIDGE TOWN CODE CONCERNING TOWN CONTRACTS*

VI. NEW BUSINESS

A. FIRST READING OF COUNCIL BILLS, SERIES 2020

1. *COUNCIL BILL NO. 36, SERIES 2020 - AN ORDINANCE REPEALING AND READOPTING WITH CHANGES CHAPTER 14 OF TITLE 4 OF THE BRECKENRIDGE TOWN CODE CONCERNING REGULATED MARIJUANA BUSINESSES*

2. *COUNCIL BILL NO. 37, SERIES 2020 - AN ORDINANCE REPEALING AND READOPTING WITH CHANGES CHAPTER 12 OF TITLE 5 OF THE BRECKENRIDGE TOWN CODE CONCERNING THE TOWN OF BRECKENRIDGE "DISPOSABLE BAG FEE"*

B. RESOLUTIONS, SERIES 2020

1. *RESOLUTION NO. 24, SERIES 2020 - A RESOLUTION SETTING THE RENEWAL FEE FOR A TOWN OF BRECKENRIDGE RETAIL TOBACCO BUSINESS LICENSE*

C. OTHER

1. *BOSAC APPOINTMENT*

VII. PLANNING MATTERS

- A. PLANNING COMMISSION DECISIONS
- B. TOWN PROJECT: ALTA VERDE HOUSING PROJECT
- C. PLANNING COMMISSION APPOINTMENTS

VIII. REPORT OF TOWN MANAGER AND STAFF

IX. REPORT OF MAYOR AND COUNCIL MEMBERS

- A. CAST/MMC (MAYOR MAMULA)
- B. BRECKENRIDGE OPEN SPACE ADVISORY COMMITTEE (MS. GIGLIELLO)
- C. BRECKENRIDGE TOURISM OFFICE (MR. KUHN)
- D. BRECKENRIDGE HERITAGE ALLIANCE (MR. KUHN)
- E. WATER TASK FORCE (MAYOR MAMULA)
- F. BRECKENRIDGE CREATIVE ARTS
- G. BRECKENRIDGE EVENTS COMMITTEE (MR. CARLETON)
- H. CHILD CARE ADVISORY COMMITTEE (MS. OWENS)
- I. WORKFORCE HOUSING COMMITTEE (MR. CARLETON)
- J. SOCIAL EQUITY ADVISORY COMMISSION

X. OTHER MATTERS

XI. SCHEDULED MEETINGS

- A. SCHEDULED MEETINGS FOR OCTOBER, NOVEMBER AND DECEMBER

XII. ADJOURNMENT

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I) CALL TO ORDER, ROLL CALL

Mayor Mamula called the meeting of October 13, 2020 to order at 7:00pm. The following members answered roll call: Ms. Gigliello, Ms. Owens, Mr. Carleton, Mr. Kuhn, Ms. Saade, Mr. Bergeron and Mayor Mamula.

II) APPROVAL OF MINUTES

- A) TOWN COUNCIL MINUTES – SEPTEMBER 22 AND SEPTEMBER 29, 2020
With no changes or corrections to the meeting minutes of September 22 and September 29, 2020, Mayor Mamula declared they would stand approved as presented.

III) APPROVAL OF AGENDA

Mr. Holman stated the only change to the agenda was to make Council Bill No. 34, Series 2020 an emergency ordinance on second reading. Mayor Mamula declared the agenda approved as amended.

IV) COMMUNICATIONS TO COUNCIL

- A) CITIZEN'S COMMENT (NON-AGENDA ITEMS ONLY; 3-MINUTE TIME LIMIT PLEASE)

Mayor Mamula opened Citizen's Comment. Citizens were encouraged to email their comments in advance of the meeting or use the Q&A section of the webinar.

There were no additional comments and Citizen's Comment was closed.

- B) BRECKENRIDGE TOURISM OFFICE UPDATE

Ms. Lucy Kay, Director of the BTO, stated she is optimistic about lodging occupancy and sales tax this fall, and September through March bookings are significantly up, perhaps due to the new Vail Resorts reservation system. She also stated September and October are looking favorable and it looks like we are outperforming the other markets at this point. Mayor Mamula asked if the ski resort will be giving preferential ski reservations to those who book their properties? Ms. Kay stated she will look into that. She also stated the BTO believes we can have a decent winter if we can keep COVID at bay, and this summer the BTO cut back on hosting journalists but managed to get good media generating more than 509 million impressions, equal to about \$275,000 in advertising value. Ms. Kay stated that regarding responsible tourism, the BTO has been working on it through COVID, and it started with sustainable tourism, and expanded to mask messaging and more. She also stated the NSAA is putting together winter plans for the ski resorts and we hope to use some of that messaging moving forward.

V) CONTINUED BUSINESS

- A) SECOND READING OF COUNCIL BILLS, SERIES 2020
1. COUNCIL BILL NO. 34, SERIES 2020 - AN ORDINANCE AMENDING CHAPTER 1 OF TITLE 4 OF THE BRECKENRIDGE TOWN CODE, KNOWN AS THE TOWN OF BRECKENRIDGE "BUSINESS AND OCCUPATIONAL LICENSES AND TAX ORDINANCE," CONCERNING THE SUSPENSION OR REVOCATION OF LICENSES

Mayor Mamula read the title into the minutes. Mr. Berry stated there are no changes to this ordinance from first reading, however it will be presented now as an emergency ordinance per the discussion at the work session, so that it will be effective immediately upon adoption.

Mayor Mamula opened the public hearing. There were no comments and the public hearing was closed.

Mr. Bergeron moved to approve emergency ordinance COUNCIL BILL NO. 34, SERIES 2020 - AN ORDINANCE AMENDING CHAPTER 1 OF TITLE 4 OF THE BRECKENRIDGE TOWN CODE, KNOWN AS THE TOWN OF BRECKENRIDGE "BUSINESS AND OCCUPATIONAL LICENSES AND TAX ORDINANCE," CONCERNING THE SUSPENSION OR REVOCATION OF LICENSES. Ms. Owens seconded the motion.

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The motion passed 7-0.

VI) NEW BUSINESS

A) FIRST READING OF COUNCIL BILLS, SERIES 2020

1. COUNCIL BILL NO. 35, SERIES 2020 - AN ORDINANCE AMENDING CHAPTER 16 OF TITLE 1 OF THE BRECKENRIDGE TOWN CODE CONCERNING TOWN CONTRACTS

Mayor Mamula read the title into the minutes. Mr. Berry stated this ordinance amends the part of town code that addresses when a Town officer or employee can participate in a Town contract. He further stated there are three stipulations of this ordinance that would allow this kind of circumstance, and those are detailed in the memo in the packet.

Mayor Mamula opened the public hearing. There were no comments and the public hearing was closed.

Mr. Carleton asked to be recused from voting on this item because he had applied for a business rental unit for his employees through the Town's program and would potentially need to enter into a contract for that.

Mr. Bergeron moved to approve COUNCIL BILL NO. 35, SERIES 2020 - AN ORDINANCE AMENDING CHAPTER 16 OF TITLE 1 OF THE BRECKENRIDGE TOWN CODE CONCERNING TOWN CONTRACTS. Mr. Kuhn seconded the motion.

The motion passed 6-0. Mr. Carleton abstained.

B) RESOLUTIONS, SERIES 2020

C) OTHER

VII) PLANNING MATTERS

A) PLANNING COMMISSION DECISIONS

Planning Commission Decisions were approved as presented.

VIII) REPORT OF TOWN MANAGER AND STAFF

Reports of Town Manager and Staff were covered during the afternoon work session.

IX) REPORT OF MAYOR AND COUNCIL MEMBERS

Reports of Mayor and Council Members were covered during the afternoon work session.

- A. CAST/MMC
- B. BRECKENRIDGE OPEN SPACE ADVISORY COMMITTEE
- C. BRECKENRIDGE TOURISM OFFICE
- D. BRECKENRIDGE HERITAGE ALLIANCE
- E. WATER TASK FORCE
- F. BRECKENRIDGE CREATIVE ARTS
- G. BRECKENRIDGE EVENTS COMMITTEE
- H. CHILD CARE ADVISORY COMMITTEE
- I. WORKFORCE HOUSING COMMITTEE
- J. SOCIAL EQUITY ADVISORY COMMISSION

X) OTHER MATTERS

There were no other matters.

XI) SCHEDULED MEETINGS

A) SCHEDULED MEETINGS FOR OCTOBER AND NOVEMBER

XII) ADJOURNMENT

With no further business to discuss, the meeting adjourned at 7:27pm. Submitted by Helen Cospolich, CMC, Town Clerk.

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Helen Cospolich, CMC, Town Clerk

Eric S. Mamula, Mayor

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I) CALL TO ORDER, ROLL CALL

Mayor Mamula called the meeting of October 20, 2020 to order at 8:15am. The following members answered roll call: Ms. Gigliello, Ms. Owens, Mr. Carleton, Mr. Bergeron, Mr. Kuhn, Ms. Saade and Mayor Mamula.

II) APPROVAL OF AGENDA

Mr. Holman stated there were no changes to the agenda.

III) PARTNER ORGANIZATIONS PRESENTATIONS

BRECKENRIDGE TOURISM OFFICE

Ms. Lucy Kay gave a brief update on marketing strategies during the COVID timeframe and current occupancy, which is up year over year and which excluded COVID hot spots. She also stated BTO is prepared to do more for winter marketing if needed, but that is not the norm. Ms. Kay explained the BTO proposed budget and cuts for 2021, which were included in the memo in the packet. She also stated they are allocating more resources for community communication to focus on locals and businesses, and overall the budget is down about 22% for 2021. She stated the BTO is focused on next summer and fall with support for winter marketing with safety messaging. Ms. Gigliello asked how winter marketing might change with Vail Resorts and Ms. Kay stated the ski resort has good data sources and will focus on what it needs to do to get business. Mr. Bergeron asked about the past summer visitors, and if there were more telecommuters and families looking to escape urban environments. Ms. Kay stated that as long as work and school can be remote people will travel and stay here, but she doesn't think we are going to lose our hardcore skiers this winter. Mr. Holman added that NWCOG and CAST are looking at trends with new relocations to mountain communities and how engaged these people will be in the community. Mayor Mamula stated he would like to stay away from weekly events in the future, and "build back better" shouldn't necessarily mean more people coming here. Mr. Bergeron stated this summer we survived without events, and Ms. Gigliello suggested maybe we consider some blackout weekends for events in general. Ms. Kay stated we need to focus on the destination visitors, who are traditionally the ones who spend money. Mr. Bergeron stated the locals are feeling the impacts of the people on the trails, and Mr. Kuhn stated he was contacted by several people this week with concerns about short-term rentals and how busy Town has been this summer, which is impacting quality of life. Mr. Carleton stated we need to work on rebuilding in a way we want with possible less focus on liquor events. Ms. Saade stated she likes the focus on trail etiquette and high-value guests and working with the community. Council agreed they liked the "Build Back Better" idea. Council agreed to the budget proposal.

BRECKENRIDGE HERITAGE ALLIANCE

Ms. Larissa O'Neil of the Breckenridge Heritage Alliance stated the approach in 2020 was to cut the capital budget and all of the scheduled projects as part of that. She further stated the 2021 budget has some small projects included. She stated it's business as usual for operations with some changes for COVID safety, and we have seen an uptick in tours and remote history lessons through the BHA. Ms. O'Neil further stated they are requesting a budget that is 10% reduced from last year, and that is partly because we manage Town-owned facilities and there are a lot of operating costs associated with that. Ms. O'Neil also stated that reductions include liability insurance cuts, the marketing budget, and reduced staffing. Ms. O'Neil stated she is confident they can operate core programs and tours throughout the year. Ms. Owens asked about capital projects and Ms. O'Neil explained they will be cut in 2021 as well. Ms. Owens asked if the current operating plan is working with the COVID restrictions, and Ms. O'Neil stated it is and the staff are good. Ms. Owens also stated the free community programs have been good for locals and visitors. Council agreed to the budget proposal.

BRECKENRIDGE CREATIVE ARTS

Mr. Matt Neufeld, Director of the BCA, stated this season was one of reinvention, and the BCA eliminated some positions and used other strategies to be nimble and pivot during this time. He stated they supported Walkable Main with live concerts, arts demonstrations, solidarity talks, the Bikeful Tower on Main Street, hope messages, free drive-in movies for the community and much more. Mr. Neufeld stated that looking to next year, we need to be adaptable, and we will build on our 2020 programming. He stated the proposal for the 2021 budget has 3 scenarios and he would ask the Council to

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consider option #2 and with a fall WAVE festival in 2021. He further stated scenario #2 is a 22% reduction of Town funding. Ms. Gigliello asked about animating safe events outside in the winter, and how could we create an outdoor atmosphere in the winter? Mr. Neufeld stated we have some ideas for outdoor installations this winter as well as indoor activities. Mr. Bergeron asked what would happen to the cost of utilities if we are operating in the Riverwalk this winter, and Mr. Neufeld stated we would need to look at it on a case-by-case basis if it was different from what is included in the current budget. Ms. Saade thanked the BCA for being a good partner, and asked if the surplus from this year could be reinvested in 2021 operating costs. Mr. Neufeld stated yes and we would like to build on the reserves in the future. Mr. Holman stated Breck Music is now part of the BCA budget as well. Mayor Mamula stated this is a time to look critically at everything we are doing and to decide what we really need to do. He also thanked BCA for the creative ideas this summer, and Mr. Carleton stated he agreed with that sentiment. Council agreed to the budget scenario #2 without fall activation, and Mr. Carleton stated they could take the \$300,000 in reserves from this year and use \$100,000 for operating costs and put the additional money into reserves for 2021. He also suggested the BCA come back in February for another ask specific to a Fall WAVE festival. Ms. Owens stated she agreed. Mr. Neufeld added that Breck Music is focusing on education right now and looking at community programs rather than large concerts. He also stated they will be able to adjust based on the situation and can run even better programs with some more planning time and the possibility for new types of programming based on the situation. Ms. Gigliello stated she would like to see Breck Music be more flexible and creative. Mr. Holman stated we need to clarify the amount for the reserves, and the Town would be giving them an additional \$100K to further fund the reserves for 2021.

IV) RESERVED FUNDS REVIEW

Mr. Waldes stated the funds can be divided into two categories, Service Funds and Reserve Funds.

WATER

Mr. James Phelps stated this is a utility fund that is paid for by the users. He reviewed the fund with budgeted amounts for 2021. The full presentation is part of the packet for this meeting. Council discussed the merits of spending on water infrastructure and difference between PIFs, Water Rates, and Water Maintenance Fees, among other things.

GOLF

Mr. Erroll Miller, Golf Course Superintendent, stated golf had a banner year and staff and guests stayed safe. He also added people were happy to be playing, and budgeted revenues were up. He stated we are budgeting conservatively for 2021 and the fund is in good shape. Mr. Miller explained there was ice damage to the putting surfaces that caused significant damage and it was an anomaly this year. Council thanked Mr. Miller for his work running the Golf Course, and stated his replacement will come on this winter. Mr. Holman stated Mr. Miller has done an amazing job and has made money for this fund every year and we hope to be able to celebrate his work in the future.

HOUSING

Ms. Laurie Best, Town Housing and Childcare Manager, explained the lines of the fund and went over the pro forma and expenses for 2021, including the Alta Verde project and improvements on Airport Road. Mayor Mamula thanked her for her work.

OPEN SPACE

Mr. Scott Reid reviewed the Open Space Fund, including several frozen positions in 2020 and the budgeted amounts for 2021. Mr. Bergeron asked about the Wellington Oro Reserve, and Mr. Reid explained that while the design is functional it doesn't solve the problem and we are working with the EPA to change the focus to see what else we can do to consider alternatives. He also explained the Hoosier Pass Bike Path project has not begun to move forward yet. Ms. Gigliello asked about revisiting the frozen positions in February 2021 and Council agreed that was a good idea.

OTHER FUNDS

Mr. Waldes reviewed the other budget funds, including the conservation trust fund, marijuana fund, cemetery fund.

INTERNAL SERVICE FUNDS

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Mr. Waldes stated these funds are intended to smooth out allocations year over year so you don't have large spikes in capital expenditures. He further stated he would like to recommend a \$250,000 transfer from the General Fund to the Health Benefits Fund to better seed the fund moving forward. Mr. Holman stated we need to get through 2021 and look at what the future holds for health insurance for the Town. Council agreed to move the \$250,000 into the fund.

V) COVID UPDATE

Mr. Holman stated things are evolving every day with COVID and the County is looking at several measures to restrict gatherings or rolling back last call at restaurants. He further stated that currently we have about 10 different restaurants looking at temporary modifications for the winter for outdoor seating. Mr. Chapin LaChance, planner, stated outdoor spaces need to only have two sides, which will be difficult with our winter weather conditions. Mayor Mamula stated we need to look for further guidance on this issue from CDPHE. Mr. Holman stated he would have to do a Town Manager order to allow for outdoor temporary structures. Mr. Holman also added there will be pick-up areas outside businesses set up for this winter. Mr. Holman stated Town Hall will pull back to 25% occupancy today and we will see what the County says, including regarding recreation group class sizes and smaller group sizes overall. He further stated the County is discussing it more today and he will let Council know what is decided. Mr. Kuhn asked about violations called into the short-term rental hotline, and Mr. Holman explained that the hotline representatives contact the responsible agent for the property who will fix the problem within 60 minutes, and if it's not addressed it's considered a violation. He also stated that repeat violations will be addressed through administrative rules and regulations. Mr. Holman emphasized that violations should be called in immediately. Mr. Holman added that we haven't done a good job addressing the 10-person rule for short term rentals and we want to see what the County says and if they lower the number before taking more action. Mayor Mamula stated we need to communicate the information when we get it and then enforce it.

VI) OTHER MATTERS

Mr. Holman stated there will be a special Town Council meeting on November 3.

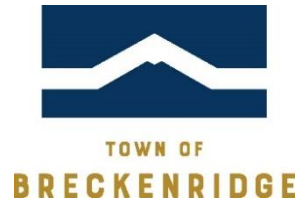
VII) ADJOURNMENT

With no further business to discuss, the meeting adjourned at 10:48am. Submitted by Helen Cospolich, CMC, Town Clerk.

ATTEST:

Helen Cospolich, CMC, Town Clerk

Eric S. Mamula, Mayor



Memo

To: Mayor and Town Council Members
From: Tim Berry, Town Attorney
Date: October 20, 2020 (for October 27th meeting)
Subject: Council Bill No. 35 (Amendment to Town Ethics Ordinance)

The second reading of the ordinance amending the Town's Ethics Ordinance is scheduled for your meeting on October 27th. There are no changes proposed to ordinance from first reading.

I will be happy to discuss this matter with you on Tuesday.

1 ***FOR WORKSESSION/SECOND READING – OCT. 27***

2
3 ***NO CHANGE FROM FIRST READING***

4
5 Additions To The Current Breckenridge Town Code Are
6 Indicated By **Bold + Double Underline**; Deletions By ~~Strikeout~~

7
8 COUNCIL BILL NO. 35

9
10 Series 2020

11
12 AN ORDINANCE AMENDING CHAPTER 16 OF TITLE 1 OF THE BRECKENRIDGE
13 TOWN CODE CONCERNING TOWN CONTRACTS

14
15 BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE,
16 COLORADO:

17
18 Section 1. Section 1-16-15 of the Breckenridge Town Code is amended to read as
19 follows:

20
21 1-16-15: TOWN CONTRACTS:

22
23 A. Except as provided in subsection C of this Section, no Town officer or employee
24 may have an interest in any contract made by the Town.

25
26 B. Every contract made in violation of this Section is voidable at the request of any
party to the contract, except the Town officer or employee interested in such contract.

27
28 C. Section A of this Section does not apply to:

29 1. Contracts awarded to the lowest responsible bidder based on competitive
bidding procedures;

30 2. Merchandise sold to the highest bidder at public auction;

31 3. Investments or deposits in financial institutions that are in the business of
32 loaning or receiving monies;

33 4. A contract between the Town and a Town officer or employee if, because of
34 geographic restrictions, the Town could not otherwise reasonably afford itself of
35 the subject of contract. It is presumed that the Town could not otherwise
36 reasonably afford itself of the subject of a contract if the additional cost to the
37 Town is greater than ten percent (10%) of a contract with a Town officer or Town
38 employee, or if the contract is for services that will be performed within a limited
39 time period and no other contractor can provide those services within that time

1 period; ~~If the contract involves a Town Council member, the member shall~~
2 ~~disclose his or her interest to the Town Council before the contract is signed;~~

3 **5. A contract awarded pursuant to a lottery, or other method when the**
4 **person to whom the contract is awarded is selected by chance;**

5
6 **6. A contract obligating the Town to pay Five Thousand Dollars (\$5,000.00)**
7 **or less; or**

8
9 **7. A development agreement entered into pursuant to Chapter 9 of Title 9**
10 **of this Code.**

11
12 D. ~~In addition to the restrictions set forth in~~ **For a contract entered into pursuant to**
13 ~~subsections C1 through C47~~ of this section, before the Town enters into a contract with a member
14 of the Town Council the Town Council member must disclose a personal interest in the proposed
15 contract, and either:

16 1. The Town Council itself (and not the Town Manager or other Town
17 employee) approves the contract at a public meeting; or

18
19 2. The Town Manager approves the contract; provided that prior to approving
20 the contract the Town Manager must notify the Town Council of the proposed contract
21 and explain how the proposed contract satisfies the requirements of subsections C1
22 through C47 of this section.

23
24 E. Notwithstanding Section 1-16-8(H), a Town Council member shall not vote to
25 approve a contract in which he or she has a personal interest.

26 Section 2. Except as specifically amended by this ordinance, the Breckenridge Town
27 Code, and the various secondary codes adopted by reference therein, shall continue in full force
28 and effect.

29
30 Section 3. The Town Council finds, determines, and declares that this ordinance is
31 necessary and proper to provide for the safety, preserve the health, promote the prosperity, and
32 improve the order, comfort and convenience of the Town of Breckenridge and the inhabitants
33 thereof.

34
35 Section 4. This ordinance shall be published and become effective as provided by Section
36 5.9 of the Breckenridge Town Charter.

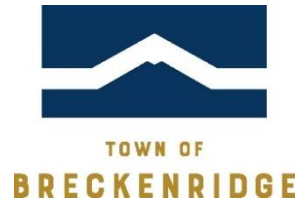
37
38 INTRODUCED, READ ON FIRST READING, APPROVED AND ORDERED
39 PUBLISHED IN FULL this ____ day of _____, 2020. A Public Hearing shall be held at the
40 regular meeting of the Town Council of the Town of Breckenridge, Colorado on the ____ day of
41 _____, 2020, at 7:30 P.M., or as soon thereafter as possible in the Municipal Building of the
42 Town.

TOWN OF BRECKENRIDGE, a Colorado
municipal corporation

By: _____
Eric S. Mamula, Mayor

ATTEST:

Helen Cospolich, CMC,
Town Clerk



Memo

To: Mayor and Town Council Members
From: Tim Berry, Town Attorney
Date: 10/21/20
Subject: Ordinance Updating the Town's Marijuana Licensing Ordinance

The enclosed ordinance amends and updates the Town's Marijuana Licensing Ordinance.

The ordinance is necessary because the Colorado legislature recently combined that state Medical Marijuana Code and the state Retail Marijuana Code into one new statute. As a result, all of the citations to the state codes in the Town's current Marijuana Licensing Ordinance need to be updated.

Additionally, the Liquor and Marijuana Enforcement Division of the Colorado Department of Revenue continues to revise and update their administrative regulations pertaining to both medical marijuana and retail marijuana. Several of the proposed revisions in the enclosed ordinance are necessary as a result of the updated state administrative regulations.

This ordinance is essentially a "housekeeping" ordinance; the proposed ordinance does not make any significant substantive changes to the Town's current Marijuana Licensing Ordinance.

Helen and I will be happy to discuss this matter with you on Tuesday.

1 ***FOR WORKSESSION/FIRST READING – OCT. 27***

2
3 Additions To The Current Breckenridge Town Code Are
4 Indicated By **Bold + Double Underline**; Deletions By ~~Strikeout~~

5
6 COUNCIL BILL NO. _____

7
8 Series 2020

9
10 AN ORDINANCE REPEALING AND READOPTING WITH CHANGES CHAPTER 14 OF
11 TITLE 4 OF THE BRECKENRIDGE TOWN CODE CONCERNING REGULATED
12 MARIJUANA BUSINESSES

13
14 BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE,
15 COLORADO:

16
17 Section 1. Chapter 14 of Title 4 of the Breckenridge Town Code is repealed and
18 reenacted with changes so as to read in its entirety as follows:

19
20 CHAPTER 14

21 MARIJUANA LICENSES AND REGULATIONS

22
23
24 SECTION:

- 25
26 4-14-1: SHORT TITLE
27 4-14-2: FINDINGS
28 4-14-3: PURPOSE
29 4-14-4: AUTHORITY
30 4-14-5: DEFINITIONS
31 4-14-6: LICENSE REQUIRED
32 4-14-7: ADOPTION OF STATE CODES AND ADMINISTRATIVE REGULATIONS
33 4-14-8: APPLICATION FOR LICENSE
34 4-14-9: FEES
35 4-14-10: INVESTIGATION OF APPLICATION
36 4-14-11: AUTHORITY TO IMPOSE CONDITIONS ON LICENSE
37 4-14-12: DECISION BY LOCAL LICENSING AUTHORITY
38 4-14-13: APPEAL OF DENIAL OR CONDITIONAL APPROVAL OF LICENSE
39 4-14-14: INSPECTION OF PREMISES
40 4-14-15: TERM OF LICENSE; RENEWAL
41 4-14-16: NOTICE OF ISSUANCE OF LICENSE
42 4-14-17: DUTIES OF LICENSEE

2020 MARIJUANA LICENSING ORDINANCE

- 1 4-14-18: SUSPENSION OR REVOCATION OF LICENSE
- 2 4-14-19: TRANSFER OF OWNERSHIP; CHANGE OF LOCATION; MODIFICATION
- 3 OF PREMISES
- 4 4-14-20: CONSIDERATION OF NUMBER OF EXISTING LICENSES
- 5 4-14-21: LOCATION OF LICENSED PREMISES; CO-LOCATION
- 6 4-14-22: HOURS OF OPERATION
- 7 4-14-23: SIGNAGE
- 8 4-14-24: MARIJUANA ACCESSORIES
- 9 4-14-25: ON-SITE CULTIVATION, GROWING AND PROCESSING
- 10 4-14-26: DISPLAY OF MARIJUANA
- 11 4-14-27: TAXES
- 12 4-14-~~27~~28: DUTIES OF PRIMARY CAREGIVERS
- 13 4-14-~~28~~29: WAREHOUSE STORAGE PERMITS
- 14 4-14-~~29~~30: VIOLATIONS; PENALTIES; INJUNCTIVE RELIEF
- 15 4-14-~~30~~31: NO TOWN LIABILITY
- 16 4-14-~~31~~32: OTHER LAWS REMAIN APPLICABLE
- 17 4-14-~~32~~33: RULES AND REGULATIONS
- 18 4-14-33: ~~EFFECTIVE DATE~~

19

20 4-14-1: SHORT TITLE: This Chapter is to be known and may be cited as the “Town Of

21 Breckenridge ~~2013~~2020 Marijuana Licensing Ordinance.”

22

23 4-14-2: FINDINGS: The Town Council adopts this Chapter based upon the following findings

24 of fact:

25

26 A. The Colorado-~~Medical~~ Marijuana Code (Article ~~43-3~~10, Title ~~12-4~~44, C.R.S.)

27 recognizes the power of a municipality to adopt and enforce its own rules and

28 regulations for the licensing of ~~medical~~regulated marijuana businesses within

29 its jurisdiction. Specifically, the Colorado-~~Medical~~ Marijuana Code authorizes

30 municipalities to:

- 31 1. prohibit the operation of medical marijuana ~~centers~~ stores,
- 32 ~~optional premises cultivation operations~~ medical marijuana
- 33 cultivation facilities, and medical marijuana-infused products
- 34 ~~manufacturing facilities~~ manufacturers’ licenses within the
- 35 municipality (Section ~~44-11-106~~44-10-104(1)(b), C.R.S.);
- 36 2. enact ordinances or regulations governing the time, place,
- 37 manner, and number of retail marijuana ~~establishments~~businesses
- 38 within the boundaries of the municipality, which may include a
- 39 local licensing requirement (~~44-12-104(3)~~44-10-104(3), C.R.S.);

- 1 3. adopt an ordinance containing specific standards for the issuance
2 of local licenses (Section ~~44-11-3-301(2)(a)~~44-10-301(2)(a)(I),
3 C.R.S.);
- 4 4. adopt additional local standards for the issuance of medical
5 marijuana stores, medical marijuana cultivation facilities, and
6 medical marijuana-infused products manufacturers' licenses,
7 including, but not limited to, distance restrictions between
8 premises for which licenses are issued; reasonable restrictions on
9 the size of an applicant's licensed premises; and any other local
10 requirement necessary to ensure the control of the premises and
11 the ease of enforcement of the terms and conditions of the license
12 (Section ~~44-11-301(2)(b)~~44-10-301(2)(a)(II), C.R.S.);
- 13 5. impose additional requirements necessary for the approval of
14 applications under the Colorado ~~Medical~~ Marijuana Code (Section
15 ~~44-11-301(4)~~44-10-301(2)(c), C.R.S.);
- 16 6. impose a separate local licensing requirements as a part of the
17 municipality's restrictions on time, place, manner, and number of
18 marijuana businesses within the municipality (Section ~~44-12-~~
19 ~~301(2)~~44-10-301(3)(b), C.R.S.);
- 20 7. establish an application fee for a local license (Section ~~12-43.3-~~
21 ~~503(1)~~44-10-302(1), C.R.S.
- 22 8. enact ordinances or resolutions concerning matters authorized to
23 local governments (Section ~~44-11-304(4)~~44-10-305(3), C.R.S.);
- 24 9. enact reasonable regulations or other restrictions applicable to
25 medical marijuana businesses licenses based on local
26 government zoning, health, safety and public welfare laws for the
27 distribution of medical marijuana that are more restrictive than the
28 Colorado ~~Medical~~ Marijuana Code (Section ~~44-10-310(1)~~44-10-
29 313(1)(a), C.R.S.);
- 30 10. adopt and enforce regulations for retail marijuana ~~establishments~~
31 businesses that are at least as restrictive as the Colorado ~~Retail~~
32 Marijuana Code and the state administrative regulations (Section
33 ~~44-12-309(1)~~44-10-313(1)(b), C.R.S.);
- 34 11. impose reasonable restrictions upon a local license (Section ~~44-11-~~
35 ~~310(7)~~44-10-313(7), C.R.S.); and

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1 12. adopt and impose operating fees on marijuana ~~establishments~~
2 **businesses** located within its jurisdiction in an amount determined
3 by the municipality (Section ~~44-12-501(3)~~**44-10-803(3)**, C.R.S.).
4

5 B. On November 6, 2012 the voters of the State of Colorado approved Amendment
6 64. Amendment 64 added Section 16 of Article XVIII to the Colorado
7 Constitution.

8 C. Section 16(5)(f) of Article XVIII of the Colorado Constitution authorizes a
9 municipality to enact an ordinance or regulation, not in conflict with Section 16
10 of Article XVIII of the Colorado Constitution, governing the time, place,
11 manner, and number of marijuana establishments within the boundaries of the
12 municipality.

13 ~~D. The Colorado Retail Marijuana Code (Article 43.4 of Title 12, C.R.S.)~~
14 ~~establishes a new procedure that allows for the dual licensing by the State~~
15 ~~Licensing Authority and the Local Licensing Authority of the retail cultivation,~~
16 ~~manufacture, distribution, and sale of retail marijuana and retail marijuana~~
17 ~~products.~~

18 **D.** The presence of ~~medical~~**regulated** marijuana businesses and ~~retail marijuana~~
19 ~~establishments~~ within the Town’s Downtown Overlay District may discourage
20 tourism, which is the economic lifeblood of the community. As such, ~~except for~~
21 ~~the limited time period described in this Chapter,~~ **regulated** marijuana
22 ~~businesses and retail marijuana establishments~~ should all be located outside of
23 the Downtown Overlay District in order to protect, defend, and preserve the
24 economic vitality of the Town.

25 **E.** The Town Council finds, determines, and declares that to the extent the
26 requirements of this Chapter differ from the requirements of the Colorado
27 ~~Medical Marijuana Code and the Colorado Retail Marijuana Code,~~ the
28 requirements of this Chapter are more restrictive than the Colorado ~~Medical~~
29 ~~Marijuana Code and at least as restrictive as the Colorado Retail Marijuana~~
30 Code.

31 **F.** This Chapter is necessary and proper to provide for the safety, preserve the
32 health, promote the prosperity, and improve the order, comfort, and
33 convenience of the Town and the inhabitants thereof.

34 4-14-3: PURPOSE: It is the purpose of this Chapter to:

35 A. Require that ~~medical~~**regulated** marijuana businesses and ~~retail marijuana~~
36 ~~establishments~~ that are located within the Town be operated in a safe manner
37 that do not endanger the public welfare.

- 1 B. Mitigate potential negative impacts that ~~medical~~**regulated** marijuana businesses
2 ~~and retail marijuana establishments~~ that are located within the Town might
3 cause on surrounding properties and persons.
- 4 C. Regulate the conduct of persons owning, operating, and using ~~medical~~**regulated**
5 marijuana businesses ~~and retail marijuana establishments~~ that are located within
6 the Town in order to protect the public health, safety, and welfare.
- 7 D. Establish a non-discriminatory mechanism by which the Town can control,
8 through appropriate regulation, the location and operation of ~~medical~~**regulated**
9 marijuana businesses ~~and retail marijuana establishments~~ that are located within
10 the Town.
- 11 E. Establish requirements and limitations on the location of ~~medical~~**regulated**
12 marijuana businesses ~~and retail marijuana establishments~~ without requiring the
13 immediate closure of any currently licensed business.

14 4-14-4: AUTHORITY: The Town Council hereby finds, determines, and declares that it has the
15 power to adopt this Chapter pursuant to:

- 16 ~~A. The Colorado Medical Marijuana Code, Article 43.3 of Title 12, C.R.S.;~~
- 17 ~~A.~~ **A.** ~~B.~~ Section 16 of Article XVIII to the Colorado Constitution;
- 18 ~~B.~~ **B.** ~~C.~~ The Colorado ~~Retail~~ Marijuana Code, Article ~~43.4~~**10** of Title ~~12~~**44**, C.R.S.;
- 19 ~~C.~~ **C.** ~~D.~~ The applicable administrative regulations;
- 20 ~~D.~~ **D.** ~~E.~~ The Local Government Land Use Control Enabling Act, Part 1 of Article 20
21 of Title 29, C.R.S.;
- 22 ~~E.~~ **E.** ~~F.~~ Part 3 of Article 23 of Title 31, C.R.S. (concerning municipal zoning
23 powers);
- 24 ~~F.~~ **F.** ~~G.~~ Section 31-15-103, C.R.S. (concerning municipal police powers);
- 25 ~~G.~~ **G.** ~~H.~~ Section 31-15-401, C.R.S. (concerning municipal police powers);
- 26 ~~H.~~ **H.** ~~I.~~ Section 31-15-501, C.R.S. (concerning municipal authority to regulate
27 businesses);
- 28 ~~I.~~ **I.** ~~J.~~ The authority granted to home rule municipalities by Article XX of the
29 Colorado Constitution; and
- 30 ~~J.~~ **J.** ~~K.~~ The powers contained in the Breckenridge Town Charter.
- 31

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1 4-14-5: DEFINITIONS:
2

- 3 A. The definitions contained in the Colorado ~~Medical-Marijuana Code, the~~
4 ~~Colorado Retail Marijuana Code,~~ and the applicable administrative regulations
5 (as defined in Subsection B of this Section), each as amended from time to time,
6 are incorporated into this Chapter by reference.
- 7 B. As used in this Chapter the following words have the following meanings,
8 unless the context clearly requires otherwise:

<p>ABANDON:</p>	<p>The knowing relinquishment of a license issued by the Town under this Chapter. Abandonment includes both an intention to abandon the license and an act by which the intention is put into effect. For the purposes of this Chapter, abandonment shall be presumed if the business activity authorized by a license is ceased for ninety (90) consecutive days (not counting days when the license is ordered to be suspended pursuant to the Colorado Medical Marijuana Code, the Colorado Retail Marijuana Code, the applicable administrative regulations, or this Chapter).</p>
<p>ADJACENT:</p>	<p>Adjacent to or contiguous with the proposed location of a medical regulated marijuana business or retail marijuana establishment. Adjacency is to be determined without regard to the existence of a platted or dedicated public street or alley, and real property that would otherwise be determined to be adjacent to a proposed medical marijuana business or retail marijuana establishment regulated marijuana business does not lose its adjacency by virtue of the existence of a platted or dedicated public street or alley.</p>
<p>APPLICABLE ADMINISTRATIVE REGULATIONS:</p>	<p>Whichever of the state administrative regulations apply to the application or the license, including, but not limited to the regulations of the Colorado Department of Revenue, Marijuana Enforcement Division, found at 1 CCR 212.3, as amended from time to time, as well as any administrative regulations issued by the Local Licensing Authority pursuant to Section 4-14-33 of this Chapter.</p>
<p>APPLICABLE CODE:</p>	<p>The Colorado Medical Marijuana Code or the Colorado Retail Marijuana Code, whichever applies to the application or the license.</p>

APPLICANT:	A person who has submitted an application for license to the Local Licensing Authority that has not been approved or denied by the Local Licensing Authority.
APPLICATION:	An application for license submitted to the Local Licensing Authority.
BUILDING OFFICIAL:	The Chief Building Official of the Town, or the Chief Building Official's designee authorized to act pursuant to Section 1-7-2 of this Code.
COLORADO MEDICAL MARIJUANA CODE:	Article 43.3 of Title 12, C.R.S., as amended from time to time.
COLORADO RETAIL MARIJUANA CODE:	Article 43.3 <u>410</u> of Title 12 <u>44</u> , C.R.S., as amended from time to time.
DAY:	A calendar day, unless otherwise indicated.
DOWNTOWN OVERLAY DISTRICT:	The geographic area of the Town identified as the Downtown Overlay District in the Town's Land Use Guidelines, as amended from time to time.
GOOD CAUSE:	For the purpose of denial of an application, the denial of the renewal of a license, or the imposition of discipline of a licensee, means: <ol style="list-style-type: none"> 1. The licensee or the applicant has violated, does not meet, or has failed to comply with any of the terms, conditions, of provisions of this Chapter, the terms and conditions of any licensed issued by the Local Licensing Authority pursuant to this Chapter, any applicable code<u>the Colorado Marijuana Code</u>, or any applicable administrative regulation; 2. The licensee or the applicant has failed to comply with any special terms or conditions that were placed on the license pursuant to an order of the State Licensing Authority or the Local Licensing Authority; or

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	3. The licensee’s licensed premises have been operated in a manner that adversely affects the public health, welfare, or the safety of the immediate neighborhood in which the establishment business is located.
GROUND FLOOR:	The floor of a structure at approximately the same elevation as the natural grade of the surrounding area.
HALFWAY HOUSE:	A group care facility for adults or juveniles who have been placed on probation or parole under applicable law.
LAND USE GUIDELINES:	Has the meaning provided in Section 9-1-5 of this Code.
LICENSE:	A license to operate a medical regulated marijuana business, a retail marijuana establishment, or both a medical marijuana businesses and a retail marijuana establishment, issued by the Local Licensing Authority pursuant to the this Chapter. Wherever in this Chapter the terms “medical marijuana business” and “retail marijuana establishment” are used, such terms include any medical marijuana business and retail marijuana establishment that are dually located in accordance with the applicable law.
LICENSED PREMISES:	The premises that are the subject of a license.
LICENSEE:	A person holding a license.
LOCAL LICENSING AUTHORITY:	The Town Manager of the Town, or the Town Manager’s designee authorized to act pursuant to Section 1-7-2 of this Code <u>of Breckenridge Liquor and Marijuana Licensing Authority created pursuant to Title 2, Chapter 5 of this code.</u>
MARIJUANA ACCESSORIES:	Has the meaning provided in Section 16(2)(g) of Article XVIII of the Colorado Constitution.
MEDICAL MARIJUANA BUSINESS:	Includes medical marijuana centers, optional premises cultivation operations, and medical marijuana infused product manufacturing facilities <u>Has the meaning provided in the Colorado Marijuana Code.</u>
PERSON:	Has the meaning provided in Section 1-3-2 of this Code.

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PRIMARY CAREGIVER:	Has the meaning provided in Section 25-1.5-106(2)(d.5), C.R.S.
PRIMARY CAREGIVER PERMIT:	A permit issued to a primary caregiver by the Local Licensing Authority pursuant to Section 4-14-28 of this Chapter.
<u>REGULATED MARIJUANA BUSINESS:</u>	<u>A medical marijuana businesses and a retail marijuana businesses.</u>
RESIDENTIAL USE:	Has the meaning provided in Section 9-1-5 of this code.
RETAIL MARIJUANA ESTABLISHMENT <u>BUSINESS:</u>	Has the meaning provided in the Colorado Retail Marijuana Code.
SPLIT LEVEL STRUCTURE:	A structure, or portion of a structure, that includes multiple floors with the lowest floor visible from the street front having a finished grade below the finished grade level of the street front sidewalk.
STATE ADMINISTRATIVE REGULATIONS:	1. The administrative rules and regulations for medical <u>regulated</u> marijuana businesses issued by the State Licensing Authority and/or the Colorado Department of Revenue, Marijuana Enforcement Division, pursuant to Sections 12-43.3-202(1)(b)(I) and 202(2), C.R.S., as amended from time to time; and 2. The administrative rules and regulations for retail marijuana establishments issued by the State Licensing Authority and/or Colorado Department of Revenue, Marijuana Enforcement Division, pursuant to Section (16)(5)(a) of Article XVIII of the Colorado Constitution and Section 12-43.4-202(2)(b), C.R.S., and found at 1 CCR 212.3, as amended from time to time.
STATE LICENSING AUTHORITY:	Has the meaning provided in the Colorado Medical Marijuana Code and the Colorado Retail Marijuana Code.
TOWN:	Has the meaning provided in Section 1-3-2 of this Code.

1
2 4-14-6: LICENSE REQUIRED:
3

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1 A. No person may operate a ~~medical marijuana business, a retail marijuana~~
2 ~~establishment, or a dually located medical marijuana business and a retail~~
3 ~~marijuana establishment~~ **regulated marijuana business** within the Town without
4 both a valid license issued by the Local Licensing Authority and a valid license
5 issued by the State Licensing Authority.

6 B. A separate license shall be required for each specific business or business entity
7 and for each geographic location.

8 4-14-7: ADOPTION OF STATE ~~CODES~~ **CODE** AND ADMINISTRATIVE REGULATIONS:
9

10 A. The following laws, rules, and regulations are adopted by reference and made a
11 part of this Chapter:

12 1. The Colorado ~~Medical~~ Marijuana Code;

13 2. The state administrative regulations ~~that apply to medical marijuana~~
14 ~~businesses~~;

15 ~~3. The Colorado Retail Marijuana Code;~~

16 ~~4. The state administrative regulations that apply to retail marijuana~~
17 ~~establishments~~; and

18 3. ~~5.~~ Any administrative regulations issued by the Local Licensing Authority
19 pursuant to Section 4-14-~~32~~ 33.

20 B. Except where the provisions of this Chapter are inconsistent with or differ from
21 the laws, rules, and regulations adopted by reference in Subsection A of this
22 Section, or where, by their nature, the adopted laws, rules, and regulations cannot
23 apply to the Local Licensing Authority, all of the provisions of the adopted laws,
24 rules, and regulations apply to all applications received and licenses issued by the
25 Local Licensing Authority pursuant to this Chapter. Where a provision of the
26 adopted laws, rules, and regulations are applicable to the Local Licensing
27 Authority the terms “State Licensing Authority,” “Department,” and “Division”
28 shall mean the Local Licensing Authority, unless the context clearly indicates
29 otherwise.

30 C. If there is a conflict between the provisions of this Chapter and the adopted laws,
31 rules, and regulations the provisions of this Chapter shall control to the fullest
32 extent permitted by applicable law.

33 4-14-8: APPLICATION FOR LICENSE:
34

1 A. A person seeking to obtain a license from the Local Licensing Authority shall file
2 an application with the Town's Municipal Services Office. The Municipal
3 Services Office is responsible for providing application forms to prospective
4 applicants, and for generally supervising the application process up to the point
5 that a completed application is submitted to the Local Licensing Authority for a
6 decision. Once an application is determined to be complete, the application and all
7 supporting documentation shall be forwarded to the Local Licensing Authority.
8 The Local Licensing Authority shall make a final decision on the Application in
9 accordance with Section 4-14-12.

10 B. ~~No license may be issued by the~~The Local Licensing Authority ~~for a retail~~
11 ~~marijuana testing facility~~is only authorized to issue licenses for the following
12 types of regulated marijuana businesses:

13 Retail Marijuana Store

14 Retail Marijuana Cultivation Facility

15 Retail Marijuana Products Manufacturer

16 Type 1 Medical Marijuana Center

17 Type 2 Medical Marijuana Center

18 Type 3 Medical Marijuana Center

19 Optional Premises Cultivation (Medical Marijuana)

20 Medical Marijuana Products Manufacturer

21
22 C. ~~No license shall be issued by the Local Licensing Authority to a cooperative~~
23 ~~association as defined in Article 55 of Title 7, C.R.S.; a cooperative as defined in~~
24 ~~Article 56 of Title 7, C.R.S.; or any other similar cooperatively owned business~~
25 ~~entity, association, or group.~~

26 C. ~~Commencing July 1, 2016, the local licensing authority shall not: 1) accept or~~
27 ~~process an application for a new medical marijuana business or retail marijuana~~
28 ~~establishment license under this chapter, or 2) approve and issue any new medical~~
29 ~~marijuana business or retail marijuana establishment license under this chapter.~~
30 ~~However, the local licensing authority may approve a transfer of ownership of an~~
31 ~~existing local license or a change of location of an existing licensed premises in~~
32 ~~accordance with the applicable codes, the applicable administrative regulations,~~
33 ~~and the applicable requirements of this chapter. For the purpose of this section, a~~
34 ~~"new medical marijuana or retail marijuana establishment license" means a local~~
35 ~~medical marijuana business or retail marijuana establishment license under this~~
36 ~~chapter that was not issued by the local licensing authority and in full force and~~
37 ~~effect prior to November 11, 2014.~~The Local Licensing Authority shall not: (i)
38 accept or process an application for a new regulated marijuana business, or
39 (ii) approve and issue any new regulated marijuana business license or
40 permit under this Chapter. However, the Local Licensing Authority may

1 approve a transfer of ownership of an existing local license or a change of
2 location of an existing licensed premises in accordance with the Marijuana
3 Code, the applicable administrative regulations, and the applicable
4 requirements of this Chapter. For the purpose of this Section, a “new
5 regulated marijuana business” means a proposed regulated marijuana
6 business that was not properly licensed by the Local Licensing Authority
7 prior to November 11, 2014.

8 **D.** A license issued by the Local Licensing Authority does not eliminate the need for
9 the licensee to obtain other required Town licenses and permits related to the
10 operation of the licensed premises, including, without limitation:

- 11 1. a development permit if required by the terms of Chapter 1 of Title
12 9 of this Code;
- 13 2. a Town sales tax license;
- 14 3. a Town Business and Occupational Tax License; and
- 15 4. a building permit, mechanical permit, plumbing permit, or
16 electrical permit if required by the terms of the Town’s building
17 and technical codes.

18 E. Properly completed applications shall be processed by the Local Licensing
19 Authority in order of receipt.

20 F. At all times during the application process the applicant has the burden of
21 establishing it is entitled to the license that is applied for.

22 ~~G. Pursuant to Section 16(5)(e) of Article XVIII of the Colorado Constitution the~~
23 ~~Local Licensing Authority is designated as the entity that is responsible for~~
24 ~~processing applications submitted for a license to operate a retail marijuana~~
25 ~~establishment within the Town and for the issuance of such licenses should the~~
26 ~~issuance by the Town become necessary because of a failure by the Colorado~~
27 ~~Department of Revenue, Marijuana Enforcement Division, to adopt regulations~~
28 ~~pursuant to Section 16(5)(a) of Article XVIII of the Colorado Constitution, or~~
29 ~~because of the failure of the Colorado Department of Revenue, Marijuana~~
30 ~~Enforcement Division, to process and issue licenses as required by Section~~
31 ~~16(5)(g) of Article XVIII of the Colorado Constitution.~~

32 4-14-9: FEES:

33
34 A. An applicant for a new license shall pay to the Town a non-refundable operating
35 fee when the application is filed. The purpose of the fee is to cover the direct and

indirect costs to the Town of administering the local licensing mechanism established by this Chapter. For applications filed in ~~2013~~2020 the operating fees are as follows:

1. New medical marijuana business license:

Type of License	Local Operating fee
Type 1 Medical Marijuana Center	\$2,812.50
Type 2 Medical Marijuana Center	\$6,562.50
Type 3 Medical Marijuana Center	\$10,500.00
Optional Premises Cultivation License	\$2,062.50
Medical Marijuana-Infused Products Manufacturers' License	\$2,062.50

2. Medical marijuana center applying for retail marijuana store license:

Type of License	Local Operating fee
Medical Marijuana Center 1 Applying For Retail Marijuana Store License	\$2,812.50
Medical Marijuana Center 2 Applying For Retail Marijuana Store License	\$6,562.50
Medical Marijuana Center 3 Applying For Retail Marijuana Store License	\$10,500.00

1
2 3. New retail marijuana establishment business license (not an existing medical
3 marijuana business):
4

Type of License	Local Operating Fee
Retail Store	\$2,062.50
Retail Marijuana Cultivation Facility	\$2,062.50
Retail Marijuana Products Manufacturing	\$2,062.50
Retail Marijuana Testing Facility	N/A ¹

5
6 B. Fees for the annual renewal of any license issued by the Town shall be fifty
7 percent of the fee for the issuance of a new license as described in Subsection A
8 of this Section.

9
10 C. The following administrative service/operating fees shall be paid to Town at the
11 time the service is requested:
12

Service Requested	Fee
Transfer of Ownership of Business License or Application	\$250.00
Corporation or LLC Structure Change (per person)	\$100.00
Change of Location	\$500.00
Modification of Premises	\$150.00

13

¹ The Local Licensing Authority is not authorized to issue a local Retail Marijuana Testing Facility License. See Section 4-14-8(B).

- 1 D. The Town is entitled to receive its share of the license application fees received
2 by the State Licensing Authority pursuant to Section 16 of Article XVIII of the
3 Colorado Constitution ~~and the Retail Marijuana Code.~~
- 4 E. At least annually, the amount of fees charged by the Town pursuant to this
5 Section shall be reviewed and, if necessary, adjusted as provided in Subsection
6 F to reflect the direct and indirect costs incurred by the Town in connection with
7 the adoption, administration, and enforcement of this Chapter.
- 8 F. Beginning with the fiscal ~~2014~~2021 budget, the amount of the fees charged by
9 the Town pursuant to this Section shall be fixed by the Town Council as part of
10 its annual budget process. If, for any reason, such fees are not fixed by the
11 Town Council as part of its annual budget process, the fees for the preceding
12 year shall continue in full force and effect until changed by the Town Council.

13 4-14-10: INVESTIGATION OF APPLICATION:
14

- 15 A. Upon receipt of a properly completed application, together with all information
16 required in connection therewith, and the payment of the applicable fee as
17 required by Section 4-14-9, the Local Licensing Authority shall transmit copies
18 of the application to:
- 19 1. the Police Department;
 - 20 2. the Department of Community Development; and
 - 21 3. any other person or agency which the Local Licensing Authority
22 or the Municipal Services Office determines should properly
23 investigate and comment upon the application.
- 24 B. Upon receipt of a completed application the Police Department shall promptly
25 obtain and review a criminal background records search on the applicant.
- 26 C. Within twenty (20) days of receipt of a completed application those Town
27 departments and other referral agencies described in Subsection A of this
28 Section shall provide the Local Licensing Authority with comments concerning
29 the application.
- 30 D. An applicant shall cooperate with the Local Licensing Authority with respect to
31 the review and investigation of the application.

32 4-14-11: AUTHORITY TO IMPOSE CONDITIONS ON LICENSE: The Local Licensing
33 Authority may impose such reasonable terms and conditions on a license as may be necessary to
34 protect the public health, safety, and welfare, and obtain compliance with the requirements of

1 this Chapter, the ~~applicable code~~ **Colorado Marijuana Code**, the applicable administrative
2 regulations, and other applicable law.

3
4 4-14-12: DECISION BY LOCAL LICENSING AUTHORITY:
5

6 A. The Local Licensing Authority shall approve, deny, or conditionally approve an
7 application within ninety (90) days of the date of the approval of the applicant's
8 state license; provided, however, the deadline for deciding an application may be
9 extended by the Local Licensing Authority for up to an additional sixty (60) days
10 if the Local Licensing Authority reasonably determines that it is necessary for the
11 applicant to submit additional information in order for the Local Licensing
12 Authority to complete the investigation and review of the application. The
13 applicant shall provide any additional information requested by the Local
14 Licensing Authority.

15 B. No public hearing is required to be held in connection with an application.

16 C. The Local Licensing Authority shall issue a license under this Chapter when,
17 from a consideration of the application, the investigation, and such other
18 information as may otherwise be obtained, the Local Licensing Authority
19 determines that:

20 1. The application (including any required attachments and submissions) is
21 complete and signed by the applicant, and the applicant has provided any
22 additional information concerning the application requested by the Local
23 Licensing Authority;

24 2. The applicant has paid the applicable operating fee and any other fees
25 required by Section 4-14-9;

26 3. The application does not contain a material falsehood or
27 misrepresentation;

28 4. The application complies with all of the requirements of this Chapter, the
29 ~~applicable code~~ **Colorado Marijuana Code**, and the applicable
30 administrative regulations; and

31 5. The applicant holds a valid state license for the licensed premises of the
32 same class as has been applied for under this Chapter.

33 D. The Local Licensing Authority shall deny an application for a license under this
34 Chapter if it determines that:

- 1 1. The application is incomplete, or the applicant has failed to provide any
2 additional information about the application requested by the Local
3 Licensing Authority;
- 4 2. Information contained in the application, or supplemental information
5 requested from the applicant contains a material falsehood or
6 misrepresentation;
- 7 3. The application does not comply with all of the requirements of this
8 Chapter, the ~~applicable code~~ **Colorado Marijuana Code**, and the
9 applicable administrative regulations; or
- 10 4. The applicant does not hold a valid state license for the licensed premises
11 of the same class as has been applied for under this Chapter.
- 12 E. If an application is denied, the Local Licensing Authority shall clearly set forth
13 in writing the grounds for denial.
- 14 F. If the application is conditionally approved, the Local Licensing Authority shall
15 clearly set forth in writing the conditions of approval.
- 16 G. If an application is denied the operating fee paid to the Town at the time of the
17 filing of the application shall not be refunded.

18 4-14-13: APPEAL OF DENIAL OR CONDITIONAL APPROVAL OF LICENSE: Any
19 decision made by the Local Licensing Authority pursuant to Section 4-14-12 is a final decision
20 and may be appealed to the district court pursuant to Rule 106(a)(4) of the Colorado Rules of
21 Civil Procedure. The applicant’s failure to timely appeal the decision is a waiver the applicant’s
22 right to contest the denial or conditional approval of the application.

23
24 4-14-14: INSPECTION OF PREMISES: In addition to the inspection required by the ~~applicable~~
25 ~~code~~ **Colorado Marijuana Code** or other applicable law, prior to the issuance of a license the
26 premises proposed to be licensed shall be inspected by the Building Official to determine
27 compliance with the Town’s building and technical Codes. No license shall be issued if the
28 proposed licensed premises does not comply with the Town’s building and technical codes.
29 Throughout the term of the license the Building Official may inspect the licensed premises to
30 determine continuing compliance with the Town’s building and technical codes. Access to such
31 premises shall be obtained by the Building Official in accordance with the applicable provisions
32 of such codes or other applicable law.

33
34 4-14-15: TERM OF LICENSE; RENEWAL:

- 35 A. Each license issued pursuant to this Chapter shall be valid for one year from the
36 date of issuance, and may be renewed as provided in the ~~applicable~~
37

1 ~~code~~**Colorado Marijuana Code**, the applicable administrative regulations, and
2 this Chapter; provided, however, that a license shall not be renewed if the Local
3 Licensing Authority determines that the licensed premises have been inactive,
4 without good cause, for at least one year.

- 5 B. The Local Licensing Authority may refuse to renew a license for good cause.
- 6 C. No license for a ~~medical marijuana~~ **regulated marijuana** business shall be
7 renewed by the Local Licensing Authority until the licensee provides verification
8 that a license was issued and granted by the State Licensing Authority pursuant to
9 the Colorado Medical Marijuana Code for the previous license term.
- 10 D. Notwithstanding anything contained in this Chapter to the contrary, a licensee has
11 no vested right to the renewal of a license, and no property right in the renewal of
12 a license

13 4-14-16: NOTICE OF ISSUANCE OF LICENSE: Immediately upon the issuance of a license,
14 the Local Licensing Authority shall send a copy of the license to:

- 15 A. The Police Department;
- 16 B. The Community Development Department;
- 17 C. The Town Clerk;
- 18 D. The **Finance** Director ~~of Financial Services~~; and
- 19 E. Any other person as determined by the Local Licensing Authority.

20 4-14-17: DUTIES OF LICENSEE: It is the duty and obligation of each licensee to:

- 21 A. Comply with all of the terms and conditions of the license, and any special
22 conditions on the license imposed by the Local Licensing Authority pursuant to
23 Section 4-14-11;
- 24 B. Comply with all of the requirements of this Chapter;
- 25 C. Comply with all other applicable Town ordinances;
- 26 D. Comply with all applicable state laws and administrative regulations pertaining
27 to the category of business for which the license was issued, including, but not
28 limited to:

- 29 1. ~~the applicable code;~~ **Colorado Marijuana Code**;

- 1 2. the applicable administrative regulations;
- 2 3. Sections 18-18-406.3 and 25-1.5-106, C.R.S., to the extent
- 3 applicable; and
- 4 4. the administrative regulations issued by the Colorado Department
- 5 of Public Health and Environment found at 5 CCR 1006-2, to the
- 6 extent applicable,

7 all as amended from time to time. Compliance with the requirements of this
8 Section is a standard condition of each license issued by the Local Licensing
9 Authority.

10 E. Comply with all applicable federal laws, rules, or regulations.

11 4-14-18: SUSPENSION OR REVOCATION OF LICENSE:

12
13 A. A license issued by the Local Licensing Authority may be suspended or revoked
14 by the Local Licensing Authority ~~for~~ of any of the following reasons:

- 15 1. Violation of ~~any applicable code~~ **the Colorado Marijuana Code**;
- 16 2. Violation of any applicable administrative regulation;
- 17 3. Violation of ~~the licensing ordinance~~ **this Chapter**;
- 18 4. Violation of the terms and conditions of a license;
- 19 5. Misrepresentation or omission of any material fact, or false or
- 20 misleading information, on the license application or any
- 21 amendment thereto, or any other information provided by the
- 22 licensee to the Local Licensing Authority related to the licensee's
- 23 business;
- 24 6. Violation of any law which, if it occurred prior to the submittal of
- 25 the license application could have been cause for denial of the
- 26 license application;
- 27 7. Failure to maintain or to provide to the Local Licensing Authority
- 28 upon request any books, recordings, reports, or other records as
- 29 required by applicable law;
- 30 8. Failure to timely notify the Local Licensing Authority and to
- 31 complete any necessary forms for changes in financial interest,
- 32 business manager, financier, or agent.

- 1 9. Temporary or permanent closure or other sanction of the licensee
2 by the Local Licensing Authority, the Colorado Department of
3 Public Health and Environment, or other governmental entity with
4 jurisdiction, for failure of the licensee to comply with applicable
5 provisions of ~~any applicable code~~ **the Colorado Marijuana Code**;
- 6 10. Revocation or suspension of the state or local license of another
7 medical marijuana business or retail marijuana ~~establishment~~
8 **business** owned or controlled by the holder of Town medical
9 marijuana business or retail marijuana ~~establishment~~**business**
10 **license**; or
- 11 11. The failure of a licensee to timely correct any violation of the
12 Colorado Marijuana Code, any applicable administrative
13 regulation, this Chapter, or the terms and conditions of the
14 license's license within the time stated in a notice or order issued
15 by Local Licensing Authority.
- 16 B. The procedure to suspend or revoke a local license shall be as ~~procedures~~ set
17 forth in the ~~applicable code and~~ **Colorado Marijuana Code**, the applicable
18 administrative regulations, ~~a violation of this Chapter, or of the terms and~~
19 ~~conditions of a license issued by the Local Licensing Authority pursuant to this~~
20 ~~Chapter, may be grounds for the suspension or revocation of a license issued by~~
21 ~~the Local Licensing Authority and this Chapter.~~
- 22 C. In connection with the suspension of a license, the Local Licensing Authority
23 may impose reasonable conditions.
- 24 D. In deciding whether a license should be suspended or revoked, and in deciding
25 what conditions to impose in the event of a suspension, if any, the Local
26 Licensing Authority shall consider ~~mitigating~~ and aggravating factors when
27 considering the imposition of a penalty. These factors may include, but are not
28 limited to:
- 29 1. Any prior violations that the Licensee has admitted to or was
30 found to have engaged in.
- 31 2. Action taken by the Licensee to prevent the violation (e.g.,
32 training provided to employees).
- 33 3. Licensee's past history of success or failure with compliance
34 checks.

- 1 4. Corrective action(s) taken by the Licensee related to the current
- 2 violation or prior violations.
- 3 5. Willfulness and deliberateness of the violation.
- 4 6. Likelihood of reoccurrence of the violation.
- 5 7. Circumstances surrounding the violation, which may include, but
- 6 are not limited to:
 - 7 a. Prior notification letter to the Licensee that an underage
 - 8 compliance check would be forthcoming.
 - 9 b. The dress or appearance of an underage operative used
 - 10 during an underage compliance check (e.g., the operative
 - 11 was wearing a high school letter jacket).

12 8. The Owner or a manager is the violator or has directed an
13 **employee or other individual to violate the law.**

14 E. Participation in State-approved educational programs related to the operation of
15 a retail marijuana Establishment business, if applicable.

16 F. If an offense is described in the applicable administrative regulations, the Local
17 Licensing Authority shall follow the provisions of such regulation in deciding
18 the appropriate sanction to be imposed upon the licensee.

19 G. A license issued by the Local Licensing Authority may be revoked if the Local
20 Licensing Authority determines that the licensed premises have been inactive,
21 without good cause, for at least one (1) year.

22 H. If the Local Licensing Authority suspends or revokes a license the licensee may
23 appeal the suspension or revocation to the district court pursuant to ~~Rule~~
24 106(a)(4) of the Colorado Rules of Civil Procedure. The licensee’s failure to
25 timely appeal the decision is a waiver of the licensee’s right to contest the denial
26 or conditional approval of the application.
27
28

29 I. No fee previously paid by a licensee in connection with the application shall be
30 refunded if the licensee’s license is suspended or revoked.

31 J. If the Local Licensing Authority revokes or suspends a license, the licensee may
32 not remove any marijuana from the licensed premises except under the
33 supervision of the Town’s police department.

1 4-14-19: TRANSFER OF OWNERSHIP; CHANGE OF LOCATION;
2 MODIFICATION OF PREMISES:

3
4 A. Subject to the limitations of Subsections B and C of this Section, the ownership
5 of a license may be transferred, the permanent location of a licensed premises
6 may be changed, and the licensed premises may be modified in accordance with
7 the ~~applicable code~~ Colorado Marijuana Code, the applicable administrative
8 regulations, and this Chapter.

9 B. No change of location of a licensed premises shall be approved by the Local
10 Licensing Authority if the proposed new location of the licensed premises is not
11 a location that is permitted by this Chapter.

12 C. ~~No change of location for a medical marijuana business shall be approved by~~
13 ~~the Local Licensing Authority until the licensee provides verification that a~~
14 ~~license was issued and granted by the State Licensing Authority pursuant to the~~
15 ~~Colorado Medical Marijuana Code for the previous license term.~~

16 D. ~~On or after the effective date of this Chapter:~~

17 1. ~~the permanent location of a licensed premises shall not be changed from~~
18 ~~one location within the Downtown Overlay District to another location~~
19 ~~within the Downtown Overlay District; and~~

20 C. ~~2. the~~ The permanent location of a licensed premises shall not be changed so as
21 to relocate the licensed premises into the Downtown Overlay District from a
22 location outside of the Downtown Overlay District.

23 D. The licensed premises may be modified in accordance with the ~~applicable~~
24 ~~code~~ Colorado Marijuana Code, the applicable administrative regulations, and
25 this Chapter; ~~provided, however, that no licensed premises located within the~~
26 ~~Downtown Overlay District as of the effective date of this Chapter may be~~
27 ~~modified to increase the square footage of such licensed premises.~~

28 4-14-20: CONSIDERATION OF NUMBER OF EXISTING LICENSES: Before entering a
29 decision approving or denying an application the Local Licensing Authority shall consider,
30 among the other relevant factors described in the ~~applicable codes~~ Colorado Marijuana Codes,
31 the number, type, and availability of medical regulated marijuana businesses ~~and retail marijuana~~
32 ~~establishments~~ located in or near the premises for which the application has been submitted.

33
34 4-14-21: LOCATION OF LICENSED PREMISES; CO-LOCATION:
35

- 1 A. No ~~medical~~**regulated** marijuana business ~~or retail marijuana establishment~~ shall
2 be located at a location that does not conform to the requirements of this
3 Section.
- 4 B. No ~~medical~~**regulated** marijuana business ~~or retail marijuana establishment~~ shall
5 be located within the Town except within Land Use Districts 5, 9, 11, 19, 20, or
6 31.
7
- 8 ~~C. Notwithstanding Subsection B of this Section any licensed premises that are~~
9 ~~lawfully located within the Downtown Overlay District as of this effective date~~
10 ~~of this Chapter may remain in such location until the first to occur of:~~
- 11 1. ~~the licensee loses legal right to possession of the licensed premises for~~
12 ~~any reason; or~~
- 13 2. ~~February 2, 2015.~~
- 14 ~~Upon the first to occur of item (i) or item (2) of this Subsection B, the licensed~~
15 ~~premises shall be permanently closed, but may be relocated to a location outside~~
16 ~~of the Downtown Overlay District in accordance with Section 4-14-19.~~
- 17
- 18 C. In addition to the restriction imposed by Subsection B of this Section, no
19 ~~medical~~**regulated** marijuana business ~~or retail marijuana establishment~~ shall be
20 located:
21
- 22 1. within 500 feet of a licensed child care facility;
- 23 2. within 500 feet of any educational institution or school, college or
24 university, either public or private;
- 25 3. within 500 feet of any halfway house;
- 26 4. adjacent to property being used for a residential use; provided,
27 however, this restriction does not apply to an adjacent mixed use
28 building containing both residential and commercial units; or
- 29 5. within any building or structure that contains a residential unit-
30
- 31 D. The distances described in Subsection ~~DC~~**DC** of this Section shall be measured as a
32 straight line from the nearest property line of the existing land use described in
33 subsections (~~DC~~**DC**)(1), (~~DC~~**DC**)(2), or (~~DC~~**DC**)(3), above, to the nearest portion of the
34 building for which the license is requested. This Subsection D shall not affect a
35 license that was in effect on September 14, 2016, and any such license may be
36 renewed, the ownership of such license may be transferred or changed, and the

1 premises that are the subject of such license may be modified, all as provided in
2 this Chapter, notwithstanding the provisions of this Section.

3
4 E. The distance limitations established by Subsection ~~DC~~ of this Section shall
5 control over the distance limitations set forth in ~~any applicable code~~the
6 Colorado Marijuana Code or applicable administrative regulation.

7 F. Nothing in this Chapter prevents a licensee from physically delivering medical
8 marijuana to a homebound patient when done in compliance with the Colorado
9 ~~Medical-Marijuana Code~~ and the applicable administrative regulations.

10 G. No licensed premises shall be operated as a “home occupation” as described in
11 Section 9-1-19-38A, “Policy 38 (Absolute) Home Occupations,” of this Code.

12 H. A medical marijuana business may be located at the same location as a retail
13 marijuana establishment business subject to the requirements of the ~~applicable~~
14 ~~code~~Colorado Marijuana Code and the applicable administrative regulations.

15 4-14-22: HOURS OF OPERATION: A licensed premises may open no earlier than 8 A.M. and
16 shall close no later than 10 P.M. the same day, Monday through Sunday. No marijuana shall be
17 sold or dispensed at a licensed premises when the licensed premises are required to be closed
18 pursuant to this Section.

19
20 4-14-23: SIGNAGE: All signage for a licensed premises shall comply with the requirements of
21 ~~Chapter 2 of Title 8~~Title 9, Chapter 15 of this Code; the Colorado Marijuana Code; and the
22 applicable state regulations. In addition, no licensee shall display a sign for a licensed
23 premises that contains the word “marijuana” or a graphic/image of any portion of a marijuana
24 plant.

25
26 4-14-24: MARIJUANA ACCESSORIES: Marijuana accessories may lawfully be sold at a ~~retail~~
27 ~~marijuana store or a medical marijuana center. Such items shall be sold at a retail marijuana store~~
28 ~~only to persons authorized by law to purchase retail marijuana, and at a medical marijuana center~~
29 ~~only to persons authorized to purchase medical marijuana.~~regulated marijuana business,
30 subject to the requirements of applicable law.

31
32 4-14-25: ON-SITE CULTIVATION, GROWING AND PROCESSING: The growing,
33 cultivation, or processing of marijuana on or within a licensed premises is prohibited unless
34 ~~allowed by the applicable codes and applicable administrative regulations, and the licensed~~
35 ~~premises are~~done pursuant to the appropriate license issued by the State and the Local
36 Licensing Authority. Any premises licensed for the growing, cultivation, or processing of
37 marijuana shall be equipped with a proper ventilation system that filters out the odor of
38 marijuana so that the odor is not capable of being detected by a person with a normal sense of
39 smell at the exterior of the licensed premises.
40

1 4-14-26: DISPLAY OF MARIJUANA: No marijuana shall be displayed within a licensed
2 premises so as to be visible through a glass, a window, or a door by a person of normal visual
3 acuity standing at the outside perimeter of the licensed premises.

4
5 4-14-27: TAXES: Each licensee shall collect and remit to the appropriate taxing authority all
6 sales and excise taxes that are lawfully due in accordance with applicable law.

7
8 4-14-28: DUTIES OF PRIMARY CAREGIVERS:

9
10 A. Any primary caregiver cultivating marijuana in a residential structure within the
11 Town shall provide to the Local Licensing Authority a copy of such primary
12 caregiver's registration with the State Licensing Authority filed pursuant to
13 pursuant to Section 25-1.5-106(7)(e)(I)(A), C.R.S.

14 B. If not contained in the primary caregiver's registration with the State Licensing
15 Authority filed pursuant to pursuant to Section 25-1.5-106(7)(e)(I)(A), C.R.S.,
16 the primary caregiver shall provide the following information to the Local
17 Licensing Authority:

- 18 1. Location of any medical marijuana cultivation;
- 19 2. The Registry identification number for each patient; and
- 20 3. The number of plants authorized to cultivate for each patient.

21 The caregiver must update the registry within ten (10) days of any changes.

22
23 C. A primary caregiver shall maintain a list of his or her patients including the
24 registry identification card number of each patient at all times.

25 D. Upon receipt of a copy of the primary caregiver's state registration, the Local
26 Licensing Authority shall issue a Town of Breckenridge Primary Caregiver
27 Permit to such primary caregiver. Primary Caregiver Permits shall be for a term
28 of one (1) calendar year, and shall be renewable upon compliance with all the
29 provisions of this Section. There shall be no fee for the issuance or renewal of a
30 Primary Caregiver Permit.

31 E. Two or more primary caregivers shall not join together for the purpose of
32 cultivating medical marijuana.

33 F. A person may not register as a primary caregiver if he or she is licensed as a
34 medical marijuana business or retail marijuana business.

- 1 G. A primary caregiver who fails to register with the Local Licensing Authority
 2 shall do so within ten (10) days of being informed of the duty to register by law
 3 enforcement or any Town official.
- 4 H. If any person fails to register pursuant to notification, such person shall be
 5 prohibited from ever registering and acting as a primary caregiver within the
 6 Town.
- 7 I. If a primary caregiver is charged with failing to register, a law enforcement
 8 agency shall not be civilly liable for the loss or destruction of the primary
 9 caregiver’s medical marijuana plants.
- 10 J. The Town shall share with other law enforcement agencies the minimum
 11 necessary information as allowed by the Federal Health Insurance Portability
 12 and Accountability Act of 1996, PL 104-191, and the implementing
 13 administrative regulations, such as patient and caregiver identification numbers,
 14 to ensure that a patient does not have more than one primary caregiver, or have
 15 both a caregiver and a medical marijuana center cultivating medical marijuana
 16 on his or her behalf at any given time.
- 17 K. The information provided to the Local Licensing Authority pursuant to this
 18 Section shall not be provided to the public and is confidential. However, upon
 19 receiving an address-specific request for verification, the Local Licensing
 20 Authority or Town police department shall verify the location of a primary
 21 caregiver cultivation operation and share the information with another law
 22 enforcement or regulatory agency. The location of the cultivation operation
 23 must comply with all applicable local laws, rules, and regulations.
- 24 L. A primary caregiver for no more than five (5) patients on the medical marijuana
 25 program registry at any time.

26 ~~4-14-28-129~~29: WAREHOUSE STORAGE PERMITS: The Local Licensing Authority is
 27 authorized to give the Town’s consent to the state’s issuance of a warehouse storage permit
 28 pursuant to any applicable state administrative regulation.
 29

30 ~~4-14-2930~~30: VIOLATIONS; PENALTIES; INJUNCTIVE RELIEF:

- 31
- 32 A. It is unlawful and a civil infraction for any person to violate any provision of
 33 this Chapter. Any person found to be in violation of this Chapter, or against
 34 whom a default judgment has been entered for a violation of this Chapter, shall
 35 be punished as provided in Section 1-4-1-1 of this Code.
- 36 B. It is unlawful and a misdemeanor offense for any person to violate any of the
 37 misdemeanor offenses described in Part 9 of the Colorado ~~Medical Marijuana~~

2020 MARIJUANA LICENSING ORDINANCE

1 Code, or in Part 9 of the Colorado Retail Marijuana Code. Any person convicted
2 of any of the misdemeanor offenses described in Part 9 of the Colorado Medical
3 Marijuana Code or in Part 9 of the Colorado Retail Marijuana Code shall be
4 punished as provided in Section 1-4-1 this Code.

- 5 C. It is unlawful and a misdemeanor offense for any person to violate the following
6 provisions of the state administrative regulations. Any person convicted of
7 having violated any of the following provisions of the state administrative
8 regulations shall be punished as provided in Section 1-4-1 of this code:

9 ~~Medical Marijuana Administrative Regulations~~

10
11 ~~Regulation M 305 — Security Alarm and Lock Standards;~~
12 ~~Regulation M 306 — Video Surveillance;~~
13 ~~Regulation M 307 — Waste Disposal;~~
14 ~~Regulation M 309 — Medical Marijuana Business: Marijuana Inventory Tracking~~
15 ~~System (MITS);~~
16 ~~Regulation M 503 — Medical Marijuana Optional Premises Cultivation~~
17 ~~Operation: Inventory Tracking System~~
18 ~~Regulation M 901 — Business Records Required; and~~
19 ~~Regulation M 1202 — Requirement for Inspections and Investigations, Searches,~~
20 ~~Administrative Holds, and Such Additional Activities as May Become~~
21 ~~Necessary From Time to Time~~

22
23 ~~Retail Marijuana Administrative Regulations~~

24
25 ~~Regulation R 305 — Security Alarm and Lock Standards;~~
26 ~~Regulation R 306 — Video Surveillance;~~
27 ~~Regulation R 307 — Waste Disposal;~~
28 ~~Regulation R 309 — Retail Marijuana Establishments: Marijuana Inventory~~
29 ~~Tracking System;~~
30 ~~Regulation R 503 — Retail Marijuana Cultivation Facility: Inventory Tracking~~
31 ~~System~~
32 ~~Regulation R 901 — Business Records Required; and~~
33 ~~Regulation R 1202 — Requirement for Inspections and Investigations, Searches,~~
34 ~~Administrative Holds, and Such Additional Activities as May Become~~
35 ~~Necessary From Time to Time~~

36
37 **Regulation 3-220 – Security Alarm and Lock Standards;**

38 **Regulation 3-225 – Video Surveillance;**

39 **Regulation 3-230 – Waste Disposal;**

40 **Regulation 3-310 – General Safety Requirements**

41 **Regulation 3-905 – Business Records Required; and**

1 **Regulation 8-810 – Requirement for Inspections and Investigations,**
2 **Searches, Administrative Holds, and Such Additional Activities as May**
3 **Become Necessary From Time to Time**
4

- 5 D. The operation of a ~~medical~~**regulated** marijuana business or ~~retail marijuana~~
6 ~~establishment~~ in violation of this Chapter, the ~~applicable code~~**Colorado**
7 **Marijuana Code**, or the applicable administrative regulations, may be enjoined
8 by the Town in an action brought in a court of competent jurisdiction.
- 9 E. If any action is brought in a court of law by any person concerning the
10 enforcement, interpretation, or construction of this Chapter, or any license
11 issued by the Local Licensing Authority, the Town shall recover its reasonable
12 attorney fees, expert witness fees, and court costs if it is the prevailing party.
- 13 F. The remedies provided in this Section are in addition to any other remedy
14 provided by applicable law.

15 ~~4-14-30~~**31**: NO TOWN LIABILITY: By operating a business pursuant to a license issued by the
16 Local Licensing Authority a licensee releases the Town, its officers, elected officials, employees,
17 attorneys, and agents from any liability for injuries, damages, or liabilities of any kind that result
18 from any arrest or prosecution of the licensee, or the licensee’s owners, operators, employees,
19 clients, or customers, for a violation of any state or federal law, rule or regulation related to retail
20 marijuana or medical marijuana, or from the forced closure of the licensed premises because the
21 ~~Colorado Medical Marijuana Code, the Colorado Retail Marijuana Code~~, any applicable
22 administrative regulation, and/or this Chapter, are found to be invalid under any superior law.
23

24 ~~4-14-31~~**32**: OTHER LAWS REMAIN APPLICABLE: Before issuing a license the Local
25 Licensing Authority shall obtain written confirmation from the licensee that the licensee
26 understands and agrees to the following:
27

- 28 A. Neither this Chapter, nor the act of obtaining a license from the Local Licensing
29 Authority, protects licensees, or the owners, operators, employees, customers,
30 and clients of a licensed premises, from criminal prosecution pursuant to any
31 superior law that prohibits the cultivation, sale, use, or possession of controlled
32 substances, including, but not limited to, medical marijuana and retail
33 marijuana.
- 34 B. As of the date of the adoption of this Chapter the cultivation, sale, possession,
35 distribution, and use of marijuana remains a violation of federal law, and this
36 Chapter affords licensees, and licensee’s owners, operators, employees,
37 customers, and clients, with no protection from criminal prosecution under such
38 law. Licensees, and their owners, operators, employees, customers, and clients
39 assume any and all risk and liability arising or resulting from the operation of
40 the licensed premises under federal law.

1 C. The Town has no liability to a licensee or any other person for injuries,
2 damages, or liabilities of any kind, under any legal theory of liability, arising
3 from the forced closure of the licensed premises if the Colorado ~~Medical~~
4 ~~Marijuana Code, the Colorado Retail~~ Marijuana Code, the applicable
5 administrative regulations, and/or this Chapter are found to be invalid or illegal
6 under any superior law.

7 D. To the greatest extent permitted by law, any action taken under the provisions of
8 this Chapter by any public officer or officers, elected or appointed officials,
9 employees, attorneys, and agents of the Town of Breckenridge, is not a personal
10 liability of such person or of the Town.

11 ~~4-14-32~~33: RULES AND REGULATIONS: The Local Licensing Authority may from time to
12 time adopt, amend, alter, and repeal administrative rules and regulations as may be necessary for
13 the proper administration of this Chapter. Such regulations shall be adopted in accordance with
14 the procedures established by Chapter 18, Title 1 of this Code.

15 ~~4-14-33: EFFECTIVE DATE: This Chapter is effective October 1, 2013.~~

16 Section 2. Except as specifically amended hereby, the Breckenridge Town Code, and the
17 various secondary codes adopted by reference therein, continue in full force and effect.
18

19 Section 3. If any section, paragraph, sentence, clause, or phrase of this ordinance is for
20 any reason held to be unconstitutional or otherwise invalid or ineffective by the final,
21 nonappealable order or judgment of any court of competent jurisdiction, such decision shall not
22 affect the validity or effectiveness of the remaining portions of this ordinance. The Town
23 Council hereby declares that it would have adopted each section, paragraph, sentence, clause and
24 phrase of this ordinance irrespective of the fact that any one or more sections, paragraphs,
25 sentences, clauses or phrases may be declared unconstitutional, invalid or ineffective.
26

27 Section 4. This ordinance shall be published and become effective as provided by
28 Section 5.9 of the Breckenridge Town Charter.
29

30 INTRODUCED, READ ON FIRST READING, APPROVED AND ORDERED
31 PUBLISHED IN FULL this ____ day of _____, 2020. A Public Hearing shall be held at the
32 regular meeting of the Town Council of the Town of Breckenridge, Colorado on the ____ day of
33 _____, 2020, at 7:00 P.M., or as soon thereafter as possible in the Municipal Building of the
34 Town.
35

TOWN OF BRECKENRIDGE, a Colorado
municipal corporation

By: _____
Eric S. Mamula, Mayor

ATTEST:

Helen Cospolich, CMC,
Town Clerk

900-164\2020\Marijuana Licensing Ordinance (10-21-20)(blacklined vs current Town Code)



Memo

To: Town Council
From: Jessie Burley, Sustainability Coordinator
Date: October 27, 2020
Subject: **Council Bill No. 37** (Disposable Bag Fee Ordinance)

Background

The Breckenridge disposable bag ordinance went into effect October 15, 2013 placing a \$.10 fee on disposable plastic and paper bags with the intent to discourage the use of disposable bags. Since 2013, Staff has tracked bag use by the amount of fees remitted to the Town. The first complete year of data was 2014. Since then, Staff has also tracked bag fee revenues in relation to sales tax revenue. In the early years of the program, bag use was well below what Staff estimated. However, a program high of 1,075,945 bags was reached in 2019 indicating that Breckenridge may be experiencing the rebound effect. Staff brought this issue forward at two work sessions (March 24, 2020 and September 8, 2020) during which Council discussed opportunities within the disposable bag program to further the Town's sustainability goals related to waste reduction. The Disposable Bag Fee Ordinance is before the Council with the following proposed changes based on the work session discussions.

Definitions

The definition of **Disposable Bag** is amended to address the types of bags eligible to incur the \$.10 disposable bag fee. Before September 1, 2021, this applies to both plastic and paper bags (no change from existing ordinance). After September 1, 2021, the definition will change to only include paper bags made from a minimum of 40 percent recycled content. Requiring a level of recycled content in bags helps drive recycling markets for remanufacturing and reduces the overall lifecycle impacts of paper bags.

Farmer's Markets have been included in this ordinance in order to discourage the use of disposable bags across all retail venues. Farmer's market vendors require the same BOLT registration and sales tax remittance as other retail stores. Therefore the remittance process should not be an undue burden on these vendors.

Plastic Bag is further defined apart from disposable bags for its use in 5-12-15: UNLAWFUL ACTS.

Restaurant is now defined because carry out bags are required to meet the definition of Disposable Bag or Reusable Bag and cannot include Plastic Bags after September 1, 2021. Restaurants are not subject to the Disposable Bag Fee.

Authorized Use of Bag Fee Funds

This section has been amended to expand upon the uses of the disposable bag fee revenues to offset the cost of administering the program and other Town activities related to waste diversion, recovery, or elimination of single use plastics.

Exemptions

Exemptions to the disposable bag fee include produce and meat bags, bulk item packaging, prescriptions drug bags, and small bags for loose retail items (jewelry, beads, spices, marijuana, etc). The exemption for 2.25 mil thick plastic bags has been eliminated. Administrative Rules had further defined these exemptions and will be revised to reflect the elimination of plastic bags after September 1, 2021.

Unlawful Acts

This new section goes into effect after September 1, 2021. It establishes unlawful acts pertaining to the distribution of plastic bags and paper bags that do not contain a minimum of 40 percent recycled content. This section's unlawful acts and penalties are separate from 5-12-16 which establishes penalties for failure to remit disposable bag fees.

Disposable Bag Fee

There are no changes to the amount of the Disposable Bag Fee. It remains at \$.10 per bag. On September 1, 2021 plastic bags will become unlawful and paper bags will be required to contain 40 percent recycled content. All requirements related to remitting the fee on a monthly basis still apply.

Summary and Staff Recommendation

The Town of Breckenridge's adoption of the SustainableBreck Plan (2011) and the subsequent adoption of the Disposable Bag program (2013) demonstrates through action the commitment to be at the "leading edge of mountain environmental stewardship and sustainable practices" (Destination Management Plan 2019). Like many programs and policies, frequent evaluation of outcomes and adjustments to help achieve goals becomes necessary. The Disposable Bag Fee Ordinance is before you tonight for your consideration to mitigate the negative impacts of single use plastics on public welfare and the environment, to reduce the use of virgin paper products, and to help drive recycling markets in recoverable materials.

Therefore, it is Staff's recommendation that Council adopt on First Reading Council Bill No. 37.

1 ***FOR WORKSESSION/FIRST READING – OCT. 27***

2
3
4 Additions To The Current Breckenridge Town Code Are
5 Indicated By **Bold + Double Underline**; Deletions By ~~Strikeout~~

6
7 COUNCIL BILL NO. 37

8
9 Series 2020

10
11 AN ORDINANCE REPEALING AND READOPTING WITH CHANGES CHAPTER 12 OF
12 TITLE 5 OF THE BRECKENRIDGE TOWN CODE CONCERNING THE TOWN OF
13 BRECKENRIDGE “DISPOSABLE BAG FEE”

14
15
16 BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE,
17 COLORADO:

18
19 Section 1. Chapter 12 of Title 5 of the Breckenridge Town Code, entitled “ Disposable
20 Bag Fee,” is repealed and readopted with changes so as to read in its entirety as follows:

21
22 CHAPTER 12

23
24 DISPOSABLE BAG FEE

25
26 SECTION:

- 27
- 28 5-12-1: Short Title
- 29 5-12-2: Authority
- 30 5-12-3: Intent
- 31 5-12-4: ~~Purpose~~**Purposes**
- 32 5-12-5: Legislative Findings
- 33 5-12-6: Definitions
- 34 5-12-7: Disposable Bag Fee Established
- 35 5-12-8: Disposable Bag Fee Requirements
- 36 5-12-9: Retention, Remittance, and Transfer of the Disposable Bag Fee
- 37 **5-12-10: Authorized Use of Bag Fee Funds**
- 38 **5-12-11: Required Signage**
- 39 ~~5-12-11~~**12: ExemptionExemptions**
- 40 ~~5-12-12~~**13: Audits and Collection of the Disposable Bag Fee**
- 41 ~~5-12-13~~**14: Hearings**
- 42 ~~5-12-14~~**15: Unlawful Acts**
- 43 **5-12-16: Penalties**

DISPOSABLE BAG FEE ORDINANCE

1
2 5-12-1: SHORT TITLE: This Chapter is to be known and may be cited as the “2020 Town Of
3 Breckenridge Disposable Bag Fee Ordinance.”
4

5 5-12-2: AUTHORITY: This Chapter is adopted by the Town Council pursuant to the following
6 authority:
7

8 A. Section 31-15-103, C.R.S. (concerning municipal police powers).

9 **B. Section 31-15-401, C.R.S.(concerning municipal police powers).**

10 **C.** ~~B.~~The authority granted to home rule municipalities by Article XX of the
11 Colorado Constitution.

12 **D.** ~~C.~~The powers contained in the Breckenridge Town Charter.

13 5-12-3: INTENT:
14

15 A. The Disposable Bag Fee adopted ~~established~~ **established** by this Chapter is necessary to
16 **attempt to** address the environmental problems **many negative impacts**
17 associated with Disposable Bags, and to ~~relieve Town taxpayers of~~ **defray** the
18 costs ~~imposed upon the Town~~ associated with the use of Disposable Bags. ~~The~~
19 ~~Town Council intends that the requirements of this Chapter will assist in~~
20 ~~offsetting the costs associated with using Disposable Bags by paying for the~~
21 ~~mitigation, educational, replacement, and administrative efforts of the~~
22 ~~Town~~ **Town’s regulatory program established by this Chapter.**

23 B. The Disposable Bag Fee established by this Chapter is not designed to raise
24 revenues to defray the general expenses of Town government, but rather is a
25 ~~charge~~ **fee** imposed for the purpose of defraying the ~~cost~~ **costs** of the ~~particular~~
26 ~~Town services and programs described in~~ **Town’s regulatory program**
27 **established by** this Chapter.

28 5-12-4: ~~PURPOSE: It is the purpose~~ **PURPOSES: The purposes** of this Chapter **are: (i) to**
29 **protect the public health, safety, and welfare, and; (ii) to protect the natural environment and**
30 **wildlife; (iii) to implement both the Town’s SustainableBreck Plan and the Town’s**
31 **Comprehensive Plan; (iv) to employ the Town’s regulatory police power by establishing a**
32 **specific, comprehensive regulatory program that is designed to reduce the environmental**
33 **and societal impacts caused by the use of Disposable Bags by the residents of and many**
34 **visitors to the Town, all as more fully set forth in this Chapter; and (v) to defray the**
35 **reasonable direct and indirect cost of implementing the Town’s regulatory program as**
36 **established by this Chapter.**
37

38 5-12-5: LEGISLATIVE FINDINGS: The Town Council finds and determines as follows:
39

- 1 A. The use of all disposable shopping bags (plastic and paper) has significant
2 environmental impacts on a local and global scale, including greenhouse gas
3 emissions, litter, public health, harm to wildlife, water quality and
4 consumption, and solid waste generation.
- 5 B. After several years of public involvement the Town Council adopted the
6 “SustainableBreck Plan” in 2011, which sets forth a series of sustainability
7 initiatives that the Town should undertake. One such initiative is to “(e)ncourage
8 reduction in the use of Disposable Bags.”
- 9 C. Despite recycling and voluntary efforts to control pollution from Disposable
10 Bags, relatively few Disposable Bags are or can be recycled, and these bags last
11 decades in the landfill or end up as litter.
- 12 D. Numerous studies have documented the prevalence of Disposable Bags littering
13 the environment, blocking storm drains, fouling waterways, and endangering
14 wildlife.
- 15 E. Approximately two billion Disposable Bags are used annually in Colorado, but
16 less than five percent are recycled.
- 17 F. The best alternative to Disposable Bags is to shift to Reusable Bags for shopping.
- 18 G. The Town Council aims to conserve resources, reduce greenhouse gas emissions,
19 waste, and litter, and to protect the public health, safety, and welfare, including
20 wildlife, all of which increase the quality of life for the Town’s residents and
21 visitors.
- 22 H. Studies document that charging a mandatory fee on Disposable Bags can
23 dramatically reduce the use of ~~these bags~~ Disposable Bags.
- 24 I. ~~The Town of Breckenridge believes that residents and visitors should use~~
25 ~~Reusable Bags and that a fee on the distribution of Disposable Bags~~ within the
26 Town is an appropriate way to dissuade the use of Disposable Bags, ~~and fund~~
27 ~~the Town’s efforts to educate residents, businesses, and visitors about the impact~~
28 ~~of Disposable Bags on the regional environmental health and to fund the use of~~
29 ~~Reusable Bags, Town cleanup events, and infrastructure and programs that~~
30 ~~reduce waste in the community.~~ to fund the Town’s regulatory program
31 established by this Chapter.
- 32 J. The Disposable Bag Fee imposed by this Chapter will be paid by those
33 persons who, through the continued use of Disposable Bags, are helping to
34 exacerbate the public health and environmental problems the Town is
35 attempting to address by adopting this Chapter.

DISPOSABLE BAG FEE ORDINANCE

1 **K.** ~~J.~~Based on the information that has been provided to the Town Council by the
 2 Town staff, the Disposable Bag Fee imposed by this Chapter bears a reasonable
 3 relationship to the anticipated cost of providing the Town programs and services
 4 ~~described in~~ **direct and indirect costs of implementing the Town’s**
 5 **comprehensive regulatory program established by** this Chapter.

6 5-12-6: DEFINITIONS: As used in this Chapter, the following words shall have the following
 7 meanings. Where terms are not defined, they shall have their ordinarily accepted meanings
 8 within the context that they are used.

9

CUSTOMER:	Any person who makes a retail purchase from a Retail Store.
DISPOSABLE BAG:	<p>Except as provided in Section 5-12-11, <u>Until September 1, 2021, the term “Disposable Bag” means:</u></p> <p>aAny bag, other than a Reusable Bag, that is provided to a customer by a retailer at the point of sale for the purpose of transporting goods.</p> <p><u>On and after September 1, 2021, the term “Disposable Bag” means:</u></p> <p><u>Any paper bag that is provided to a customer at a Retail Store that contains at least 40 percent postconsumer recycled content.</u></p>
DISPOSABLE BAG FEE:	The Town fee imposed by this Chapter that is required to be paid by each consumer making a purchase from a Retail Store for each Disposable Bag used during the purchase, and imposed for the purpose of mitigating the impacts of Disposable Bags.
DISPOSABLE BAG FEE PUBLIC OUTREACH PLAN	A program to be put in place by the Town to raise awareness and educate both residents and visitors on the Disposable Bag Fee. The program shall at a minimum include: the development of informational signage for all

DISPOSABLE BAG FEE ORDINANCE

	Retail Stores; informational sessions and communications with Retail Stores to explain the Disposable Bag Fee and the Retail Store’s obligations; and the production of a “Breckenridge Reusable Bag” and distribution of such bags to lodging companies and Retail Stores.
<u>FARMERS’ AND ARTISANS’ MARKET:</u>	<u>A market at which local farmers and artisans sell their products and crafts directly to consumers.</u>
FINANCIAL SERVICES MANAGER <u>FINANCE DIRECTOR:</u>	The Financial Services Manager <u>Finance Director</u> of the Town, or such person’s designee <u>acting pursuant to Section 1-7-2 of this Code.</u>
<u>PLASTIC BAG:</u>	<u>Any bag made of a thin, flexible plastic material, especially but not limited to one with handles supplied by a store to carry goods purchased there.</u>
<u>POSTCONSUMER RECYCLED CONTENT:</u>	<u>Any material that would otherwise be destined for solid waste disposal, having completed its intended end use and product life cycle. Postconsumer recycled material does not include materials and byproducts generated from original manufacturing and fabrication process.</u>
RETAIL STORE:	Any public commercial business engaged in the sale of personal consumer goods, household items, or groceries to customers who use or consume such items. <u>Without limiting the generality of the preceding sentence the term Retail Store includes, but is not limited to, a farmers’ and artisans’ market.</u> “Retail Store” does not include temporary vendors at farmer’s markets or other temporary events; or restaurants or other

	businesses (e.g., service providers such as salons and spas) businesses where retail sales are clearly secondary and incidental to the primary activity occurring within the business, <u>including, but not limited to, service providers such as salons and spas.</u>
<u>RESTAURANT:</u>	<u>An establishment that stores, prepares, or packages food for human consumption or serves or otherwise provides food for human consumption to consumers directly or indirectly through a delivery service, whether such food is consumed on or off the premises or whether there is a charge for such food. A farmer's and artisan's market is not a restaurant.</u>
REUSABLE BAG:	A plastic <u>Any</u> bag that is <u>has a handle; is designed for</u> at least 2.25 mil thick or a bag made of canvas, woven polypropylene, or similar types of durable materials <u>125 uses; and is machine washable or made from a material that can be cleaned and disinfected.</u>

1
2 5-12-7: DISPOSABLE BAG FEE ESTABLISHED: For each Disposable Bag provided to a
3 customer, each Retail Store shall collect from customers **at the time of a retail sale**, and
4 customers shall pay, at ~~the~~ **such** time of purchase, a Disposable Bag Fee of \$0.10. The Disposable
5 Bag Fee shall be remitted by the Retail Store to the Town in accordance with Section 5-12-9 of
6 this Chapter. ~~The Town Council may annually evaluate and change by resolution the amount of~~
7 ~~the Disposable Bag Fee, the amount of the Retained Percent, or both the amount of the~~
8 ~~Disposable Bag Fee and the amount of the Retained Percent.~~

9
10 5-12-8: DISPOSABLE BAG FEE REQUIREMENTS:;

- 11
12 A. Retail Stores shall record the number of Disposable Bags provided and the total
13 amount of Disposable Bag Fees charged on the customer transaction receipt as a
14 separate and distinct item.
- 15 B. A Retail Store shall not refund to the customer any part of the Disposable Bag
16 Fee, either directly or indirectly, nor shall the Retail Store advertise or state to
17 customers that any part of the Disposable Bag Fee will be refunded to the
18 customer.

1 C. A Retail Store shall not exempt any customer from any part of the Disposable
2 Bag Fee for any reason except as stated in Section 5-12-11, 12.

3 D. A Restaurant shall be exempt from recording the number of Disposable
4 Bags provided for carry out, but shall carry Disposable Bags that meet the
5 definition in this Chapter.

6 5-12-9: RETENTION, REMITTANCE, AND TRANSFER OF THE DISPOSABLE BAG FEE:
7

8 A. A Retail Store may retain 50 percent of each Disposable Bag Fee collected,
9 which is the “Retained Percent”, up to a maximum amount of \$1,000 per month
10 ~~within the first 12 months of the effective date of this ordinance and \$100 per~~
11 calendar month maximum for all months thereafter.

12 B. The Retained Percent may only be used by the Retail Store to:

13 1. Provide educational information about the Disposable Bag Fee to
14 customers;

15 2. Provide the signage required by Section 5-12-10, 11, “Required Signage”;

16 3. Train staff in the implementation and administration of the fee;

17 4. Improve or alter infrastructure or computer programs to allow for the
18 implementation, collection, administration of the fee;

19 5. Collect, account for, and remit the fee to the Town;

20 6. Develop and display informational signage to inform consumers about
21 the fee;

22 7. Encourage the use of Reusable Bags, and/or promote the recycling of
23 ~~disposable~~ paper bags; and

24 8. Improve infrastructure to increase ~~disposable bag~~ Disposable Bag
25 recycling.

26 C. The Disposable Bag Fee shall be exempt from the Town of Breckenridge sales
27 tax.

28 D. The amount of the Disposable Bag Fee collected by a Retail Store in excess of
29 the Retained Percent shall be paid to the Town and shall be used only as set forth
30 in ~~Subsection G to mitigate the effects of Disposable Bags in~~
31 Breckenridge. Section 5-12-10.

1 E. Every Retail Store providing Disposable Bags subject to the Disposable Bag Fee
2 shall be liable and responsible for the payment of the amount outlined in
3 Subsection D. above to the Town, and shall file a report each month on forms
4 prescribed by the ~~Financial Services Manager~~ **Finance Director** before the
5 twentieth day of each month for the preceding month.

6 1. All sums of money collected by Retail Stores for the Disposable Bag Fee
7 imposed by this chapter minus the “Retained Percent” are intended
8 exclusively for use as outlined in ~~Subsection G.~~ **Section 5-12-10**. Each
9 Retail Store required to collect and remit the Disposable Bag Fee shall
10 hold such monies in trust until paying them to the Town.

11 F. The Disposable Bag Fee shall be administered by the ~~Financial Services~~
12 ~~Manager.~~ ~~The Financial Services Manager~~ **Finance Director. The Finance**
13 **Director** is authorized to adopt administrative rules pursuant to Chapter 18 of
14 Title 1 of this Code to implement this Chapter, prescribe forms and provide
15 methods of payment and collection, and otherwise implement requirements of
16 this Chapter.

17 **G. Disposable Bag Fees collected in accordance with this Chapter shall be**
18 **accounted for by the Finance Director in such a manner that the Finance**
19 **Director can separately track the collection and expenditure of such fees.**

20 **H. No Disposable Bag Fees collected in accordance with this Chapter shall be**
21 **used for general municipal or governmental purposes or spending. No**
22 **Disposable Bag Fees shall ever be transferred to or become part of the**
23 **Town’s general fund.**

24 **I. Disposable Bag Fees collected in accordance with this Chapter shall be**
25 **continually available for the uses and purposes set forth in Section 5-12-10**
26 **without regard to fiscal year limitation.**

27 **5-12-10: AUTHORIZED USE OF BAG FEE FUNDS:**
28

29 **A. ~~G.~~Funds from the Disposable Bag Fee ~~paid to~~ collected by the Town pursuant**
30 **to this Chapter shall only be used only for the expenditures that are intended to**
31 **mitigate the effects of Disposable Bags, including without limitation to pay the**
32 **direct and indirect costs of the Town’s regulatory program established by**
33 **this Chapter. Without limiting the generality of the preceding sentence,**
34 **permitted use of the Disposable Bag Fees revenues include** the following:

35 1. Administrative costs associated with developing and implementing the
36 Disposable Bag Fee **Paying that portion of the salary and benefits of**
37 **the Town’s Sustainability Coordinator associated with: (i) developing**
38 **and implementing the Disposable Bag Fee program as described in**

1 this chapter, and (ii) implementing the other allowed uses of the
2 Disposable Bag Fee as set forth in this Section 5-12-10A.

3 2. Paying for the following Town activities:

4 a. ~~Provide~~Producing Reusable Bags ~~to~~for distribution to lodging
5 companies, residents and, visitors, and Retail Stores;

6 b. Developing information signage for Retail Stores explaining
7 the Disposable Bag Fee, and related matters.

8 c. ~~b. Educate~~Educating residents, businesses, and visitors about the
9 ~~impacts~~impacts of Disposable Bags on : (i) the Town’s
10 environmental health; (ii) the importance of reducing the number
11 of Disposable Bags entering the waste stream;”; and (iii) the
12 impacts of Disposable Bags on wildlife and the environment;

13 d. ~~e. Fund~~Funding programs and infrastructure that allow the
14 Breckenridge community to reduce waste associated with
15 Disposable Bags;

16 e. ~~d. Purchase~~Purchasing and ~~install~~installing equipment designed
17 to minimize bag pollution, including, recycling containers, and
18 waste receptacles associated with Disposable Bags;

19 f. ~~e. Fund~~Funding community cleanup events and other activities
20 that reduce litter associated with Disposable Bags;

21 g. ~~f. Maintain~~Maintaining a public website that educates residents
22 on the progress of waste reduction efforts associated with
23 Disposable Bags; and

24 g. ~~— Fund the administration of the Disposable Bag Fee program.~~

25 ~~H. — No Disposable Bag Fees collected in accordance with this Chapter shall be used~~
26 ~~only for general municipal or governmental purposes or spending.~~

27 h. Educating residents, businesses, and visitors about: (i) the
28 impacts of the use of single-use plastics on the public health,
29 including, by way of example and not limitation, single-use
30 plastic bottles and straws; (ii) the importance of reducing the
31 number of single-use plastics entering the waste stream; and
32 the (iii) impacts of single-use plastics on wildlife and the
33 environment; and

1 **i. Such other uses as may be directed by the Town Council from**
2 **time to time that are consistent with the stated intent and**
3 **purposes of this Chapter.**

4 **B.** ~~I. Disposable Bag Fees collected in accordance with this Chapter shall be~~
5 ~~continually available for the uses and purposes set forth in subsection (g) of this~~
6 ~~section without regard to fiscal year limitation. No Disposable Bag Fee funds~~
7 ~~shall be used for any purpose not authorized in this Chapter.~~ **Section.**

8 ~~5-12-10~~**11: REQUIRED SIGNAGE:** Every retail store required to collect the Disposable Bag
9 fee shall ~~Display~~**display** a sign in a location outside or inside of the store, viewable by
10 customers, alerting customers to the Town of Breckenridge's Disposable Bag Fee.

11
12 ~~5-12-11: EXEMPTION: The Disposable Bag Fee imposed by this~~ **12: EXEMPTIONS: This**
13 **Chapter does not apply to:**

14
15 A. A bag brought into a Retail Store by a customer and used to transport goods from
16 the Retail Store.

17 B. A bag that was previously used and made available to customers at a Retail
18 Store.

19 C. A bag provided to a customer at no charge if the customer provides evidence that
20 he or she is a participant in a federal or state Food Assistance Program.

21 D. Bags used by consumers inside Retail Stores to:

22 **1.** ~~a.~~ Package bulk items, such as fruit, vegetables, nuts, grains, candy or
23 small hardware items like nails, nuts, and screws;

24 **2.** ~~b.~~ Contain or wrap frozen or fresh foods, meat, or fish;

25 **3.** ~~e.~~ Contain or wrap flowers, potted plants, or other items where dampness
26 may be a problem; and

27 **4.** ~~d.~~ Contain unwrapped prepared foods or bakery goods;

28 E. A non-handled bag used to protect purchased items from damaging or
29 contaminating other purchased items when placed in a Disposable Bag or a
30 Reusable Bag.

31 F. Bags used for loose small retail items, including, but not limited to, jewelry,
32 buttons, beads, ribbon, herbs and spices, medical marijuana or adult-use
33 marijuana if sold by the holder of a permit issued pursuant to applicable law, and
34 similar items.

- 1 G. Bags provided by pharmacists to contain prescription drugs.
- 2 H. Newspaper bags, door-hanger bags, laundry-dry cleaning and garment bags, and
- 3 bags sold in packages containing multiple bags for uses such as food storage,
- 4 garbage, pet waste, or yard waste.

5 ~~5-12-42~~**13**: AUDITS AND COLLECTION OF THE DISPOSABLE BAG FEE:

- 6
- 7 A. Each Retail Store shall maintain accurate and complete records of the Disposable
- 8 Bag Fees collected, the number of Disposable Bags provided to customers, the
- 9 form and recipients of any notice required pursuant to this Chapter, and any
- 10 underlying records, including any books, accounts, invoices, or other records
- 11 necessary to verify the accuracy and completeness of such records. It shall be the
- 12 duty of each Retail Store to keep and preserve all such documents and records,
- 13 including any electronic information, for a period of three years from the end of
- 14 the calendar year of such records.
- 15 B. If requested, each Retail Store shall make its records available for audit by the
- 16 ~~Financial Services Manager~~**Finance Director** during regular business hours for
- 17 the Town to verify compliance with the provisions of this Chapter. All such
- 18 information shall be treated as confidential commercial documents.
- 19 C. If any person fails, neglects, or refuses to collect or pay the Disposable Bag Fee,
- 20 or underpays the Disposable Bag Fee, the ~~Financial Services Manager~~**Finance**
- 21 **Director** shall make an estimate of the fees due, based on available information,
- 22 and shall add thereto penalties, interest, and any additions to the fees. The
- 23 ~~Financial Services Manager~~**Finance Director** shall serve upon the delinquent
- 24 Retail Store personally, by electronic mail or by first class mail directed to the
- 25 last address of the Retail Store on file with the Town, written notice of such
- 26 estimated fees, penalties, and interest, constituting a Notice of Final
- 27 Determination, Assessment, and Demand for Payment, (also referred to as
- 28 “Notice of Final Determination”) due and payable within 30 calendar days after
- 29 the date of the notice. The Retail Store may request a hearing on the assessment
- 30 as provided in Section ~~5-12-43~~**14** of this Chapter.
- 31 D. If payment of any amount of the Disposable Bag Fee due to the Town is not
- 32 received on or before the applicable due date, penalty and interest charges shall
- 33 be added to the amount due in the amount of:
 - 34 1. A penalty of ten percent **(10%)** of total due;
 - 35 2. Interest charge of one percent of total penalty per month.

36 ~~5-12-43~~**14**: HEARINGS:

37

DISPOSABLE BAG FEE ORDINANCE

1 A. A Retail Store may request a hearing on any proposed fee imposed under this
2 Chapter after receiving a Notice of Final Determination, by filing a written
3 request for hearing within 30 calendar days of the date of mailing of the Notice
4 of Final Determination. The request for hearing shall set forth the reasons for and
5 amount of changes in the Notice of Final Determination that the Retail Store
6 seeks and such other information as the ~~Financial Services Manager~~**Finance**
7 **Director** may prescribe.

8 B. The ~~Financial Services Manager~~**Finance Director** shall conduct the hearing
9 under the procedures prescribed by Chapter 19 of Title 1 of this Code , except
10 that the ~~Financial Services Manager~~**Finance Director** shall notify the Retail
11 Store in writing of the time and place of the hearing at least ten days before it is
12 scheduled, unless the Retail Store agrees to a shorter time. The hearing shall be
13 held within 60 days of the date of receipt of the request for a hearing, unless the
14 Retail Store agrees to a later date.

15 ~~5-12-14: PENALTIES:~~ **15: UNLAWFUL ACTS: On and after September 1, 2020 it is**
16 **unlawful and a misdemeanor offense for an employee of a Retail Store to:**

17
18 **A. Sell, provide, distribute, or give away to a customer a plastic bag, except as**
19 **provided in Section 5-12-12; or**

20 **B. Sell, provide, distribute, or give away to a customer a paper bag that does**
21 **not contain at least forty percent (40%) postconsumer recycled content.**

22 **The provisions of Section 5-12-16 shall not apply to a violation of this Section.**

23
24 **5-12-16: PENALTIES:**

- 25
26 A. It is unlawful for any person to violate any provision of this Chapter.
- 27 B. The first or second violation of this Chapter within two years, based on the date
28 of the violation, shall be an infraction. Every person found liable for such a
29 violation shall be punished as provided in Section 1-4-1-1 of this Code;
30 provided, however, the maximum penalty for each such violation shall be a fine
31 of \$500.00.
- 32 C. A third and each subsequent violation of this Chapter within two years, based on
33 the date of violation, shall be a misdemeanor offense. Any person convicted of
34 such a violation shall be punished as provided in Chapter 4 of Title 1 of this
35 Code.

36 Section 2. The ~~Financial Services Manager~~**Finance Director** shall develop and
37 implement the administrative and financial processes for the collection of the Disposable Bag
38 Fee imposed by this ordinance.

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Section 3. Except as specifically amended hereby, the Breckenridge Town Code, and the various secondary codes adopted by reference therein, shall continue in full force and effect.

Section 4. The Town Council finds, determines and declares that this ordinance is necessary and proper to provide for the safety, preserve the health, promote the prosperity, and improve the order, comfort and convenience of the Town of Breckenridge and the inhabitants thereof.

Section 5. This ordinance shall be published and become effective as provided by Section 5.9 of the Breckenridge Town Charter.

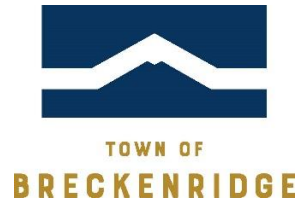
INTRODUCED, READ ON FIRST READING, APPROVED AND ORDERED PUBLISHED IN FULL this ____ day of _____, 2020. A Public Hearing shall be held at the regular meeting of the Town Council of the Town of Breckenridge, Colorado on the ____ day of _____, 2020, at 7:00 P.M., or as soon thereafter as possible in the Municipal Building of the Town.

TOWN OF BRECKENRIDGE, a Colorado municipal corporation

By: _____
Eric S. Mamula, Mayor

ATTEST:

Helen Cospolich, CMC,
Town Clerk



Memo

To: Breckenridge Town Council Members
From: Helen Cospolich, Town Clerk
Date: 10/21/2020
Subject: Tobacco Business License Renewal Resolution

Last year, Council approved an ordinance creating a local Tobacco Business License for Town of Breckenridge businesses selling tobacco products. This ordinance set the new license fee at \$600 and specified the renewal rate to be determined during the annual budget process. As the 2020 budget is completed and the 2021 budget process is already underway, we felt it best to set the renewal rate for this year by resolution. The proposed annual tobacco business license renewal fee is the same as the new license fee of \$600. The fee covers Town costs associated with administering the license, as well as enforcement of license requirements. In future years this renewal fee will be set as part of the regular budget process as stated by ordinance.

Mr. Berry and I will be available at this meeting to answer any questions you may have.

1 ***FOR WORKSESSION/ADOPTION – OCT. 27***

2
3 RESOLUTION NO. 24

4
5 Series 2020

6
7 A RESOLUTION SETTING THE RENEWAL FEE FOR A TOWN OF BRECKENRIDGE
8 RETAIL TOBACCO BUSINESS LICENSE

9 WHEREAS, Chapter 18 of Title 4 of the Breckenridge Town Code authorizes the Town
10 Clerk to issue retail tobacco business licenses; and

11
12 WHEREAS, the Town Clerk has issued retail tobacco business licenses that are subject to
13 renewal pursuant to Section 4-18-17 of the Breckenridge Town Code; and

14
15 WHEREAS, Section 4-18-17 requires that an application to renew a retail tobacco
16 business license shall be accompanied by a renewal fee in an amount to be determined by the
17 Town Council as part of its annual budget process; and

18
19 WHEREAS, the Town Council in presently engaged in the process of adopting the
20 Town’s budget for fiscal year 2021; and

21
22 WHEREAS, it is necessary for the Town Council to fix the amount of the renewal fee for
23 a retail tobacco business license as part of the 2021 fiscal year budget process.

24
25 NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF
26 BRECKENRIDGE, COLORADO:

27
28 Section 1. Effective immediately, the fee for the renewal of a Town of Breckenridge
29 retail tobacco business license is six hundred dollars (\$600.00).

30
31 Section 2. This resolution is effective upon adoption.

32
33 RESOLUTION APPROVED AND ADOPTED this ___ day of ___, 2020.

34
35 TOWN OF BRECKENRIDGE, a Colorado municipal
36 corporation

37
38
39
40 By: _____
41 Eric S. Mamula, Mayor

1 ATTEST:

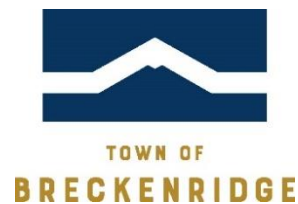
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Helen Cospolich, CMC,
Town Clerk

APPROVED IN FORM

Town Attorney Date

Memo



To: Breckenridge Town Council Members
From: BOSAC Subcommittee: Matt Powers, Erin Gigliello, and Anne Murphy (staff)
Date: October 27, 2020
Subject: Recommendations for BOSAC appointment

The Breckenridge Open Space Advisory Commission (BOSAC) consists of seven members who are appointed by the Town Council. Current BOSAC members include:

Erin Gigliello, Town Council Liaison
Matt Powers, Chair
Duke Barlow, Vice Chair
Ian Hamilton
Nikki LaRochelle
Chris Tennal
(Open Seat – vacated by Carol Saade on 8-31-20)

On September 1st of this year, Carol Saade was appointed to Town Council, leaving her BOSAC seat vacant. This seat will need to be filled for the remaining two and a half (2.5) years of her term.

Ads seeking applicants recently ran in the local newspaper, Town website, and social media. Fifteen letters of interest were received from the following individuals, only thirteen of whom are eligible because they are Town residents and electors:

Chris Abell
James Adamson
Kelly Ahern
Brian Brown
Mitch Dalhke (not eligible)
Leigh Girvin
Rayanne Harris
Whitney Hedberg
Jerry Kopack
Darren Riethmiller (not eligible)
David Rossi
Kristin Schwarck
Pete Swenson
John Vincze
Mike Zobbe

A nominating subcommittee of BOSAC and staff, including Matt Powers, Erin Gigliello, Council Liaison, and Anne Murphy, staff, interviewed all thirteen eligible applicants and recommend that Council appoint David Rossi to fill the remainder of Carol Saade's term. Copies of the thirteen letters of interest are attached for your review.

One (1) seat may be appointed at this time. Appointment may be made by motion and a sample motion follows.

Motion:

"I move that we affirm the BOSAC nominating committee's recommendation by appointing David Rossi to finish out the remaining two and a half (2.5) years of the seat recently vacated by Carol Saade on the Breckenridge Open Space Advisory Commission."

October 2, 2020

ANNE LOWE, TOWN OF BRECKENRIDGE OPEN SPACE

PO BOX 168 • BRECKENRIDGE, CO 80424

I would like to apply for the BOSAC board member position.

Like the saying goes, come for the winter and stay for the summers. I've been in Breck since the winter of 2002. Coming to work for the ski area after school, I quickly fell in love with the place and have been here since. Every winter I have worked for the ski area, 10 years as a Ski Instructor and the last 9 with the Breck Ski Patrol. Currently I have the position as the Ski Patrol Accident Investigation Supervisor. My time there has been a vast array of experiences that has put me in touch with the people that come to our town, and helped me realize how different everyone's expectations can be for their visit.

In addition, the last decade I have also worked as a guide for Western Spirit Cycling, a mountain bike outfitter based in Moab, Utah. While there I had the privilege of working for Ashley Korenblat who is very active with public land use. From her I gained a perspective that there needs to be a balance, some places can be used for industry and some places are special and need to be protected in a sustainable manner. While there I took groups of guests on week long mountain bike adventures in a huge variety of places all over the west. This has also given me the chance to work on and enjoy many different areas and trail systems in Oregon and Idaho, Colorado, the Black Hills in South Dakota, to Canyonlands, the Bears Ears and many more. It offered a chance to see many different ways that open space can be managed, as well as differences in the ability levels, and mindset of guests that I was bringing to these great places.

I'd like the opportunity to bring some of my experience to the area that I call home. Breckenridge has an amazing network of trail and open space to play. I love it, and here is an opportunity to serve and give back. I look forward to speaking further about the opportunity.

SINCERELY,

CHRIS ABELL
970-393-0135
abell2ski@gmail.com

Anne Lowe

From: James Adamson <james@dropmedia.tv>
Sent: Friday, October 2, 2020 12:52 PM
To: WebsiteOpenSpace
Subject: Bosac Council Application

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: BOSAC

Hello,

I'd like to be considered for a position on the Bosac council. I'm a current Breckenridge resident living in the Wellington Neighborhood. I've been involved with mountain bike and trail advocacy for almost 20 years.

I currently sit on the board of SCOMBA here in summit county and help to direct our trail work and development there.

I've currently work as a Filmmaker and photographer in the outdoor and bike industry. You can see more of that work at www.dropmedia.tv

Thanks for the consideration!

Here's a more extensive bio if me:

James Adamson has spent the past decade photographing and directing outdoor media in extreme environments around the globe for the likes of PBS, Google, Cisco, Toyota, Patron, iFit and many more. He is the founder and director of Drop Media, and for seven years has served as Director of Photography for Bandaloop, the world renowned, aerial dance company. He is a highly trained and experienced mountaineer, and thrives in dangerous, high altitude, alpine, and urban aerial conditions. He has excellent fitness and is capable of embedded work with extreme and high level athletes in any environment.

James holds a BA in Journalism from San Francisco State, a Certificate in Multimedia Sound and Design, an alumni of the Banff Adventure Film School and is an FAA certified drone pilot. He is winner of the award for Best Film / Director at Sacramento 10x10 Film Festival and Best Director of Photography, San Jose Film Race.

Based in the Colorado Rockies, James' work has taken him to film in China, UK, South Africa, Nepal, Alaska, Taiwan, New Zealand, and all over North America, Asia and Europe.

Cheers,
James

James Adamson
DropMedia / Director
[415.819.0481](tel:415.819.0481) (m)
James@dropmedia.tv

September 22, 2020

Dear Breckenridge Town Council Members,

I would like to express my interest in joining the BOSAC team. I'll start by introducing myself. My name is Kelly Ahern and I was born and raised in Breckenridge. I have had the great fortune of growing up in this beautiful town and have experienced first hand how open space acquisition and protection has shaped this town and the people residing here. I know for me, I would not be who I am today without the outdoors.

Now that I am a parent to two young girls, it is crucial that I find my voice and use it to advocate for a community that takes care of all things that make up the outdoors. Furthermore, I believe I can bring many perspectives to the table when speaking about open space. Let me elaborate on this. My husband is part owner of a civil construction company. Infrastructure and development are crucial to our livelihood. With that being said, we value the balance of growing our community and making open space a top priority. Our daughters love accessing the trails in our backyard at their own slow and leisurely pace. I love accessing the trails for my own personal athletic passions. It is my greatest escape. Our spunky dog, Chloe, enjoys Breckenridge's open spaces as a place to frolic and stop to smell all the smells. My parents, who still reside in Breckenridge, continue to explore the outdoor space around them. My Dad has been exploring these spaces since he moved to Breckenridge in 1963. He has passed on to my brothers and I the importance of preserving Breckenridge's history while also understanding the need for growth. My Mom prefers to hike and identify wildflowers, while my Dad still crushes running, skiing and biking. My younger brother, Kyle, is an amazing ski patroller and fly fisherman here in Breckenridge. The protection of our rivers and watersheds are so, so important to him. All of these people (and dogs) in my life, who I love dearly, have their own purpose in accessing and preserving the outdoors. Open spaces mean something special and different to all of us. Each of these voices needs to be at the table when open space acquisition and protection are being discussed. I can offer that.

Lastly, while I selfishly want a seat on this committee to be a voice for my family, I know this committee is bigger than that. I am a teacher at Breckenridge Elementary. I can feel it in my gut that kids NEED the outdoors more than ever. I would be thrilled to be able show our kids what it means to take action, work together, and learn about our community to protect our lands. I will model this the best I can, as I know I have much to learn about all the components of open space protection and acquisition.

I want to graciously thank you for your time and hope to speak with all of you further about joining this team. I'd be honored to work in partnership with you, our community and the Town of Breckenridge.

All the best,

Kelly

keahern@gmail.com

(970) 232-8322

Brian M. Brown
443-690-0570
brian@wherearethebrown.com

October 1, 2020

Dear Breckenridge Open Space Advisory Commission:

I love the trails, rivers, and natural areas throughout Breckenridge, and I would like to help. Please consider me for the open seat on BOSAC.

I have owned a home in The Wellington Neighborhood since 2004. Although my family and I have lived back and forth between here and Florida, we have always considered Breckenridge our home since first coming here years and years ago. I will never forget, when we were living in Florida, but coming here a fair bit, our neighbor here would always say "Welcome Home," which always put a huge smile on my face. This is our true home. As they say, you can take the person out of the mountains, but you cannot take the mountains out of the person. That is an incredibly true statement.

My family and I moved back here about 2.5 years ago full time, and it was the best decision that we could have possibly made. Breckenridge is truly a special place.

While there are many things that make Breckenridge an incredible town, such as the history, the ski resort, the proximity to Denver, and the cool temperatures in the summer, by far the most important resource is the open space around town. It is something that I enjoy all seasons, from cross country skiing and skinning to mountain biking and hiking. I have travelled to many states and many countries, and there have been very few places that have protected and enhanced such wonderful and inspiring open space. I want to do my part to keep it protected, and hopefully expand it as much as practical. I also have an increasing interest in forestry, restoration, and land management.

I will be the first to admit that I have not given back to this community to the extent that I should have to this point. I have done a trail day, and a few other things here and there, but my community involvement has been lackluster. It is something that I am not happy about – I use the heck out of the open space, but have not done much to protect, expand, or improve upon it. I can come up with a bunch of lame excuses, but bottom line, I think that until we decided to settle here 2.5 years ago, I did not want to invest myself in this community because I did not know for how long we would be here. This is now truly our community, and thus, I want to become much more involved in making sure that it remains a special, incredible place.

IT IS TIME TO GIVE BACK!

As far as my background, as I said before, I am an avid user of the Breckenridge (and Summit County) open space. My work experience is quite diverse, but as you will see, there is a common theme running among the various jobs that I have maintained. I will go a bit quick here for brevity. I am an attorney by trade (licensed in MD and FL, not CO). When I was practicing, I represented plaintiffs in

mass tort and class action litigation. For instance, the firm that I was working for (and myself) represented the State of Maryland against the Tobacco Industry for monetary damages we alleged were suffered as a result of Medicaid patients' tobacco-related illnesses (and a class action of smokers against the Industry as well). Our firm (I was on the litigation team) also sued the paint and gas industry for the lead that we alleged ended up in people and the earth through lead paint and leaded gas. I was also involved in lawsuits against the Cell Phone Industry for a brain tumor in a neurologist that we alleged occurred as a result of his cell phone usage, and also a suit against a large chain of psychiatric hospitals that we alleged physically and mentally abused (mostly) minor children that were admitted and then released as soon as their health insurance ran out. These cases were very worthwhile, but also incredibly stressful for me, and consumed much of my waking hours (which were a lot). My wife and I realized that the stressful corporate world and "American Dream" may not be for us, and decided to sell our expensive house, buy a small townhouse which we could rent out, buy an RV, and travel the country in our 5th wheel. This was in April, 2003, well before van life existed. In fact, as we rolled around the country, we were by far the youngest people in the campgrounds where we worked (we were often called the grandkids). Our first job was to give campfire talks at Peak One Campground on Saturday nights. It is how we first truly discovered the awesomeness of Summit County (other than one ski trip in 1995). Over the course of a year and a half, we travelled 33,000 miles around the US, coming back to Summit County for the full winter, and then again to Peak One Campground for the summer of 2004. It was at the end of the summer 2004 that we bought our townhouse in The Wellington Neighborhood. Over the years since, I was a part-owner of a bike shop in Celebration, FL (where we lived for a while), was a health care consultant developing networks of doctors for health plans (and managed team of recruiters that recruited the doctors), worked as the National Commercial Sales Manager for ElliptiGO (an outdoor elliptical bike – you may have seen me around climbing Ski Hill Road), and have been in business development for a healthcare company. The common theme – health of people (including the ability to recreate outside) health of the planet. Open space clearly helps both causes in which I believe. It is why, amongst other reasons, that I have sent in my letter of interest for the BOSAC position.

I love our open space. I realize that our open space is our most important resource. I want to protect and increase it. I want to give back to this community. I would respectfully request that you consider me for the open position on BOSAC.

Thank you for your consideration.

Very truly yours,

Brian M. Brown

Anne Lowe

From: Leigh Girvin <leighgirvin@hotmail.com>
Sent: Friday, October 2, 2020 11:00 AM
To: WebsiteOpenSpace; Leigh Girvin; Anne Lowe
Subject: Application for BOSAC

Hi Anne and BOSAC –

Please consider me for the vacancy on the Breckenridge Open Space Advisory Council. I will bring a diverse range of experience and recreation passion to the commission.

For nearly 30 years I have worked as an advocate for trails and open space. The Town of Breckenridge appointed me to the Upper Blue Planning Commission in 1992 specifically to be a voice for trails and recreation at a time when the concept was new to decision makers.

The Open Space programs in our community have grown exponentially since then, thanks to professional leaders and dedicated citizens.

My experience as a USFS Permittee as the former director of Summit Huts Association and as a conservation leader as the former executive director of Continental Divide Land Trust gives me a broad perspective on trails, open space, conservation, and land and forest management. Because of my long view in the community, I am also always looking forward to future needs and demands and how to meet them.

I applied to BOSAC once before and withdrew my application because of a conflict with the fourth Monday of the month. That conflict no longer exists. I am prepared to be a constructive member of the BOSAC team.

Please let me know if you have any questions or would like additional information.

Yours,

Leigh Girvin
Breckenridge, CO
970-389-6163

Other Current Community Involvement:

Breckenridge Liquor and Marijuana Licensing Authority
2016 – present, Vice Chair

Countywide Planning Commission
2016- present, Chair

Sent from [Outlook](#)

Rayanne Harris
PO Box 4172
Breckenridge, CO 80424
(970) 389-5493
codaclimb@yahoo.com

September 28, 2020

Breckenridge Open Space Advisory Commission
Anne Lowe
Town of Breckenridge Open Space
PO Box 168
Breckenridge, CO 80424

Greetings!

I am writing this letter to express interest in applying to the Breckenridge Open Space Advisory Commission (BOSAC). I have been looking for the right opportunity to show my deep appreciation for my community, by hopefully serving as an advocate of trail systems, open space, forests, and wildlife in Breckenridge. The Zoom meeting I attended Monday strengthened my interest in getting involved, and thank you for the invitation.

I understand the many purposes of open space in Breckenridge. In 2002, I interned at the Breckenridge Outdoor Education Center (BOEC) and often enjoyed the trails and land available for public use. I continue to use the trails in our open space through hiking, mountain biking, trail running, backcountry skiing, and dog walking. As a parent, I understand the needs of families, and creating safe, accessible spaces for both able-bodied and less able-bodied people. I am a nurse practitioner by education and trade, and often work in team environments to meet the mission of “doing the right thing for the patient”. I understand that a similar ask in this role is for the commission, to again, do the right thing by protecting the fragility of our open space with managing impact from usage, promoting environmental stewardship, protecting wildlife, and maintaining these spaces responsibly, in perpetuity. I am also a wife of a firefighter and understand the importance of fire risk mitigation in the forest and near our homes.

Since 1997, BOSAC’s hard work has brought many accomplishments to Breckenridge, including acquiring land for preservation, protecting the cucumber gulch preserve, and developing an exceptional trail network. Thank you for the opportunity to be considered for the BOSAC. If you have questions, please feel free to contact me at 970-389-5493 or codaclimb@yahoo.com. I look forward to hearing from you.

Sincerely,
Rayanne Harris

Anne Lowe

From: Whitney Hedberg <whitneyhedberg@gmail.com>
Sent: Saturday, September 26, 2020 2:13 PM
To: WebsiteOpenSpace
Subject: Interest in BOSAC open position

Dear Anne,

I am throwing my hat in the ring for the open position on BOSAC. I am an enthusiastic trail user, race director, adventure racer and the Executive Director of Summit Nordic Ski Club.

When choosing where to live my family and I specifically chose to buy in Breckenridge because of the high quality trail system and the Town's commitment to build and promote ways to access our natural environment. I would love to help that effort by joining BOSAC.

I bring a perspective that focuses on creative use of trails and natural resources with a focus on youth engagement. I am passionate about encouraging new users to access the outdoors. I am a year-round trail user - mountain biker, runner, nordic skier, backcountry skier -- and believe that access to nature is a basic human right. I recognize that the average Summit County resident is fairly comfortable with at least one outdoor endeavour and that we live in a place that sees a good amount of trail and outdoor use. But I think it is important to look at the big picture to see where we can improve and do an even better job of helping people respectfully access natural spaces. In my experience working with SNSC families (we serve nearly 200 athletes every year) many utilize a small fraction of what we have to offer here and I think we can help expand trail use -- and therefore foster a love for our natural spaces and commitment to protect them -- through creative programming and outreach. Through my work with Summit Nordic I have made it a goal to expose our athletes to a variety of outdoor activities and natural places (outside of our awesome Nordic centers) and have encouraged exploration and gaining tools such as map reading to promote lifelong connection to nature. If we want to protect nature and inspire conservation I think it is important to start with kids and foster a connection early in life.

I am an "outside of the box thinker" and love to problem solve. In my professional life working as Director of Major Gifts for several universities, I have worked closely with boards and committees and fully understand the commitment. I have also worked for major institutions such as the Museum of Modern Art and Credit Suisse. I would bring this experience to be a dedicated and active member, willing to take on work.

BOSAC is doing a wonderful job and helps make Breckenridge such a special place to live and play. I would be honored to be a part of the team.

Thank you for your consideration.

Best,
Whitney Hedberg

Jerry Kopack

16 Silver Green, Breckenridge, CO 80424

303.641.3916

Jerry.Kopack@gmail.com

September 21, 2020

To members at Breckenridge Open Space Advisory Commission,

I would like to formally submit my name for appointment to the BOSAC. Please find my attached resume outlining my leadership skills and experience.

I have a 20 year executive career which most recently includes founding an end of life health care company in Boulder County, named Family Hospice in 2005 and The Family Hospice Foundation, a registered 501c3 non-profit, in 2008. We had a motto that "every day was an opportunity to improve someone's life". In my role, I oversaw the daily operations, financials, marketing, and long term vision, while managing a staff of 60 employees and 70 volunteers. In addition, I led both boards of directors for the 2 entities.

I currently sit on the board of directors as an officer for Warmshowers Foundation, a registered 501c3 organization. Our vision is to inspire passion and create community between bike travelers and local hosts for an authentic homestay experience and thus make the world a little bit smaller. My role includes financial reporting, marketing, technology development, and long term vision strategy.

While I'm new to Breckenridge, I don't plan on leaving anytime soon. I know many people in the community and also on BOSAC, and have quickly fallen in love with this amazing place. I am passionate for open space and recreation having raced mountain bikes for over 15 years, while most recently having solo bike packed around the world from 2016 - 2019. In the winter, I am an avid backcountry skier and regularly utilize the amazing network of winter and summer trails in Breckenridge. I believe in the Breckenridge vision to acquire, preserve, and sustainably develop the open space in the area for continued public use. It is a heavy load as members of BOSAC to appropriately balance the interests of several entities, however there is a duty to preserve our public lands, because once they are gone, they are gone.

What I may initially and only temporarily lack in direct Breckenridge knowledge as compared to some other candidates, I make up for in professional experience and passion. I believe that a fresh perspective from a new face would be a valuable asset to the BOSAC.

Thank for you considering my application. I would be honored to be able to serve this community.

Jerry Kopack

David Rossi

October 2, 2020

Anne Lowe, Director
Town of Breckenridge Open Space & Trails
via email

Re: Letter of Interest, BOSAC

Dear Anne,

This letter is to express my interest in filling the vacancy on the Breckenridge Open Space Advisory Commission.

I'd love to rest just on my prior experience as a member BOSAC as a qualification for appointment. Regardless of how I feel about the massive changes throughout Town and Summit County, one thing is clear when it comes to our vast network of trails and land holdings: Despite the changes in Council priorities, community expectations, and user demands, our collective pride in the habitat, and our need to sustain and protect it, has not.

At a time when increasing demand on our trails and impacts to our treasured and finite open space dominate discourse, my application and desire to serve again is guided by a simple concept: When we asked voters to approve the open space tax, preservation and protection was part of the commitment to them. This will be, if appointed, what guides my contribution as a Commissioner.

Attached you will find a brief summary that outlines some of my contributions to the community that I believe would be relevant as you evaluate me for the position. Thank you for your consideration.

Yours very truly,

A handwritten signature in black ink that reads "Dave". The signature is stylized and cursive.

David Rossi

Summary

In my current position as Chief Marketing Officer for Peak Health Alliance, I focus on building awareness for the organization's expansion from Summit County into others. Peak has lowered the cost of care for individuals and this fall will again be the cheapest option for health insurance. My background is as a resource for marketing services online and off in a specialized niche known as brand activation and ideation.

I moderate and participate in diverse teams and stakeholders on design and messaging for national brands, startups, and even small businesses right here in Breckenridge, and currently for Peak.

Why it Applies

My local clients other than my role with Peak are in retail, lodging, property management, real estate development, custom home construction, politics, and non-profit community entities. I also have worked with GoBreck and the ski resort marketing departments.

I don't tell clients how to run their operations, rather I help them address a sales, customer, or messaging objective. But it requires a deep dive into their industry and audience.

Varied industry experience is a benefit when contributing to discussions on strategies and initiatives. My background in moderation of and participation with stakeholders would reinforce group situations where shared experience and collaboration is vital.

Community Summary

Local organizations over the years:

- » Stakeholder Team, Original Town Vision Project, 2001
- » BOSAC Commission (pre-Council)
- » Breckenridge Town Council
- » Golden Horseshoe Management Stakeholder Group
- » Wellington Neighborhood HOA Board
- » Friends of the Dillon Ranger District Board
- » Summit Fat Tire Society Board
- » Bighorn Leadership Council (Statewide leadership program)
- » Breck Pride Organizational Committee
- » Breckenridge Creative Arts Board

Select pro-bono projects:

- Summit Fat Tire Society (branding, original site)
- Hidden Gems IMBA Stakeholder Group
- Summit Youth Network Co-op (SYNC), a database of local youth volunteer opportunities: Brand development, site development
- Summit Youth Hockey: Identity and uniforms, advertising
- Breckenridge Bolts Hockey Club: All branding, programs, advertising
- Summit County Democrats: Web, branding, social media
- Tamara Pogue for Commissioner, Elisabeth Lawrence for Commissioner
- BreckCreate

Kristin Schwarck
10 Ontario Green
PO Box 3206
Breckenridge, CO 80424

Sept 26, 2020

Ms. Lowe,

I would like to express my interest in the position available on the Breckenridge Open Space Advisory Committee.

After 15 years of living in unincorporated Breckenridge, my husband and I were lucky enough to move into Lincoln Park two years ago. I have enjoyed the expansive network of trails and recreational activities that this county has to offer on wheels, feet, and skis. I have always been an avid trail user, but year round and almost daily I am able to bike, run, hike, ski, and commute by way of our expansive trail system.

I have great appreciation and respect for the Town of Breckenridge and BOSAC for the work they have done to acquire, maintain, and protect open space. Although I don't have a vast knowledge of land trades and acquisitions, I'm very intrigued and would like to understand more about the process and management of them. I highly value the importance of protecting our natural resources, historic sites, and public spaces. The growth, connection, and preservation of the trail network continues to impress me.

I am a physical therapist and director of Axis Sports Medicine in Breckenridge, and partial owner of the business. My profession has developed my skills to listen, analyze information, and develop plans for success. I have volunteered with trail building days, events/races that utilize the local trails, and leading women's group rides.

Breckenridge supports an active outdoor lifestyle, and during these times we have seen this more than ever. With continued dedication, it will remain that way in the future for all users. I would be honored to represent our community and contribute to this committee.

Kristin Schwarck
970.389.6930

Pete Swenson | PO 6451 Breckenridge CO 80442 |swensonpt@gmail.com |720.289.6547

Anne Lowe

Town of Breckenridge Open Space

PO Box 168

Breckenridge, CO 80442

Dear Anne,

I would like to interview for the open seat on the Breckenridge Open Space Advisory Commission. I've been recreating in Breckenridge for the past twenty-five years and a resident for fifteen. I enjoy our trails and open spaces as a skier, cyclist, runner and hiker. The evolution and growth of the trails and open space program in Breckenridge is of great interest to me and I would welcome the opportunity to contribute to the community through BOSAC.

In addition to a 25-year recreation interest in our trails and open spaces I have the following professional experience that will enable me to be an effective BOSAC member.

- Town of Frisco Nordic Center and Trails manager since Spring 2018
- TOF representative for OSAC (Summit County Open Space) meetings and DDReC (Dillon Reservoir Recreation Committee)
- TOF lead contributor to the Frisco Nordic Center Master Development plan with the Forest Service May 2019
- Winter and summer trails network designer for Frisco Peninsula Recreation area as mapped in the MDP

In my current capacity as Trails Manager I'm responsible for implementing day to day trail improvements as well as planning for trail and land uses over the next five, ten and fifteen years. Breckenridge trails and open space are my backyard I hope to help preserve and improve our surroundings for both neighbors and visitors.

For local references please contact any of the following at TOB: Matt Powers, Kelly Owens, Chris Tennal or at TOF: Diane McBride or Katie Barton. I look forward to hearing from you.

Sincerely,

Pete Swenson

September 30, 2020

Anne Lowe
Town of Breckenridge Open Space
PO Box 168
Breckenridge, CO
80424

Anne,

I would like to express my interest in joining the Breckenridge Open Space Advisory Commission.

After living in the county for 18 years, I have been an active volunteer in trail projects from Quandary to Keystone.

I have been an open space advocate since moving to Summit County and Breckenridge and have personally created easements and worked with my neighbors to facilitate the construction of a few local favorite trails including Sallie Barber, Barney Ford and V3.

I also worked with the county on a PUD project and through that gained a good perspective of the public benefit that open space provides in our community.

Our family are full-time residents in Breckenridge. I believe I would be a good addition to BOSAC and look forward to the opportunity to serve.

John Vincze
205 S Goldflake Terr
Breckenridge, CO
+1-650-464-3506

To Anne Lowe,

RE: Open Space Advisory Committee open position

September 21, 2020

Dear Anne,

I am writing to place myself into consideration for the currently open BOSAC position.

I have lived in Breckenridge since 1984 and have enjoyed the many benefits that our surrounding wildlands and open space have to offer. I have been mountain biking around Breckenridge since 1985 and while I have had a long love affair with that sport, I also enjoy hiking, Cross Country skiing and backcountry skiing.

Due to my position as race director of the Fall Classic mountain bike race in the mid to late 80s I became aware of the amount of undeveloped private property there was in the Upper Blue valley. Few trail users knew or cared how many of the trails and roads that they were using crossed private property. I was also becoming very concerned with the state of stewardship that I was seeing on the landscape as many unauthorized user-built trails were beginning to appear. I could see that trails being established on public and private lands without permission or regard for good trail design or ethics was not going to lead anywhere good.

As a result of that concern, I formed the Breckenridge Fat Tire Society in 1990 and served as its president for many years. Over the years the Fat Tire Society (now renamed the Summit Mountain Bike Alliance) has advocated for responsible recreation to mountain bikers and has worked with land owners and managers to advocate for access to trails and to build new trails. Often, I was the lead on many of those efforts.

For many years I have been active in trail advocacy and stewardship. I have participated in numerous public hearings, open houses, and committees involving both open space and federal lands. I have been involved with the planning, construction or maintenance of many of the trails we enjoy today. I was on the advisory board of the Golden Horseshoe planning commission. I also served on the Vail Pass task force and was on the board of the Friends of the Dillon Ranger District. One trait that all these commissions with competing agendas has instilled in me is the ability to look at an issue from various points of view and to build a fair consensus between user groups.

I was hired by the developers of the Highlands subdivision to help plan and over the course of numerous summers, to build (almost all by myself) all the trails through the Highlands. I have participated in countless trail building and maintenance days and have served as a crew leader with FDRD and VOC as well as on some Open Space trail days. I was the director of Summit Huts Association for many years and that role also required me to be involved with open space and forest management as well as relationships with private land owners.

Over the years, my views on trails and open space have not only focused on recreation. I place high value on our surrounding open space for viewshed and watershed protection, wildland fire threat management and as places of refuge for wildlife and flora of all kinds (not just charismatic and “calendar” species). I also feel preserving our history, both our mining heritage and more recent past should be an important value with Open Space. I feel in acquisition and management of our open space, we have an important balance to strike between recreation and promotion of other, more conservation oriented values.

I feel my long experience with public lands advocacy and the many relationships I’ve established over my career will add great value to BOSAC.

Please feel free to contact me with any questions and to let me know what the next steps in the process are.

Thank you for your consideration

Mike Zobbe

970 389 1432

M_zobbe@yahoo.com



Memo

To: Breckenridge Town Council Members
From: Mark Truckey, Director of Community Development
Date: October 21, 2020
Subject: Planning Commission Decisions of the October 20, 2020 Meeting

DECISIONS FROM THE PLANNING COMMISSION MEETING, October 20, 2020:

CLASS A APPLICATIONS: None.

CLASS B APPLICATIONS:

1. Parkway Center Parking Lot Variance, 410 North Park Avenue, PL-2020-0443
A proposal to install a temporary parking lot with up to 165 spaces to help alleviate skier parking demand near the Gondola. *Continued to a date TBD.*

CLASS C APPLICATIONS:

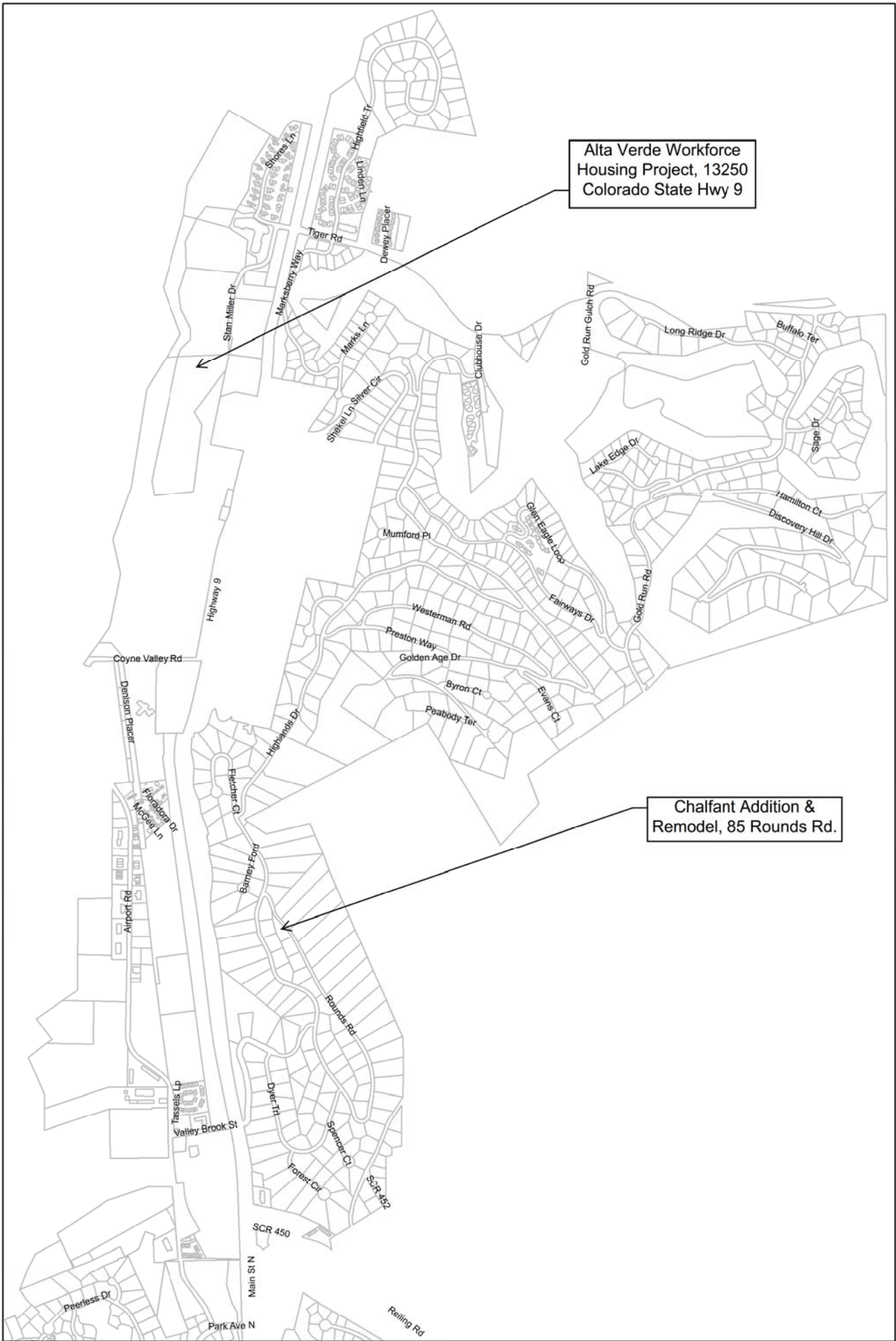
1. Chalfant Addition and Remodel, 85 Rounds Rd., PL-2020-0412
A proposal to convert the existing garage into habitable space and add a new garage with additional density above it, with an increase of 1,332 square feet for a total of 5,970 of mass, and a total of 6 bedrooms, 7 bathrooms, and 5 parking spaces. *Approved.*

2. Gold Flake Demolition and New SFR, 217 Wellington Rd, PL-2020-0364
A proposal to demolish an existing single family residence and build a new 7,047 sq. ft. single family residence with 5 bedrooms and 5.5 bathrooms (Continued from October 6th Meeting). *Approved.*

TOWN PROJECT HEARINGS:

1. Alta Verde Workforce Housing Project, 13250 Colorado State Highway 9, PL-2020-0235
A proposal to construct three deed restricted workforce housing apartment buildings with 36 one-bedroom, 36 two-bedroom and 8 three-bedroom apartments totaling 64,739 sq. ft. *Approved.*

OTHER: None.





Gold Flake Demolition
and New SFR, 217
Wellington Rd.

Parkway Center Parking
Lot Variance, 410 N. Park
Avenue



Breckenridge South



PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 p.m. by Chair Gerard. The meeting was a virtual electronic meeting through the Zoom platform, as a result of the COVID-19 crisis.

ROLL CALL

Christie Mathews-Leidal
Mike Giller

Ron Schuman
Steve Gerard

Jay Beckerman
Lowell Moore

APPROVAL OF MINUTES

With the below changes, the October 6, 2020 Planning Commission Minutes were approved.

Mr. Gerard: On the bottom of page 7 of the packet, my sentence began with “second floor area with outside entrance.”

APPROVAL OF AGENDA

With no changes, the October 20, 2020 Planning Commission Agenda was approved.

PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- None

WORK SESSIONS:

1. St. Mary’s Heated Sidewalks (JL)

Mr. Schuman disclosed he has spoken with the deacon about the project, and that he had previously been the property manager there and was familiar with the proposal and property.

Ms. Leidal disclosed she had a conversation with the deacon before the application was put in, and she talked about the code and reviewed Policy 33 with him.

Mr. Gerard suggested there were no conflicts since this was just a work session, but it would be revisited if the project came to Commission as a hearing. The Commission agreed.

Mr. Lott presented a proposal to add three areas of heated sidewalk at St. Mary’s church. The Commission was asked if they support waiving negative points for the project on the basis of safety of the general public in high traffic areas.

Commissioner Questions / Comments:

Ms. Leidal: If this was a business wanting to do this, would it be allowed? And if we assign negative points, are there other possibilities for positive points? (Mr. Lott: To offset points, there could potentially be some sort of energy upgrades to the building.)

Mr. Giller: Can you clean up the front façade? There’s boxes in the clear story window on the front façade, and curtains pulled to the side. It doesn’t reflect well on the historic primary elevation. A little TLC could potentially gain them a point or two to offset. (Mr. Lott: We’d have to review the scope of work proposed and that could potentially come back in front of the Commission.)

Mr. Beckerman: I’m unfamiliar with how these negative points work with this, but if the Commission was to say we were not supportive, would it be negative points for all these areas? (Mr. Lott: Negative points assessed are based on the total square footage amount.) Why is it frowned upon in our alpine environment to have heated areas? (Mr. Lott: Heating

the concrete is energy intensive, and that is why negative points are assessed under the energy conservation policy.) Could they offset with solar panels? (Mr. Lott: Maybe if the system is directly connected and the solar was dedicated to the snowmelt system. There are some options for positive points.) Would love to see something really good come out of this to encourage storefronts to be safer that might be energy neutral or less negative. If they could use solar energy then that would be a great outcome.

Mr. Schuman: In 2011 remodel, did they do a HERS? (Mr. Lott: Not sure but just submitting a HERS analysis is no longer valid for one positive point under code revisions.)

Mr. Gerard: At St. John's, we talked about the sidewalk being a pathway to the library.

Mr. Dan Radgowski, Representative for St. Mary's:

A couple points I wanted to bring up. The sidewalk is a much higher traffic area than the front. We are currently heating the first ten feet of that sidewalk with a very dated electric heater, and a new system would be much more efficient than that. We are hopeful we can get that point waived. Tolin Mechanical is ready to get that done. With the weather coming, we should have done this a few months ago. This is a time sensitive project and we'd like to have it done before winter.

Mr. Moore: Has anyone ever gotten hurt out there? (Mr. Radgowski: Yes people have slipped. Just a matter of time until someone gets seriously hurt out there.)

Ms. Leidal: No questions.

Mr. Giller: Is there other work you can pair with this so we're all compliant with the code? (Mr. Radgowski: I can move the boxes out of the window tomorrow.) I want to be careful with the suggestion I made because it's not in the code, but I'd like to think we can pair this with something that can get you a positive point or two. (Mr. Radgowski: With the weather coming, we should have done this a few months ago. Time sensitive project with the concrete and we want to have this done before winter. My understanding of the code was that since these areas are such high traffic we would have the negative points waived. And we just got the funding figured out in late September which is why we did not contact the Town sooner.)

Mr. Gerard: Is that first ten feet of heated sidewalk you mentioned shown on the diagram? (Mr. Radgowski: Yes, and we just leave it on 24/7.)

Mr. Moore: I have mixed feelings about it. Health safety issue and understand energy regulations. It looks really difficult to get a positive point. Concerned about places like this having a slip and fall. Similar to St. John's although no easement. In favor of zero points based on health and safety but not in favor of the pink or public sidewalk, ok with blue and yellow areas.

Ms. Leidal: Agree with Lowell. This is a difficult project to figure out. I have walked on the sidewalk before, so I'm familiar with it. There is no easement and it is not going to a public area beyond deliveries. I agree with staff analysis but am concerned about precedent. What if every business in Town wants this? Once we open this up, it will get out of control in Town. My other thought is if this could be considered institutional use.

- Mr. Giller: I agree with staff. We can't do this within the code as it's written. The timing is unfortunate and we shouldn't be rushing this.
- Mr. Beckerman: I support staff and allowing the heating of the blue area. Yellow would have negative points.
- Mr. Schuman: The two roofs shed in the yellow area. Well aware of safety but concerned about the code and that we could potentially be opening Pandora's Box. If heating concrete as proposed, then they should figure out a way to make up the point. Its not general public purpose.
- Mr. Gerard: This is not public area because only used by members of the church. St. John's was on an easement and went to the public library. This could establish really bad precedent for any property owner. I think it would take negative points. Not sure it fits into a legal exception. (Mr. Truckey: Staff was supporting the blue area without points. Is PC ok with that?) Not sure that was the case.
- Mr. Gerard: Take a vote on the blue section with zero points:
Moore: No, precedent is important.
Leidal: I agree with Lowell and don't support.
Giller: Agree the others, we can't do it.
Beckerman: I agree with staff that it shouldn't be assessed a point.
Schuman: Deserves negative one point.
Gerard: This should take negative one point.

CONSENT CALENDAR:

1. Chalfant Addition and Remodel (JL), 85 Rounds Rd., PL-2020-0412

With no call ups, the Consent Calendar was approved as presented.

COMBINED HEARINGS:

1. Parkway Center Parking Lot Variance (JL), 410 N. Park Avenue, PL-2020-0443

Mr. Lott presented a proposal to install a temporary parking lot with up to 165 spaces to help alleviate skier parking demand near the Gondola. The proposal includes requests for a variance from Policies 22A and 27A, as well as Design Standards for Off-Street Parking Facilities.

Commissioner Questions / Comments:

- Mr. Moore: Is this going to be paid parking? (Lott: I am assuming it is). (Gareth Lloyd, Operating Partner of Interstate Parking Colorado, DBA Breck Park: Yes, it will be the same customer experience that we use throughout the Town.)
- Mr. Leidal: I appreciate the finding for 7/R that it is irrelevant but would suggest that 18/R be added for parking out of view. How does this operate and what about circulation? (Mr. Lloyd: We operate North Gondola lot across the street very similar. Kiosks, apps, QR codes, staff on site directing customers, control drive aisle. Doing that for 3 years now so replicate same business model.) Signage or is there enough room. Does not look like it for 2 way traffic. (Currently egress and ingress, but likely will have staff on site during peak periods to ensure the flow is continuous so we don't have backups.
- Mr. Giller: It appears the only way for skiers to get out of the lot is to go over to Park Avenue and

down. Could you walk us through what you anticipate the pedestrian route to be and how that will be safe and have signs? (We have structured so the pinch points for pedestrians are easy and accessible. Employees will continually direct people. We will have a spot on the southeast corner and there will also be a sidewalk for people to get to crosswalk.) (Mr. Lott: The sidewalk is part of staff recommendation.) The drawing is not clear and it needs to be cleaned up. It looks like the buck and rail fence is on top of the sidewalk. (Staff will meet on site and field fit everything) I encourage you to clarify drawings.

Mr. Beckerman: It is going to be a temporary parking lot. Gareth has proven to be a great operator. I feel confident in the operations. What happens at the intersection when heading north into that City Market parking lot if you have a backup trying to take left turns while others are trying to get the store? You could have people have walking in ski boots and drivers getting road rage and I see an opportunity for disaster if this is not planned well. This needs to be plotted on paper with directional traffic with arrows. Are there any ways for prohibiting pedestrians from taking ways that could be dangerous versus winging it. There could be a lot of guests crossing French street at 8:30 in the morning a. We need to make safety a #1 priority. Remember that guests are going to take path of least resistance which might not be the one you design for them.

Mr. Schuman: Is the plan to close Main St. next summer? (Mr. Lott: I don't know, that decision has yet to be made by the Town Council.) This is a temporary solution for the ski season but are we giving them a year because there are other things, like the closure of Main Street? We made it though summer but I don't doubt that we need this parking lot. I'm curious of the overlying reason that we are giving them full year. In my mind give them the ski season and be out by May 1st. There will be no overnight parking, correct? (Mr. Lloyd: Correct. Just to address your comments with Main Street closed, the North Gondola Lot often filled up on Fridays, Saturdays, and Sundays and it caused people to drive around looking for parking elsewhere and caused traffic on side streets. This will have a lot of value in season and during summer times.) I have to say that this depiction from the parking plan is extremely poor. No real key as to where entrances and exits are. You cannot allow people to enter parking lot on that street. There needs to be another entry somewhere else. There are going to be a lot of frustrated people. A five foot sidewalk is not adequate. We have all seen groups of people walking 2-3 abreast and trying to get around them. This is an extremely poor plan on paper. You should have better ingress and egress. This plan will cause a lot of chaos and frustration. The plan is not a good depiction of what we want to accomplish.

Mr. Gerard: I have concern about the use. What is to prevent overnight parking? I would feel a lot more comfortable about this if there was a condition added prohibiting overnight parking or vehicle storage. When I'm looking at this drawing and without knowing how narrow the alley to the grocery store is, I'm wondering if the entrance would be better off French street to help keep Park Avenue people out of that intersection. Would there be a reason to not cut curb temporarily? (Mr. Lott: I think it is because of CDOT) (Mr. Kulick: The entrance is shown in the area where there was a previous curb cut. There are certain distance requirements from intersections. I'm guessing it has something to do with that. We could run the question by Public Works.)

Mr. Giller: That entrance may be the best location.

Mr. Lloyd: We already prohibit overnight parking in at most locations where we monitor overnight

and issue citations. We manage the City Market parking lot and have eradicated the overnight parking issue there.

- Mr. Gerard: Will there be a price differential between this and the other lots around here: (We always post the price at the entrance of the lot. We are running approximately 12 locations. For the congestion question: We feel that we had a very similar entrance at the South Gondola lot, across from the Transit Center entrance there so there was a lot of congestion. The beauty of the system we manage is that these lots are park and play. We get traffic in quickly and have staff flag cars to placate the congestion. As soon as full we will close off the entrance so people can move forward and go straight into Gold Rush Lot across Park Avenue.)
- Mr. Beckerman: Is it my understanding that other lots will not be open simultaneously? (Yes, North Gondola Lot is open first. When that is full, it will be this lot, then Gold Rush. Gold Rush requires a shuttle to the Gondola, so we use that one last.
- Ms. Leidal: Is there a bus stop nearby? How does the bus flow here? Are there conflicts? Also amenity correct? (Mr. Lott: Yes, the Gray Bus Route stops at the building to the north of this proposed lot but then goes north) Will that create an issue for the bus getting stuck in traffic? Would Public Works be open to widening this? I am concerned with circulation. (Mr. Lott: We sent the plan to Public Works but they did not have any comments on circulation or access) Probably because of temporary nature. (Mr. Kulick: Knowing the owner, they probably would not want to put in any investment in enlarging drive aisle) (Mr. Mr. Lloyd: Where the real pinch point is going to be is Park Avenue at French Street I really see the importance of this lot helping with traffic flow. With the loss of the South Gondola Lot it just means that the pressure point on Gold Rush will change. I see the value for this lot for skier experience.)
- Mr. Gerard: There is still an opportunity for more review with Town Council. It doesn't go from us with any more than a recommendation. (Ms. Puester: The Planning Commission votes, if the vote is approved, the project is approved by the Commission. Then Council will see the Commission's vote on their consent items. If they want to call it up for further discussion, they can call up.)
- Mr. Moore: I am concerned about ingress/egress and people going through City Market parking lot to get to this property. I do agree that the variance is appropriate under the terms of Code, however I would like to see it more fine-tuned to deal with that. It is going to be a mess for those going to City Market if they are not going to go to this lot. This has a passing score because it is temporary but we prefer to see more planning.
- Ms. Leidal: I understand the need but am very concerned with safety and function for pedestrians and vehicles. I do not believe this meets Policies 16 and 17 for Internal and External Circulation.
- Mr. Giller: I really think we need to better understand pedestrian circulation. Crosswalk shown does not enhance safety. I do support the need and I understand temporary nature.
- Mr. Beckerman: I support the project and the temporary parking lot. I would suggest having some flow and circulation diagrams prepared for when this goes to Council as I am sure they will see the same issue we are I think it meets the variance criteria and I and support it.

Mr. Schuman: This is an extremely poor depiction of a plan. This does not meet Policies 16 and 17. The Commission is not doing our job if we approve this tonight. I would like to make a motion different than the staff recommendation at the end of comments.

Mr. Gerard: I agree that it could work but should have had a work session. There are circulation issues and this is too preliminary in nature. If there are no restrictions put on by the Town, this could be a good money making venture.

Mr. Schuman made a motion to be continued. Ms. Leidal seconded. The motion passed unanimously.

OTHER HEARINGS:

1. Gold Flake Demolition and New SFR (LS), 217 Wellington Rd., PL-2020-0364 (Continued from the October 6 Meeting)

Mr. Kulick presented a proposal to demolish an existing single-family residence and construct a 7,047 sq. ft. single family residence. The project was called up at the October 6th meeting and continued to October 20th so the applicants could be present. The call up is to address Commissioner concerns about the northwest second level of the home acting as a potential Accessory Dwelling Unit (ADU).

Commissioner Questions / Comments:

Ms. Leidal: Luke mentioned 1 or 2 walls exceeded the threshold of 25% non-natural materials and needed a condition of approval. Were the plans revised? (Mr. Kulick: No, we can clearly request that as a Condition of Approval and create a new condition #11 to not exceed 25% non-natural materials on any elevation).

Mr. Giller: HERS rating very ambitious and I trust Town will watch for that.

Mr. Mike Bieg, owner of 217 Wellington: We did resubmit those drawings on the exterior to meet the non-natural requirements. (Mr. Kulick: Plans in PC packet were not updated so we will add the COA).

Mr. Moore: I feel like the application should be approved.

Mr. Giller: Previous comment regarding HERS.

Mr. Gerard: I am prepared to accept staff's recommendation. I think this is a short-term rental accessory apartment. I see ways people are getting around our code, but recognize that it is a statement outside of our code so I am prepared to support the application.

Mr. Schuman made a motion to approve the Gold Flake Demolition and New SFR project, with the additional condition of approval #11 that the project comply with Policy 5/R and that any elevation not exceed 25% non-natural materials, seconded by Mr. Giller. The motion was approved 6-0.

TOWN PROJECTS:

Alta Verde Workforce Housing Project (CK), 13250 Colorado State Highway 9, PL-2020-0235

Mr. Kulick presented a proposal to construct three deed restricted workforce housing apartment buildings with 36 one-bedroom, 36 two-bedroom and 8 three-bedroom apartments totaling 64,739 square feet, sited on 4.9 acres. The following specific questions were asked of the Commission:

1. Does the Commission agree that a specific aspect of a project is eligible to receive points in more than one category? If yes, do you support awarding positive points under Policy 20/R: Recreation Facilities for the construction of a Rec Path in addition to receiving positive points under Policy 16/R: Internal Circulation?
2. Does the Commission agree with the final point analysis?
3. Does the Commission have any other comments for the benefit of Town Council in regards to the

project?

Kimball Crangle, Gorman & Co.:

Thanks Chris, I think you covered the project very well with the updates since we last saw the Planning Commission.

Commissioner Questions / Comments:

Ms. Leidal: Reviewing this project like I would review any other project. Building 1: I think that the roof overhang from the east perspective could be encroaching into the 15' setback. Building 2: overhangs are encroaching into a relative setback. Should we be putting a Condition of Approval that it should meet the setbacks from a future subdivision's property lines? (Mr. Kulick: Since this is a Town Project the conditions for project of this magnitude are very stripped down. The Town Attorney does not want to subject the Town with the same conditions although the team is making their best effort to comply with the code. Staff will work with the applicants to have the buildings to meet the relative setbacks at subdivision.) How would it meet the Relative setbacks? If we don't assign negative points, do they squish the buildings together. (Mr. Kulick: They could slightly increase the side and rear property boundaries during subdivision and assign -3 points for not meeting the front relative setback where they don't have the flexibility of adjusting the lot line along Stan Miller Drive.) Will it come back to us? (Mr. Kulick: I am not sure of the subdivision classification, it may be a Class C subdivision which is reviewed by staff.) (Mr. Stark: The eaves encroach 3 ft. into the setback on Building 1, and 2 ft. on the rear.) You can adjust the lot line location as needed, right? (Mr. Kulick: yes). Density will be transferred in correct? (Mr. Kulick: Yes. There are only 3.71 SFES onsite but per the Master Plan up to 20 SFES at a 1:1 ratio per Town Code may be transferred in). There is no need to extinguish density per JUMP? (Mr. Kulick: We have different ratios now, so we would extinguish density from other Town-owned parcels.) How does the dumpster to work? (Mr. Stark: We have designed this layout for Waste Management to fork containers out of enclosure). Points under 16/R and 20/R for rec path, is 690 ft. of the rec path on site? (Mr. Kulick: Yes, I only measured it onsite relative to points.) I did not see the same rec path project on both precedent lists for earning points under both Policy 16/R and 20/R, correct? (Mr. Kulick: Correct. Whether the design earns points under one policy, neither policy or both policies is up to the Commission.) Historic projects have an additional layer where they don't meet a side yard setback, they receive negative points for not meeting setback and for not buffering. I think we only assign negative points under 7/R. I don't think we are double dinging people. (Mr. Kulick: If a project proposed real minimal landscaping, negative points could be assessed under both 7/R and 22/R.) We talked about this under our code revamp. We noted under 7/R that buffering could be achieved by distance. (Mr. Kulick: It is not a make or break proposal on this one but it did present a good opportunity to have this discussion concerning earning points for the same aspect of a project under multiple policies.)

Mr. Giller: Is a 2:12 slope enough for snow to slide. When we get a deep snow, that the panels would not melt the snow. I am concerned that the snow might cover the panels. (Mr. Stark: 2:12 is not best angle for shedding snow. There will be times of year that the panels will be covered in snow. We will have access to roof for maintenance.) Snow shoveling is dangerous. Are you prepared for that? Do you still meet net-zero? (Yes. We have provided staff with solar reports) That portion of the rec path gets crowded. What is the width you propose? (Lindsay: The rec path will be 14 ft. wide within 25 ft. easement with shoulders of road base. 14 ft. is wide enough for people to pass.

Mr. Beckerman: You have done a very good job at taking feedback from the previous worksession and implementing it into the design.

Mr. Schuman: Shoveling a roof is an extremely poor idea. River access area, is there power over there west of rec path? (Ms. Newman: It is intended to be a naturalized setting) The rec path has been talked about a great deal, the concern is all the landscaping, may be hiding the crossing? Rumble strips before you get to crossing may be a good idea. Not going to see bikers coming. Where did the 20% EV come from? Is that standard model for parking lot? EVs are not cheap, and this is a 60% AMI project. (Mr. Stark: Four of those spaces will be EV ready, 10 will be EV capable) (Mr. Kulick: That is the new standard in the Building Code. Project will be around for some time. More cost effective to install conduit now.) When is says EV ready, wiring and pedestal for 24 spots, correct? (Mr. Stark: Yes). The area due south of dumpster is not called out for anything. What is that? (Mr. Stark: A turnaround for the garbage truck.)

Mr. Gerard: Parking spots: 122 of them. Appreciate relocation of the trail. In the space across from the dumpster, wondering if that space could be signed and used as overnight visitor parking. Looks like good project to me.

Mr. Moore: I think it is an excellent project. Having read the previous meeting material, changes the PC suggested have been addressed. I like the bike path. I support the point analysis. I support the project. I think it is going to be a really good project for the community. 1. Yes. Yes. 2. Yes. 3. No.

Ms. Leidal: We need to assign - 3 points under 9/R for not meeting the front relative setback. In the point analysis under density and mass, write that a density transfer is required, that the lot will be subdivided, etc. Important for record keeping. Do not support points under 16/R and 20/R. Lean towards points for 20/R not 16/R. One or the other.

Mr. Giller: Great project. Will do a lot of good for the Town. 1. Points should be awarded under 20/R 2. Yes. 3. Great design, groundbreaking, I support.

Mr. Beckerman: 1. No. In favor of just points under 20/R. 2. Would like to see an adjustment to setbacks. Think project is great right now. Lots of amenities. Don't want this great project to lead to bad projects being approved.

Mr. Schuman: 1. Supportive of points being awarded under Policy 20/R for the rec path. 3. Appreciate Town Attorney slimming down Findings and Conditions. Appreciate the compliance effort. Still have concerns about crossing of bike bath at Stan Miller Rd. but sure will be addressed. Thank staff and design team. Very responsive to our previous feedback.

Mr. Gerard: Award winning project and will set the standard for what you can do in a mountain town and a net zero project. 1. I was very critical of idea that rec path created double dipping but the design has a positive circulation plan as well as unique rec feature so I support double dipping, but I don't think that it is. 2. - 3 points should be assessed for not meeting the front relative setback. We will expect compliance with the subdivision standards. 3. Great work team.

Mr. Giller moved to approve the project with the amendments mentioned showing a score of positive two (+2) points, seconded by Mr. Moore. The motion passed 6-0.

OTHER MATTERS:

1. Town Council Update (Memo Only)

Mr. Gerard: There is a lot of creativity being used to circumnavigate rules for short-term rentals. Having a second short term rental in one residence allows the renter to have four additional occupants.

ADJOURNMENT:

The meeting was adjourned at 8:52 pm.

Steve Gerard, Chair



Memo

To: Breckenridge Town Council Members
From: Chris Kulick, AICP, Senior Planner
Date: 10/21/2020 (For October 27, 2020 Meeting)
Subject: Town Project: Alta Verde Workforce Housing Project

The Alta Verde Workforce Housing Project is being reviewed as a Town Project. All public noticing requirements for the approval of a Town Project have been fulfilled as required under the adopted Town Projects Ordinance amendment (by Council Bill No. 1, Series 2013).

The application is for the construction of three deed restricted workforce housing apartment buildings with 36 one-bedroom, 36 two-bedroom and 8 three-bedroom apartments totaling 64,739 sq. ft. The buildings are sited on 4.9 acres. The entirety of the project will be deed restricted workforce housing. The project will provide 122 parking spaces; 39 within individual garages, and 83 located on exterior surface parking spaces. Included in the proposal is the construction of a section of the Blue River Recreation Path.

The Planning Commission held a hearing on October 20th in which the Planning Commission recommended the Town Council approve the project (with a vote of 6-0). There was no public comment. Detailed Planning Commission meeting minutes are included in the Town Council packet.

Attached to this memo is a complete staff report, substantially the same as presented to the Planning Commission and attachments including site plan and point analysis with a passing score of positive two (+2) points and the attached findings and conditions.

If the Council agrees with the Planning Commission's recommendation after the public hearing in the evening meeting, a motion for approval is provided below.

I make a motion to approve the Alta Verde Workforce Housing Project, PL-2020-0235, located at 13250 Colorado State Highway 9, with a passing point analysis of positive two (+2) points, along with the attached Findings and Conditions.

Staff will be available at the meeting to answer any questions.

Please note: The same set of plans for this project can be [viewed here in a larger size](#).

Town Council Town Project Staff Report

Subject: Alta Verde Workforce Housing Project
(Town Project Hearing – PL-2020-0235)

Proposal: A proposal to construct three deed restricted workforce housing apartment buildings with 36 one-bedroom, 36 two-bedroom and 8 three-bedroom apartments totaling 64,739 sq. ft. The buildings are sited on 4.9 acres. The entirety of the project will be deed restricted workforce housing. The project will provide 122 parking spaces; 39 within individual garages, and 83 located on exterior surface parking spaces. Included in the proposal is the construction of a section of the Blue River Recreation Path.

Date: October 21, 2020 (For meeting of October 27, 2020)

Project Manager: Chris Kulick, AICP, Senior Planner

Applicants: Kimball Crangle, Gorman & Company

Owner: Town of Breckenridge

Address: 13250 Colorado State Highway 9

Legal Description: Tract A, McCain Subdivision

Land Use District: 43: Existing residential, and service commercial uses, recreational, open space, and governmental uses 1:3 FAR (Special review); Subject to the McCain Master Plan.

Site Area: 4.9 acres (213,540 square feet)

Site Conditions: The site is devoid of almost all vegetation and was previously graded to accommodate the former Alpine Rock concrete and asphalt production facility and currently being utilized for the water treatment plant construction staging. The site has no existing easements and is currently within the Blue River flood plain.

Adjacent Uses: North: Concrete Batch Plant, Stan Miller Property
South: Undeveloped McCain Property
East: Town Water Treatment Plant
West: Blue River, Undeveloped McCain Property

Density:

Allowed per Master Plan (20 UPA):	117,600 sq. ft.*
Proposed: (11 UPA)	64,739 sq. ft.
Adjusted Density:	58,265 sq. ft.
(10% exclusion for employee housing)	

*3.71 SFEs for the purpose of affordable housing have been previously allocated to the site for Tract 3. In addition, additional density (up to a maximum of 20 UPA) to accommodate affordable housing may be transferred to this tract and is not subject to the point deductions in the Town Land Use Guidelines Density Policy 3/R.

Mass:	Allowed: Proposed:	141,120 sq. ft. 93,924 sq. ft.
	Adjusted Mass: (10% density exclusion for employee housing)	87,450 sq. ft.
Height:	Recommended: - Two stories (26') from the greater of finished or existing grade per Master Plan (to the ridgeline on shed roofs)	
	Proposed:	43'-7 9/16" (17' - 7 9/16" over; -15 points)
Lot Coverage:	Building / non-Permeable: Hard Surface / non-Permeable: Open Space / Permeable Area:	53,472 sq. ft. (25% of site) 72,749 sq. ft. (34% of site) 87,223 sq. ft. (41% of site)
Parking:	Required: Multi-Family (1.5 spaces per dwelling unit): Proposed:	120 spaces 122 spaces
Snow Storage:	Required: Proposed:	13,064 sq. ft. (25% of parking area) 13,200 sq. ft. (25%)
Setbacks (Perimeter Setbacks):	Required:	
	Absolute Residential:	Front: 10 ft. Side: 3 ft. Rear: 10 ft.
	Relative Residential:	Front: 15 ft. Side: 5 ft. Rear: 15 ft.
	Proposed: Residential:	Front: 12 ft. (-3 Points) Side: 15 ft. Rear: 15 ft.

Item Background

The project site is part of the larger McCain parcel that was acquired by the Town and annexed in 2003. Upon annexation, the McCain parcel was incorporated into Land Use District 43, which allowed for

existing residential and service commercial, recreational, open space, governmental land uses, affordable housing, and mining.

In 2013, the McCain Master Plan was adopted by the Town Council through the Town Project Process. The Plan provided general guidance regarding the types of uses that would be allowed within the 128 acre McCain site.

Subsequent to the adoption of the original Master Plan in 2013, several modifications to the Master Plan have occurred. One of these modifications designated workforce housing as the allowed use for the proposed site.

In August 2019, the Town issued a Request for Proposal (RFP) to develop the designated McCain housing site. After conducting interviews, the interview committee selected Gorman & Company as the developer for the project. Their proposal included developing 80 apartments on the 4.9-acre parcel to be rented at 60% AMI and below. To achieve these low rents, Gorman prepared an application for 9% Low Income Housing Tax Credits (LIHTC) that were awarded to the project in May 2020 by the Colorado Housing and Finance Authority (CHFA).

As a condition of the LIHTC financing, CHFA places a restriction on the property for 40 years that outlines compliance requirements, rental rate maximums at 60% AMI, and income testing requirements. In addition to CHFA's restriction, the Town will be entering into a Ground Lease with the Developer outlining additional requirements for the use of the property. After the CHFA restriction expires, the terms of the Ground Lease will be in effect in perpetuity. The Ground Lease will require that rents continue to be set at 60% AMI and will have a preference for Summit County workforce. The Ground Lease will be executed by the end of 2020.

The Town Council reviewed a previous design and provided general design feedback for the project at the July 14, 2020 work session. On July 21, 2020, the Planning Commission reviewed the same previous design as a worksession and discussed key design elements, including height, architecture, circulation, site disturbance and grading, and provided feedback. At their October 20th meeting, the Planning Commission reviewed and recommended approval of the project. Their detailed comments are documented in the meeting minutes.

Staff Comments

Land Use (Policies 2/A & 2/R): The latest iteration of the McCain Master Plan, approved by the Town Council on November 13, 2018, lists the site's allowed use as workforce housing. Additionally, workforce housing is an acceptable use in Land Use District 43, the Planning Commission had no concerns.

Building Height (Policies 6/A & 6R): The property is greater than 200 feet from Highway 9. Building heights in excess of two stories are discouraged per the McCain Master Plan.

“Building Height:

Tall buildings can impact the views of the property from Colorado Highway 9 and therefore building height restrictions are proposed beyond the above-described 150 foot setback area from Highway 9:

Where buildings are proposed within 200 feet of the Highway 9 right-of-way, building heights in excess of two (2) stories are prohibited. **For buildings beyond 200 feet of the Highway 9 right-of-way, building heights in excess of two (2) stories are discouraged.**”

Per the Development Code, the first two stories are counted as 13-feet tall each and subsequent stories are counted at 12-feet tall each. Hence, a 2-story building will have a height of 26 feet, measured from the highest point of a flat or shed roof: *The greatest dimension, measured vertically, of a building between the highest point of a flat, shed, or mansard roof to the finished grade.* In addition, the relative portion of this policy allows this height to be exceeded with negative points being incurred:

(2) Outside The Historic District:

a. For all structures except single-family and duplex units outside the historic district: Negative points under this subsection shall be assessed based upon a project's relative compliance with the building height recommendations contained in the land use guidelines, as follows:

-15 points	<i>Buildings that are more than one story over the land use guidelines recommendation, but are no more than one and one-half (1½) stories over the land use guidelines recommendation.</i>
1 x (-1/+1)	<i>2. Buildings are encouraged to provide broken, interesting roof forms that step down at the edges. Long, unbroken ridgelines, fifty feet (50') or longer, are discouraged.</i>

The height of a building is measured from any point from within a building’s foundation or around a building’s foundation perimeter to a point *directly below*. For flat or shed roofs, measurement is taken from points around the outside edge of the building’s perimeter to existing grade or finished grade and from within the building’s foundation perimeter to the established finished grade. We also note that in every case, building height is measured per the Development Code from the grade directly below, not by U.S.G.S. elevation.

The height of the tallest portion is 43’-7 9/16” (**17’ – 7 9/16” over**) to the ridge of the shed roof of the northeast corner of Building 3, best illustrated on sheet 26, measured from the ridge to the existing grade below. This exceeds the building height recommended in the land use guidelines by more than one story but less than one and one-half (1½) stories. Staff notes the actual height of the structure at this point is 33’ but due to flood plain issues, over 10’ – 6” of fill is required at this area. This issue will be discussed in more detail under Policy 7/R below. Since building height is measured by either finished or existing grade, whichever is greater, staff finds the proposed height warrants negative fifteen (-15) points under Policy 6/R.

As noted above, negative points may be awarded to buildings that have unbroken ridgelines exceeding 50’. In several locations, the project has unbroken ridgelines greater than 50’, which warrants negative one (-1) point. The Commission was supportive of these point assessments.

Site and Environmental Design (7/R): The site is undeveloped, has minimal existing vegetation from previous mining disturbance and was graded to accommodate the former Alpine Rock asphalt and concrete production facility. Due to the absence of vegetation, there are no significant natural features to preserve. Since the site is within the Blue River flood plain, a significant amount of fill will be brought to the site, up to over 10’-6” in places, to alleviate flood risk.

Policy 7/R (A) encourages new developments to minimize the amount of cut and fill. Specifically the policy states:

*“Site Design And Grading: In order to reduce the amount of site disturbance, including vegetative removal, **developments should be designed in a manner that minimizes the amount of cut and fill on a site**, particularly those areas visible from adjacent properties and rights-of-way. Placement of buildings on the site should be accomplished in a manner that further minimizes new grading and any vegetative removal necessary for site access and drainage. Grading large areas to create a flat "benched" building pad is strongly discouraged unless disruption is planned to be minimized with a mechanical shoring method. The Town must approve any such plan.” (emphasis added).*

At the project hearing, the Commission understood the site is highly disturbed and the amount of proposed fill is required to alleviate flood risk but still found the amount excessive. Staff researched precedent for awarding negative points for excessive fill, but found no instances where negative points were awarded. Previously, the Denison Placer Housing project had a similar drainage issue that required a substantial amount of fill throughout the site but had a written exemption pertaining to the fill in their Development Agreement. At the project hearing, despite the absence of precedent, the Commission agreed with staff's recommendation to award negative four (-4) points, the maximum amount, under Policy 7/R for excessive fill.

Policy 7/R (B) also encourages new developments to be adequately buffered from neighboring properties. The proposed design shows the parking lot setback fourteen feet (14') from the south property line at its closest point with multiple trees proposed to buffer the parking lot from the adjacent property. In general, the design shows abundant open space and features substantial landscaping that appears to buffer the project well from adjacent right of ways and properties. The Commission had no concerns.

Utilities Infrastructure (26/A & 26/R; 28/A), Drainage (27/A & 27/R), and Hazardous Conditions 34/A: As noted above, the project is within the Blue River flood plain and will require an extensive amount of fill to alleviate that condition. Engineering staff has worked with the applicants to ensure the site's drainage will function properly and the design meets all applicable Town Engineering Standards and the provisions of the Breckenridge Flood Damage Prevention Ordinance. Engineering staff is also assisting the project team in acquiring any additional permits like a Conditional Letter of Map Change (CLOMR) from FEMA that is required for developing in a flood plain and ensuring all utility connections such as water and sewer are designed appropriately.

Placement of Structures (9/A & 9/R):

The plan will meet the recommended side and rear yard setbacks with the buildings being setback 15' from the proposed property line at their closest point. The front relative setback of 15' is not being met, as a portion of the roof overhang is 12' from the front property line. Hence, the application will incur negative three (-3) points for not meeting one of the relative setbacks.

Architectural Compatibility (Policies 5/A & 5/R): Previously at the worksession, the Commission was comfortable with the overall direction of the architectural design but felt there may be an opportunity to further break up the building facades/ massing, such as alternating the colors more, rather than having long facades all of one color. Based on that direction, the designers added naturally stained wood window boxes to add some additional texture and visual interest to the facades. The Commission appreciated the

addition of the window boxes and believed they helped address some of the Commission’s and staff’s previous concerns.

Per the Master Plan, “*The Master Plan is not within the Breckenridge Conservation District and does not seek to replicate Breckenridge’s historic architecture*”, therefore more contemporary architecture is permitted. The parcel is adjacent to undeveloped land and across the street from the soon to be completed water treatment plant. With no real architectural restrictions, the designers chose to use a contemporary design that was largely driven by the desire to achieve a net zero energy project that requires maximum solar exposure. The low pitched shed roofs, which are needed to optimize renewable energy generation from the solar photovoltaic panels, are similar in character with other nearby existing buildings (e.g., Breckenridge Building Center, the new water treatment plant).

The exterior materials of the building feature fiber cement varying width fiber cement lap siding, fiber cement board and batten siding, wood tongue and groove siding and fiber cement fascia. All materials feature earth tone colors.

Since the Master Plan explicitly states that architecture does not have to replicate Breckenridge’s historic architecture, and because all façades feature wood tongue and groove siding and wooden window boxes, staff is supportive of the proposed architecture. The Commission did not recommend the assignment of negative points for the use of fiber cement siding based on past precedent if natural material accents were on each elevation.

Building Renderings





Solar Panels

3. Outside of the Conservation District a solar device shall be located based upon the following order of preference. Preference 1 is the highest and most preferred; preference 6 is the lowest and least preferred. A solar device shall be located in the highest preference possible. The order of preference for the location of a solar device outside of the Conservation District is as follows:

(1) as a building-integrated photo-voltaic device;

*(2) **flush mounted (9" above the roofline) panel on an accessory structure roof, or as a detached array of solar devices;***

*(3) **flush mounted roof panel on the primary structure or screened detached array;***

*(4) a **tilted roof mounted panel** that is not highly visible from the public right of way;*

*(5) a tilted or angled and tilted roof mounted panel that is not highly visible from the public right of way;
and*

*(6) a tilted or angled and tilted roof mounted panel that is highly visible from the public right of way.
(Emphasis added)*

This policy also considers the visibility of solar panels from adjacent properties and from public rights-of-way. It encourages that visibility of panels be reduced to the extent possible.

The intent of this policy is to encourage solar panels in the locations that have the least visual impact on the community and adjacent properties while still maintaining good solar access. The Commission believed the applicants did a good job integrating the roof mounted panels into the design of the primary buildings. These panels do not penetrate the roofline and are not visible from the ground. The Commission

had no concerns with the roof mounted panels on the primary buildings and believed they met our preferred criteria.

The proposed roof mount solar arrays on the garages are flush mounted on the angled roof pitches and slightly titled on the flat roof portions. The garage solar arrays are not highly visible from Stan Miller Drive but are fairly visible from the Town-owned neighboring parcel to the south. In an effort to buffer the project as a whole, including the garage mounted solar arrays, the applicants are proposing 16 native evergreen trees between the south parking area and the south property line. The Commission had no concerns with the roof mounted panels on the garages and believed they also meet our preferred criteria.

Energy Conservation (33/R): The project is designed to be a net zero energy project and is eligible for positive six (+6) points under Policy 33/R. “Net zero energy” means that the project will generate at least as much energy as it consumes over the course of a year. The site overall will host between 600 and 650 kilowatts (kw) of solar panels on the building’s rooftops. As comparison, the McCain solar garden further south, is a 500 kw array.

Social Community (24/A & 24/R): Per Section A. of this policy, any application with 100% of project density as employee housing receives positive ten (+10) points if it is rented at a rental rate affordable to 80 percent of the Area Median Income (AMI) for Summit County or less and the deed restriction complies with the Town's current deed restriction standards. Since this project contains 100% employee housing density, will be rented at a rate not to exceed 60% AMI and will have a current workforce housing deed restriction placed on the property, the project warrants the positive ten (+10) points.

Additionally under Section B. of this Policy, projects that are identified as a Town Council Goal are eligible for additional positive points.

The 2018 Town Council Goals included a desire to develop workforce housing at this location on the McCain property. For a project offering this much public benefit and a scope this large, the Commission recommended positive six (+6) points based on past precedent.

Council Goals that have received positive six (+6) points in the recent past include:

- 2020- Gondola Lots Public Parking Structure
- 2018- Tiger Dredge Parking Structure
- 2017- Second Water Treatment Plant
- 2014 - Pinewood Village 2
- 2012 - Harris Street Community Building Restoration, Rehabilitation, Addition and Landmarking
- 2011 - McCain Solar Garden

Access / Circulation (16/A & 16/R; 17/A): Vehicular access is proposed off of Stan Miller Drive via a single curb cut and is sized for emergency vehicles. Staff has no concerns.

The plan also separates vehicles and pedestrians with the construction of a 660 ft. section of a 14’ wide asphalt public recreation path with 3’ unpaved shoulders. The proposed recreation path was relocated based on Commissioner feedback at the previous worksession and now runs along the north property line and continues west and south into the McCain parcel to avoid crossing the vehicular entrance to the property. Rerouting the rec path off of Highway 9 in this area is desired and has been contemplated in other projects such the water treatment plant and the Breckenridge Central Market. This section of recreation path provides a vital public connection and is eligible for positive points based on past precedent.

Also, 6' concrete sidewalks will facilitate safe pedestrian circulation within the site. The Commission was supportive of the circulation plan.

Recreation Facilities (20/R): As described above, a 14' wide public recreation path with 3' unpaved shoulders will be constructed as part of this project. Completing this section of recreation path will benefit the residents of this development and provide a safer alignment of the Blue River Recreation Path between Breckenridge and Frisco. Several past projects were awarded positive points for the construction of rec paths.

Past Precedent

1. South Gondola Lots Public Parking Structure, PL-2019-0523, 12/3/2019. Provides a new public pedestrian connection and covered bike storage.
2. Town Parking Structure, PL-2017-0607, 3/6/2018. Additional public pedestrian/bike path to the river and covered public bike storage.
3. Denison Placer 1, PL-2017-0014, 2/21/2017. 10' asphalt recreation path along Floradora Drive
4. Pinewood Village II, PL-2014-0170, 1/6/2015. Provided a single track trail above and to the south of the proposed building to be used by not only occupants of Pinewood Village 2, but also by the community as a whole. Positive three (+3) points were awarded.
5. Summit County Justice Center Expansion, PC#2003084. Providing at grade bike path connection at N. Park Avenue. Positive three (+3) points were awarded.
6. Main Street Junction Condo/Hotel, PC#1999081. Project provides two hard surface trails, sidewalk along Main Street, picnic/barbecue area, & two exterior hot tub areas. Trails realigned, upgraded, signed & available to public. Positive three (+3) points were awarded.
7. Wellington Neighborhood Master Plan, PC#1999139. All open space (private and public) available to public with trails. Positive three (+3) points were awarded.

Based on past precedent, the Commission believed constructing a section of a public recreation path in this area warrants positive three (+3) points under Policy 20/R.

Off-Site Improvements: In conjunction with the construction of this project, several off-site improvements are proposed, including an attached sidewalk and mid-block crossing on Stan Miller Drive, a gathering area to the west of the site adjacent to the Blue River and associated landscaping and an additional portion of Recreation Path beyond the section proposed on-site. Technically speaking, these improvements are currently on the same parcel as the remainder of the project but will eventually be offsite once the project site is subdivided into the 4.9 acre parcel shown. Since the Town owns both parcels and will maintain the improvements, the Commission did not have any issues reviewing them with this application.

Parking (18/A & 18/R): The project proposes 123 parking spaces, 39 spaces in one-car garage units and 83 surface parking spaces. This exceeds the required 120 spaces by 2 spaces. 10% of the proposed spaces will be electric vehicle (EV) capable, with four of the spaces being full EV spaces.

Previously the Commission expressed concern over whether the number of parking spaces would meet the needs of residents but since the proposed number of spaces exceeds the requirements of the code, there is nothing further that can be mandated. The Commission was supportive of the parking plan as proposed.

Landscaping (22/A & 22/R): The landscaping plan appears to adequately screen the property on all four sides and beautify a currently barren site. The landscaping plan consists of 97 deciduous trees with a

minimum of 2" caliper, 69 native evergreen trees at a minimum of 6' in height and 166 native shrubs. The design team has minimized the amount of cobble in the drainage ditch proposed on the north side of the site and has included more native seeded vegetation within the ditch area based on feedback received from staff and the Commission. The Commission had no concerns.

Storage 14/R: The project proposes 39 garage units in three different sizes (12' x 22', 12' x 24' and 16' x 22') totaling 12,608 sq. ft. After subtracting out the total square footage required for the 39 parking spaces (6,318 sq. ft.) there is 6,290 sq. ft. remaining to be utilized as storage. Additionally, the project features a 289 sq. ft. bike room. Together, this represents 10.1% of the project's total density and exceeds the recommended 5% for interior storage. The Commission had no concerns.

Refuse 15/R: The location of the dumpster and trash area is located at the southeast most garage, in garage building 2 to allow for front load trash trucks to access containers without the need to be rolled out. Also, since the trash area is fully enclosed, its space is counted as mass. The Commission was supportive of the design.

Open Space 21/R: 41% of the site qualifies as open space. This exceeds the recommended 30% for residential uses, the Commission had no concerns.

Exterior Lighting (Sec. 9-12): The proposed lighting fixtures and photometric plan comply with the Town's Exterior Lighting and Off Street Lighting Chapters. All lights proposed are full cut off fixtures and all proposed fixtures are at or below the maximum lumens and kelvins per fixture. All fixtures locations proposed meet the restrictions for height above grade, residential (<15'), pole height (<15') or (<10' pedestrian paths). The photometric plan shows the estimated foot-candle levels with maximum and average illumination of emitted light well below two-tenths ($2/10$) foot-candle at the property line. The Commission had no concerns.

Point Analysis (Section: 9-1-17-3): The Commission found that this application met all Absolute policies and recommended negative twenty-three points (-23) and positive twenty-five (+25) points, which results in a positive two (+2) point total.

Negative Points (-23)

- Policy 6/R Building Height: Negative fifteen (-15) points for exceeding the building height recommended in the Master Plan by more than one story but less than one and one-half ($1/2$) stories.
- Policy 6/R Building Height: Negative one (-1) point for unbroken ridgelines exceeding 50'.
- Policy 7/R Site and Environmental Design: Negative four (-4) points for excessive fill.
- Policy 9/R Placement of Structures: Negative three (-3) points for not meeting the front relative setback of 15' but meeting the absolute setback of 10'.

Positive Points (+25)

- Policy 24/R Social Community: Positive ten (+10) points, 100% of the project's density is deed restricted affordable housing.
- Policy 24/R Social Community: Positive six (+6) points, the project addresses a specific need of the community which was identified in a yearly goals and objectives report.
- Policy 33/R Energy Conservation: Positive six (+6) points, the project is designed to be a net zero energy project.

- Policy 20/R Recreation Facilities: Positive three (+3) points, for construction of a portion of the public Blue River Recreation Path.

Total Score (+2)

Staff Recommendation

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013). As a result, the Planning Commission was asked to identify any concerns with this project's recommended point analysis listed directly above, and any other code issues or general concerns with the proposed project. The Commission was then asked to make a recommendation to the Town Council.

The Planning Commission recommended that the Town Council approve the Alta Verde Workforce Housing Project, PL-2020-0235, located at 13250 Colorado State Highway 9 with the attached Point Analysis of positive two (+2) points and Findings and Conditions.

Town Project Hearing Impact Analysis				
Project:	Alta Verde Workforce Housing Project	Positive	Points	+25
PL:	PL-2020-0238			
Date:	10/27/2020	Negative	Points	- 23
Staff:	Chris Kulick, AICP; Senior Planner			
		Total	Allocation:	+2
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		Site is designated for workforce housing per McCain Master Plan
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		Under density
4/R	Mass	5x (-2>-20)		Under mass
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)	0	Uses an extensive amount of fiber cement siding but features limited areas of wood tongue and groove siding.
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)	- 15	More than one story but less than one and one half (1 1/2) stories over the land use guidelines recommendation.
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)	- 1	Unbroken ridges over 50 feet in length
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)	- 4	An extensive amount of fill will be imported to the site.
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)	- 3	Does not meet front relative setback. Proposed: Front: 12 ft., Side: 15 ft., Rear: 15 ft.
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		25%
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		Represents 7.8% of the project's total density
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		

17/A	External Circulation	Complies		
18/A	Parking	Complies		123 spaces proposed (40 garage, 90 surface)
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)	+3	Construction of public rec path segment
21/R	Open Space - Private Open Space	3x(-2/+2)		41% of site
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		97 deciduous trees with a minimum of 2" caliper, 69 native evergreen trees at a minimum of 6' in height and 166 native shrubs.
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)	+10	100% of project density is deed restricted workforce housing.
24/R	Social Community - Community Need	3x(0/+2)	+6	Meets 2018 Council Goal
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation			
	New Structures; Percent Energy Saved Beyond Adopted Residential Energy Code Standard			
33/R	Obtaining a HERS index	+1		
33/R	20-39%	+2		
33/R	40-59%	+3		
33/R	60-79%	+4		
33/R	80-99%	+5		
33/R	100%+	+6	+6	Net zero energy project
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		

33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		Will comply with the provisions of the Breckenridge flood damage prevention ordinance
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		The proposed lighting fixtures and photometric plan comply with the Town's Exterior Lighting chapter.
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

TOWN OF BRECKENRIDGE

Alta Verde Workforce Housing Town Project Tract A, McCain Subdivision 13250 Colorado State Highway 9 PL-2020-0235

FINDINGS

1. This project is “Town Project” as defined in Section 9-4-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. The Planning Commission reviewed and considered this Town Project at a worksession on July 21, 2020. In connection with its review of this Town Project, the Planning Commission scheduled and held a public hearing on October 20, 2020, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4B of the Breckenridge Town Code. In addition to posting on the Town’s website, notice of the planning commission’s public hearing on a proposed town project shall be given in the same manner as is required for a final hearing on a Class A development permit application pursuant to chapter 1 of this title. Failure of a person to receive the notice described in this section shall not impair the validity of the planning commission’s public hearing on a proposed town project, or the planning commission’s recommendation to the town council with respect to such proposed town project. Because the process of reviewing and approving a town project is discretionary and administrative, and not quasi-judicial, any member of the town council may properly attend the planning commission’s public hearing(s) and deliberations with respect to a proposed town project. At the conclusion of its public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on October 27, 2020. This Town Project was listed on the Town Council’s agenda for the October 27, 2020 agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project the Town Council received from the Director of the Department of Community Development, and gave due consideration to, a point analysis for the Town Project in the same manner as a point analysis is prepared for a final hearing on a Class A development permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.

7. Per Town Code Section 9-14-2 *Town Council Authority Over Town Projects*, the Town Council has the authority, in its sole discretion, has the sole and final authority to determine all aspects of the town project, including but not limited to, its location and design. Chapters 1, 3 and 12 of this title and the town of Breckenridge land use guidelines do not apply to town projects, but town projects shall be processed instead in accordance with the provisions of this chapter.

CONDITIONS

PRIOR TO ISSUANCE OF BUILDING PERMIT

9. Applicant shall submit and receive approval for a final drainage plan by the Town Engineer.

10. The applicant shall submit final Colorado Department of Transportation (CDOT) approval of the project including the final traffic study by a registered Colorado Professional Engineer.



LEGAL DESCRIPTION

A LEGAL DESCRIPTION AS SUBMITTED BY THAT CERTAIN MEMORANDUM OF UNDERSTANDING BETWEEN TOWN OF BRECKENRIDGE, A COLORADO MUNICIPAL CORPORATION, AS LESSOR, AND GORMAN & COMPANY, A CORPORATION, AS LESSEE, AS RECORDED IN BOOK _____ OF RECORDS IN THE COUNTY OF SUMMIT, COLORADO, IS INCORPORATED BY REFERENCE INTO THIS INSTRUMENT.

A PORTION OF LAND BEING A PORTION OF TRACT A, OF THE MILLER SUBDIVISION, A SUBDIVISION AS MADE FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER FOR SUMMIT COUNTY AT RECEPTION NO. 030890, SAID PARCELS BEING LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 11 WEST OF THE 10TH MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- 1. ALONG THE WESTERLY RIGHT-OF-WAY, OR BEING THE RIGHT-OF-WAY OF THE WESTERLY RIGHT-OF-WAY OF SEAN MULLER DRIVE, THENCE CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY FOR THE FOLLOWING COURSES:
 - a. ALONG SAID WESTERLY RIGHT-OF-WAY, OR BEING THE RIGHT-OF-WAY OF THE WESTERLY RIGHT-OF-WAY, HAVING A BOUNDARY OF 204.96 FEET AND A CORNER BEING THE SOUTHWEST CORNER OF THE SAID MULLER SUBDIVISION AND OCCASION ON THE WESTERLY RIGHT-OF-WAY OF SEAN MULLER DRIVE, THENCE CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY FOR THE FOLLOWING COURSES:
 - 1. 500.00 FEET ALONG THE LINE OF A CURVE TO THE LEFT, HAVING A RADIUS OF 205.00 FEET AND A CHORD WHICH BEARS S105°47'41"E, A DISTANCE OF 270.00 FEET.
 - 2. 500.00 FEET, A DISTANCE OF 51.36 FEET.
 - 3. 500.00 FEET, A DISTANCE OF 367.21 FEET.
 - 4. 500.00 FEET, A DISTANCE OF 204.96 FEET.
 - 5. 500.00 FEET, A DISTANCE OF 367.21 FEET.
 - 6. 500.00 FEET, A DISTANCE OF 471.15 FEET TO THE POINT OF BEGINNING.

- 2. 500.00 FEET, A DISTANCE OF 51.36 FEET.
- 3. 500.00 FEET, A DISTANCE OF 367.21 FEET.
- 4. 500.00 FEET, A DISTANCE OF 204.96 FEET.
- 5. 500.00 FEET, A DISTANCE OF 367.21 FEET.
- 6. 500.00 FEET, A DISTANCE OF 471.15 FEET TO THE POINT OF BEGINNING.

COUNTY OF SUMMIT,
STATE OF COLORADO

SARAFINCE, CONTAINING 228,848 SQUARE FEET, OR 5.06 ACRES, MORE OR LESS.



BUILDING CODE ANALYSIS

Applicable Codes
 2022 International Building Code (IBC)
 Local Ordinance
 Town of Breckenridge (2020-04)
 zoning: Multifamily (per Town of Breckenridge, Town Code Section 9-1-2(3)(b), 9-1-4(1) & Other Ancillary Development (Outside of the Conservation Area))
 Front setback: 12' 0"
 Rear setback: 0' 0"
 Side setback: 0' 0"

IRC Chapter 3 - Use and Occupancy Classification
 Minimum Use: Residential (R-2)
 Business (B-1)
 Storage (S-1)

IRC Chapter 5 - Base of Building Heights and Areas
 Height per Table 503.1, allowable stories per table 503.1

IRC Chapter 6 - Types of Construction
 Type VB: Impressed load wood frame

Table 601.1
 Fire-resistance rating (R) - Impressed load
 0 hours: Bearing walls
 0 hours: Nonbearing walls & partitions
 0 hours: Floor construction
 0 hours: Roof construction

Table 602
 Type VB (2 for 199) 10 x 14 x 8 (2) (Occupancy group A-2)

IRC Chapter 7 - Fire and Smoke Protection Features
 Table 703.1
 North: 30' or greater
 East: 30' or greater
 South: 30' - 10' (per section), Sprinklered 450 allowable openings
 West: 30' - 20' (per section), Sprinklered 750 allowable openings

IRC Chapter 9 - Fire protection systems
 9.2 occupancy - protected with NFPA13 sprinkler system

LAND USE TABLE

STANDARDS	ALLOWED	DEVELOPMENT PLAN
Lot Area	No limit	4.5 acres (113,140 SF)
Density	84 UDSF	84 UDSF (no/100 unit) for employees
Lot Coverage	Building 50% Open Space 50%	46,948 SF (41%) 12,740 SF (10%) (no/100 unit) no park, 12,740 SF
Building Height	Open Space 7' 3 stories (24')	46 FT (12%) 2 stories, 18' 0" (from existing grade)
Parking	100	133
Front Set Back	15'	15'
Side Set Back	0'	5'-0" - 7' (no/100 unit)
5 foot	0'	5'-0" - 7' (no/100 unit)
Rear	15'	15' - 0"
Use Code	Res (R-2)	RES (R-2)
Number of Units	88 (20 units)	88 (20.5 Proposed units)

PROJECT DESCRIPTION

The project is an 80-unit Alta Verde Apartment project on the 140-acre site in Breckenridge, Colorado. The project includes 30 one-bedrooms, 30 two-bedrooms and 20 three-bedrooms. The project will offer three buildings that are two-story, steel-frame and walk-up construction, and will utilize a 4" steel foundation wall with a cast-in-place concrete system to help stabilize the steel frame columns. The project will be certified for the GreenSource Ready Home (GRH) program and is aiming to obtain a best Green Source designation. To reach best class, the project will install 1000 kilowatts of photovoltaic solar panels. In-unit amenities will include full-sized kitchens, single-stair layouts, reduced sound utility costs due to 20th construction methods and passive solar strategies. On-site amenities will include an site management, central laundry facilities, pet-friendly (with designated pet access, private drive, community room with a kitchen, pet area, hot tub, community garden, electric charging stations and close proximity to the local County bus line.

CLASS A DRAWING INDEX	
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02 OF 35	SURVEY
03 OF 35	SITE PLAN
04 OF 35	UTILITY PLAN
05 OF 35	GRADING & DRAINAGE PLAN
06 OF 35	EROSION CONTROL PLAN
07 OF 35	LANDSCAPE NOTES AND SCHEDULE
08 OF 35	LANDSCAPE PLAN
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11 OF 35	PHOTOMETRIC PLAN
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13 OF 35	ARCHITECTURAL SITE PLAN & CONSTRUCTION STAGING
14 OF 35	ARCHITECTURAL FLOOR PLANS - BUILDING 1
15 OF 35	ARCHITECTURAL FLOOR PLANS - BUILDING 1
16 OF 35	ROOF PLAN AND PV ARRAY - OVERALL
17 OF 35	ELEVATIONS - BUILDING 1
18 OF 35	ELEVATIONS - BUILDING 1
19 OF 35	SECTIONS - BUILDING 1
20 OF 35	SECTIONS - BUILDING 1
21 OF 35	ARCHITECTURAL FLOOR PLANS - BUILDING 2
22 OF 35	ELEVATIONS - BUILDING 2
23 OF 35	ELEVATIONS - BUILDING 2
24 OF 35	SECTIONS - BUILDING 2
25 OF 35	ARCHITECTURAL FLOOR PLANS - BUILDING 3
26 OF 35	ELEVATIONS - BUILDING 3
27 OF 35	ELEVATIONS - BUILDING 3
28 OF 35	SECTIONS - BUILDING 3
29 OF 35	GARAGE 1 PLANS AND SECTIONS
30 OF 35	GARAGE 1 ELEVATIONS
31 OF 35	GARAGE 2 PLANS AND SECTIONS
32 OF 35	GARAGE 2 ELEVATIONS
33 OF 35	MATERIAL BOARD
34 OF 35	RENDERINGS
35 OF 35	RENDERINGS
CD 03 EXHIBIT A	ILLUSTRATIVE LANDSCAPE PLAN



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GROSS AREA SCHEDULE...

Level	Area
BUILDING 1	
02 2ND FLOOR	20826 SF
01 1ST/GROUND FLOOR (UPPER)	20995 SF
	41821 SF
BUILDING 2	
01 1ST/GROUND FLOOR	11395 SF
02 2ND FLOOR	11276 SF
	22671 SF
BUILDING 3	
01 1ST/GROUND FLOOR	8020 SF
02 2ND FLOOR	8350 SF
	16370 SF
GARAGE 1	
01 1ST/GROUND FLOOR	8393 SF
	8393 SF
GARAGE 2	
01 1ST/GROUND FLOOR	4173 SF
	4173 SF
TOTAL GROSS SQUARE FEET	89324 SF



COLORADO OFFICE
1060 BANNOCK ST.
SUITE 305
DENVER, CO 80204

ALTA VERDE
CLASS A DEVELOPMENT

Issue Dates:

DATE	DESCRIPTION
10/20/2024	CLASS A DEVELOPMENT SUBMITAL

Project No. 240001-0010
 Plot Date: 9/16/2024 11:28 AM
 Drawn by: AO
 Checked by: NAS
 Approved by: NAS

Sheet Title
COVER SHEET

Sheet No.
01 OF 35

**ALTA VERDE
CLASS A DEVELOPMENT**

Breckenridge, CO 80424

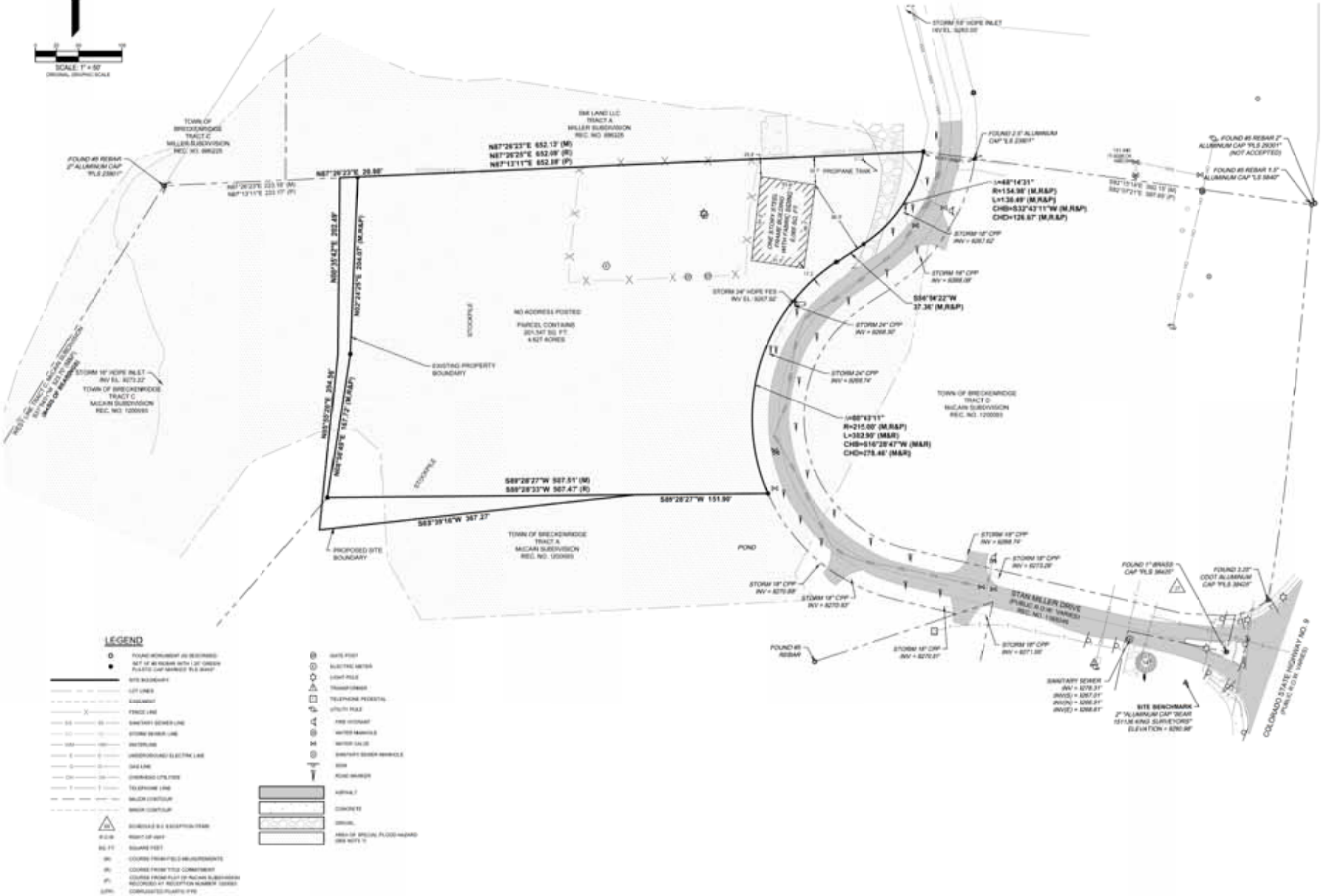
Issue Dates:

DATE	DESCRIPTION
03/25/2014	CLASS A DEVELOPMENT SUBMITTAL

Project No.	120992-00-01
Plot Date:	03/25/2014 11:58:57 AM
Drawn by:	I. CRAWFORD
Checked by:	D. ALLEN
Approved by:	T. SWAN

Sheet Title
SURVEY

Sheet No.
02 OF 35

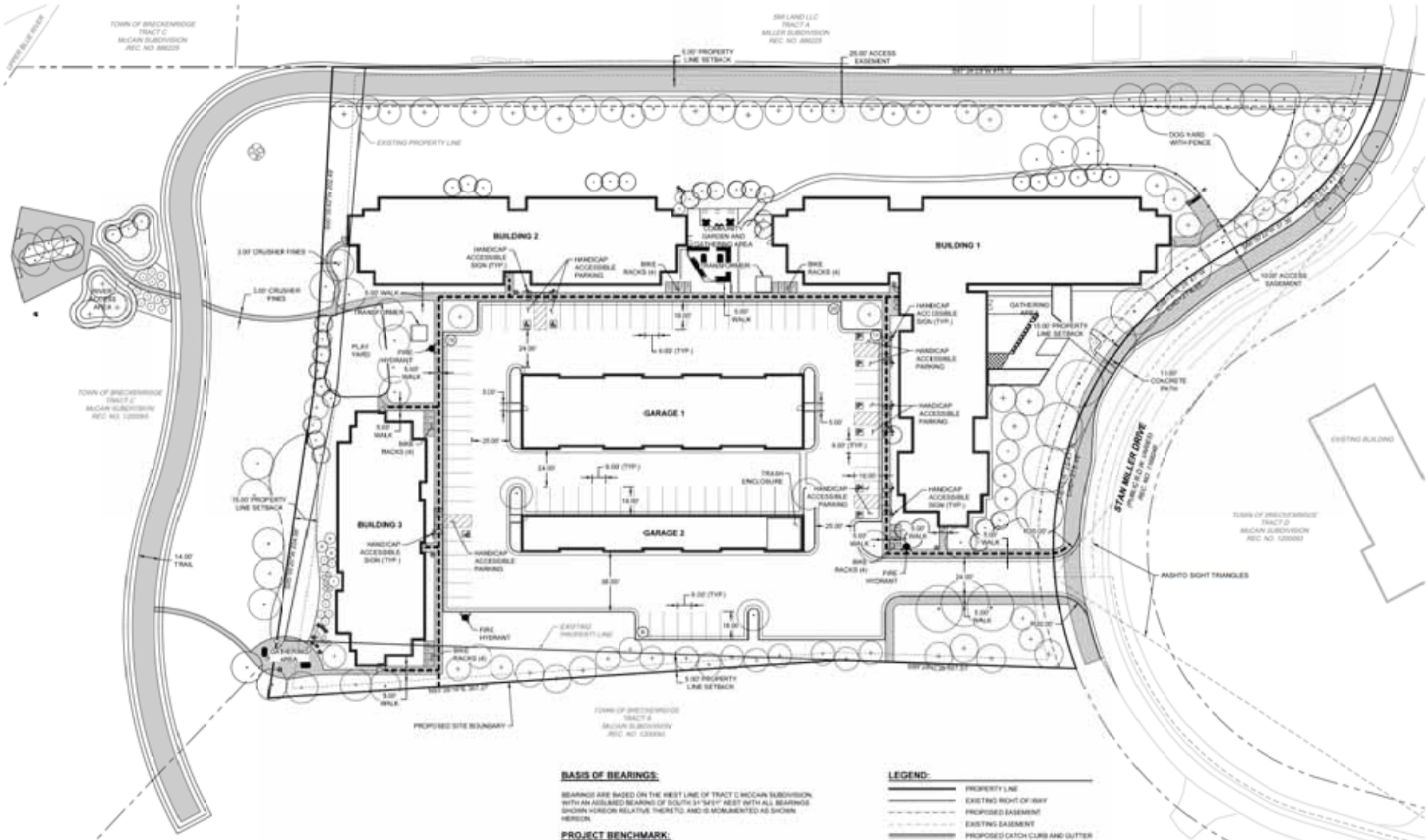


LEGEND

- FOUND BENCHMARK AS DESCRIBED
 - SET OF 48 INCHES WITH 1/2\"/>
- | | | | |
|-----|--------------------------------|---|---------------|
| --- | PROPERTY BOUNDARY | ⊗ | WATER MAIN |
| --- | LOT LINES | ⊕ | WATER SERVICE |
| --- | EASEMENT | ⊙ | WATER TANK |
| --- | FENCE LINE | ⊗ | WATER METER |
| --- | SEWER BENCH LINE | ⊗ | WATER METER |
| --- | STORM BENCH LINE | ⊗ | WATER METER |
| --- | WATER MAIN | ⊗ | WATER METER |
| --- | UNDESIGNED ELECTRIC LINE | ⊗ | WATER METER |
| --- | DATE LINE | ⊗ | WATER METER |
| --- | UNDESIGNED UTILITY | ⊗ | WATER METER |
| --- | TELEPHONE LINE | ⊗ | WATER METER |
| --- | MASON CONTOUR | ⊗ | WATER METER |
| --- | WOOD CONTOUR | ⊗ | WATER METER |
| △ | BOUNDARY B.M. DESCRIPTION HERE | ⊗ | WATER METER |
| ⊗ | 4\"/> | | |

**ALTA VERDE
CLASS A DEVELOPMENT**

Breckenridge, CO 80424



BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE WEST LINE OF TRACT C MCCOAN SUBDIVISION WITH AN ASSIGNED BEARING OF SOUTH 34°54'00" WEST WITH ALL BEARINGS SHOWN HEREON RELATIVE THERETO, AND IS MONUMENTED AS SHOWN HEREON.

PROJECT BENCHMARK:

NO. 8 BENCHMARK 1 (BR. BEING A FOUND 3 7/8" BRASS CAP STAMPED "NO. 8 BR 1917" LOCATION: 2.8 METERS NORTH ALONG STATE HIGHWAY 4 FROM THE COUNTY COURTHOUSE AT BRECKENRIDGE, 114 FEET EAST OF THE CENTER LINE OF THE HIGHWAY, 48 FEET SOUTHWEST OF A TELEPHONE POLE, 11.5 FEET WEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.2 FOOT ABOVE THE GROUND. ELEVATION IS 5337.76 FEET. (NAD 83 DATUM).

SITE BENCHMARK:

FOUND 2" ALUMINUM CAP STAMPED "CP BEAR 15 11/16" (ING SURVEYOR)" LOCATION: LOCATED SOUTH OF STAN MILLER DRIVE, AT THE END OF THE CONCRETE MICHIGAN CURBING FROM COLORADO STATE HIGHWAY NO. 6. ELEVATION IS 5326.86 FEET. (NAD 83 DATUM).

NOTES:

- 1) ALL DIMENSIONS ARE TO FLOWLINE AND BUILDING FACE UNLESS OTHERWISE NOTED.
- 2) ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH DETECTIBLE WARNING PAVES. REF. DETRACK DETAIL.
- 3) CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FROM PLANS.
- 4) CONTRACTOR SHALL REMOVE AND REPLACE DAMAGED CURB, GUTTER, PARKING AND LANDSCAPED AREAS OUTSIDE THE LIMITS OF SITE AND RESTORE BACK TO ITS ORIGINAL CONDITION.

LEGEND:

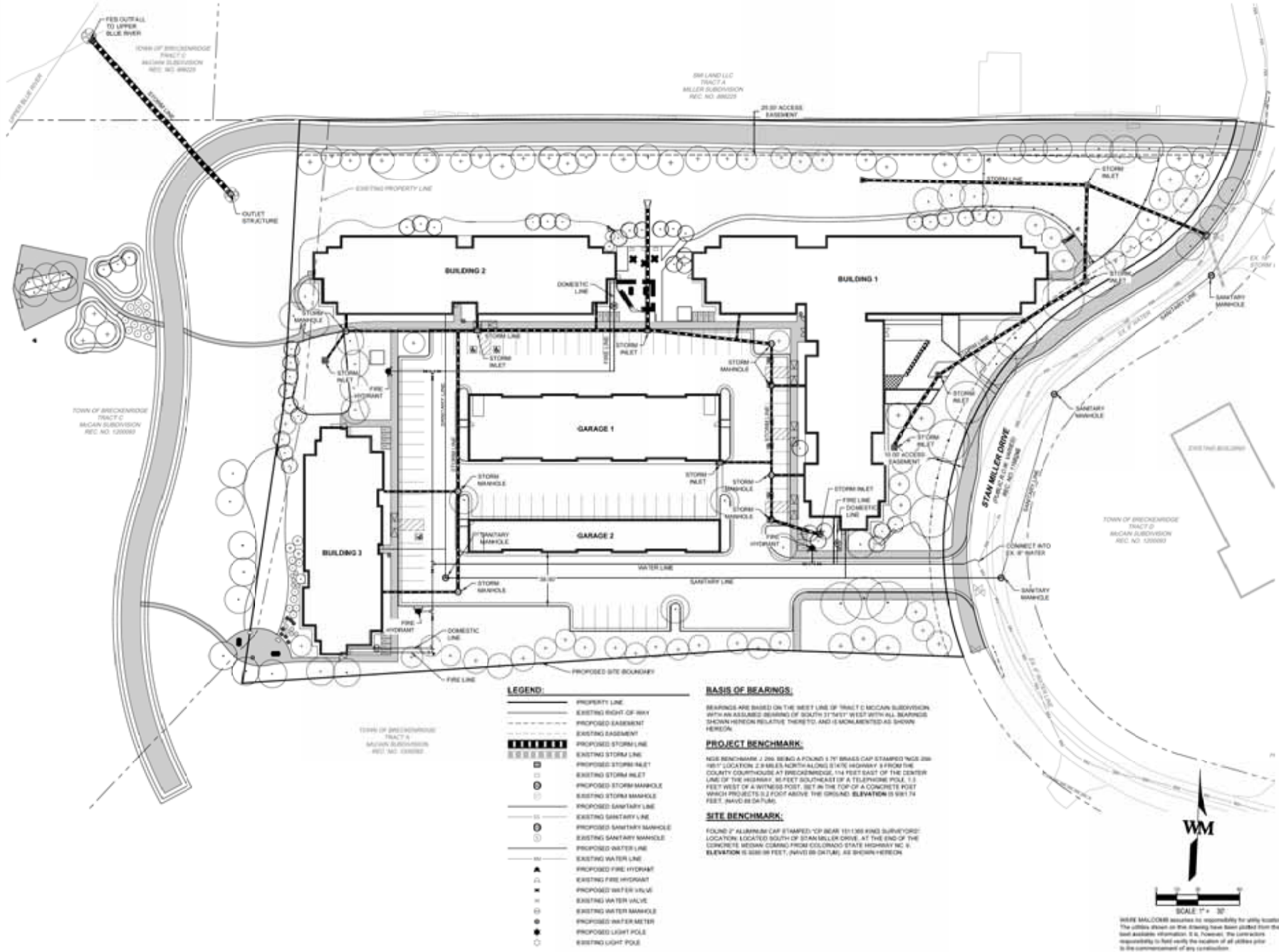
- PROPERTY LINE
- - - EXISTING RIGHT OF WAY
- - - EXISTING EASEMENT
- - - PROPOSED CATCH CURB AND GUTTER
- - - PROPOSED SPILL CURB AND GUTTER
- - - EXISTING CURB AND GUTTER
- PARKING COURT
- HANDICAP FUMP
- PROPOSED FENCE
- ACCESSIBLE ROUTE
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED SIDEWALK
- PROPOSED CRUISER FINES
- PROPOSED SIGHT TRIANGLE

Issue Dates:	
DATE	DESCRIPTION
08/08/19	CLASS A DEVELOPMENT SUBMITTAL

Project No.	190601.00 (0)
Plot Date:	8/20/2019 11:52:07 AM
Drawn by:	J. CRAWFORD
Checked by:	D. ALLER
Approved by:	T. SWAN

Sheet Title
SITE PLAN

Sheet No.
03 OF 35



- LEGEND:**
- PROPERTY LINE
 - - - - - EXISTING RIGHT OF WAY
 - - - - - PROPOSED EASEMENT
 - - - - - EXISTING EASEMENT
 - - - - - PROPOSED STORM LINE
 - - - - - EXISTING STORM LINE
 - PROPOSED STORM INLET
 - EXISTING STORM INLET
 - PROPOSED STORM MANHOLE
 - EXISTING STORM MANHOLE
 - - - - - PROPOSED SANITARY LINE
 - - - - - EXISTING SANITARY LINE
 - PROPOSED SANITARY MANHOLE
 - EXISTING SANITARY MANHOLE
 - - - - - PROPOSED WATER LINE
 - - - - - EXISTING WATER LINE
 - ▲ PROPOSED FIRE HYDRANT
 - ▲ EXISTING FIRE HYDRANT
 - ▲ PROPOSED WATER VALVE
 - ▲ EXISTING WATER VALVE
 - PROPOSED WATER MANHOLE
 - EXISTING WATER MANHOLE
 - PROPOSED LIGHT POLE
 - EXISTING LIGHT POLE

BASIS OF BEARINGS:
 BEARINGS ARE BASED ON THE WEST LINE OF TRACT C MOCASIN SUBDIVISION WITH AN ASSUMED BEARING OF SOUTH 31° WEST WITH ALL BEARINGS SHOWN HEREIN RELATIVE THERETO, AND IS IDENTIFIED AS SHOWN HEREIN.

PROJECT BENCHMARK:
 NEAR BENCHMARK 2 200 BEING A FOUND 1 1/2" BRASS CAP STAMPED N68 200 1087' LOCATION 2 1/2 MILES NORTH ALONG STATE HIGHWAY 8 FROM THE COUNTY COURTHOUSE AT BRECKENRIDGE, 114 FEET EAST OF THE CENTER LINE OF THE HIGHWAY, 86 FEET SOUTH/EAST OF A TELEPHONE POLE, 1.3 FEET WEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.2 FOOT ABOVE THE GROUND. ELEVATION IS 9317.74 FEET. (NAD 83 DATUM).

SITE BENCHMARK:
 FOUND 2" ALUMINUM CAP STAMPED "OP BEAR 101100 KING SURVEYORS" LOCATION LOCATED SOUTH OF STAN MILLER DRIVE, AT THE END OF THE CONCRETE MEDIAN CORNING FROM COLORADO STATE HIGHWAY 8. ELEVATION IS 9249.99 FEET. (NAD 83 DATUM), AS SHOWN HEREIN.



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been located from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

ALTA VERDE
CLASS A DEVELOPMENT

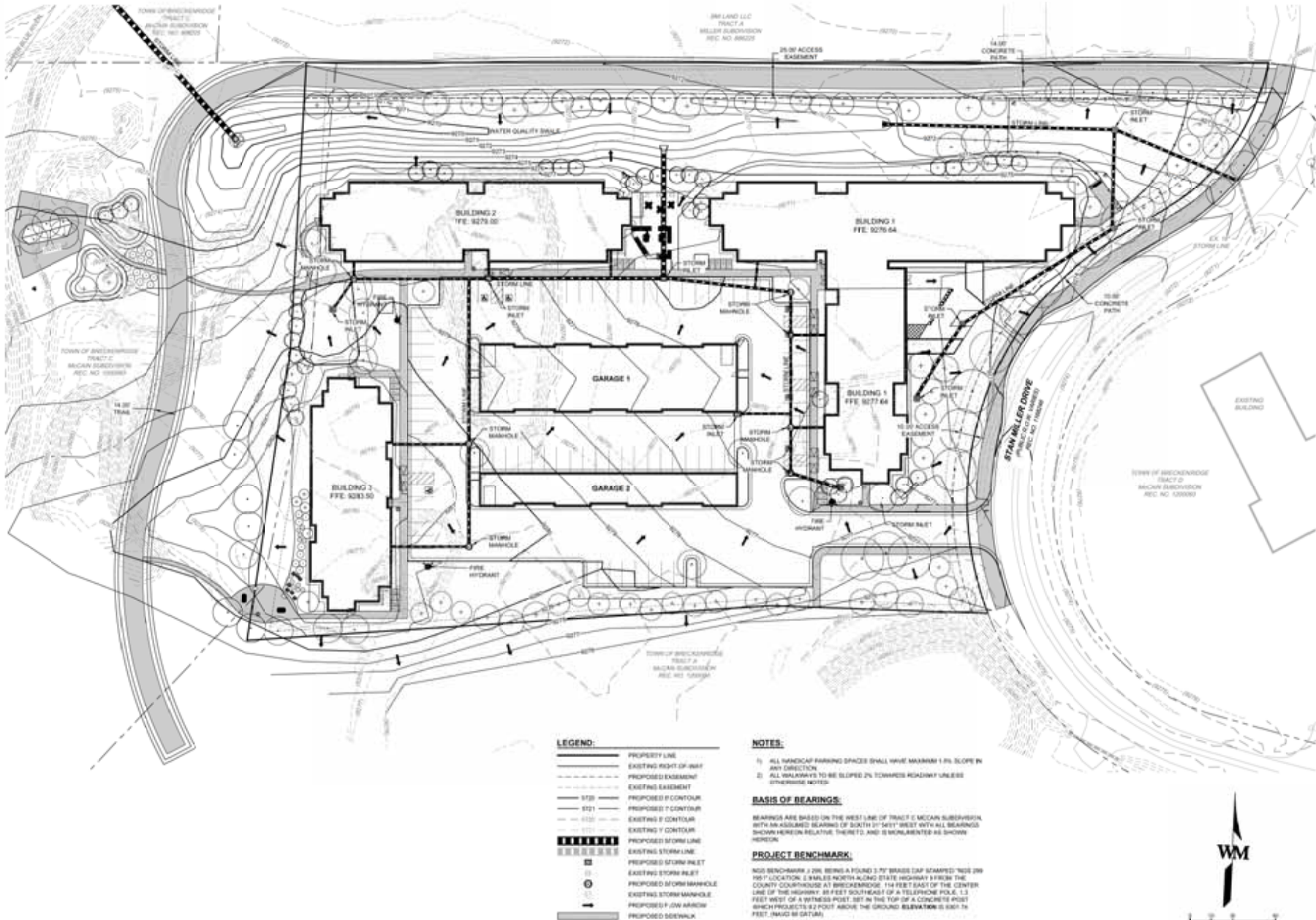
Issue Dates:

DATE	DESCRIPTION
08/20/2019	CLASS A DEVELOPMENT SUBMITTAL

Project No.	190601.00.01
Plot Date:	8/20/2019 11:52:17 AM
Drawn by:	J. CRAWFORD
Checked by:	D. ALLER
Approved by:	T. SWAN

Sheet Title
 UTILITY PLAN

Sheet No.
04 OF 35



LEGEND:

---	PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	PROPOSED EASEMENT
---	EXISTING EASEMENT
---	EXISTING EASEMENT
---	PROPOSED P CONTOUR
---	EXISTING P CONTOUR
---	EXISTING Y CONTOUR
---	PROPOSED STORM LINE
---	EXISTING STORM LINE
---	PROPOSED STORM INLET
---	EXISTING STORM INLET
---	PROPOSED STORM MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED FLOW ARROW
---	PROPOSED SIDEWALK

NOTES:

- 1) ALL MANICAP PARKING SPACES SHALL HAVE MAXIMUM 1% SLOPE IN ANY DIRECTION.
- 2) ALL WALKWAYS TO BE SLOPED 2% TOWARDS ROADWAY UNLESS OTHERWISE NOTED.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE WEST LINE OF TRACT 2 MCCANN SUBDIVISION WITH ASSUMED BEARINGS OF SOUTH 31°45'11" WEST WITH ALL BEARINGS SHOWN HEREON RELATIVE THERE TO, AND IS MONUMENTED AS SHOWN HEREON.

PROJECT BENCHMARK:

NO. 5 BENCHMARK 1 2IN. BROWN P. FOUND 3" TYP. BRASS CAP STAMPED "NO. 5 1957" LOCATION 3.8 MILLS NORTH ALONG STATE HIGHWAY 8 FROM THE COUNTY COURTHOUSE AT BRECKENRIDGE, 114 FEET EAST OF THE CENTER LINE OF THE HIGHWAY, 88 FEET SOUTH EAST OF A TELEPHONE POLE, 1.3 FEET WEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 32 FEET ABOVE THE GROUND. ELEVATION IS 8361.74 FEET. (MAY BE DATUM).

SITE BENCHMARK:

FOUND 2" ALUMINUM CAP STAMPED TOP BEAR 1911381 KING 5 1/2" VERTICAL LOCATION LOCATED SOUTH OF RYAN MILLER DRIVE, AT THE END OF THE CONCRETE MEDIAN CORNER FROM COLORADO STATE HIGHWAY NO. 8. ELEVATION IS 8368.96 FEET. (MAY BE DATUM). AS SHOWN HEREON.



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been obtained from the best available information. It is, however, the Licensee's responsibility to field verify the location of all utilities prior to the commencement of any construction.



COLORADO OFFICE
1060 BANNOCK ST.
SUITE 305
DENVER, CO 80204

WARE MALCOMB
CIVIL ENGINEERING & SURVEYING

**ALTA VERDE
CLASS A DEVELOPMENT**

Breckenridge, CO 80424

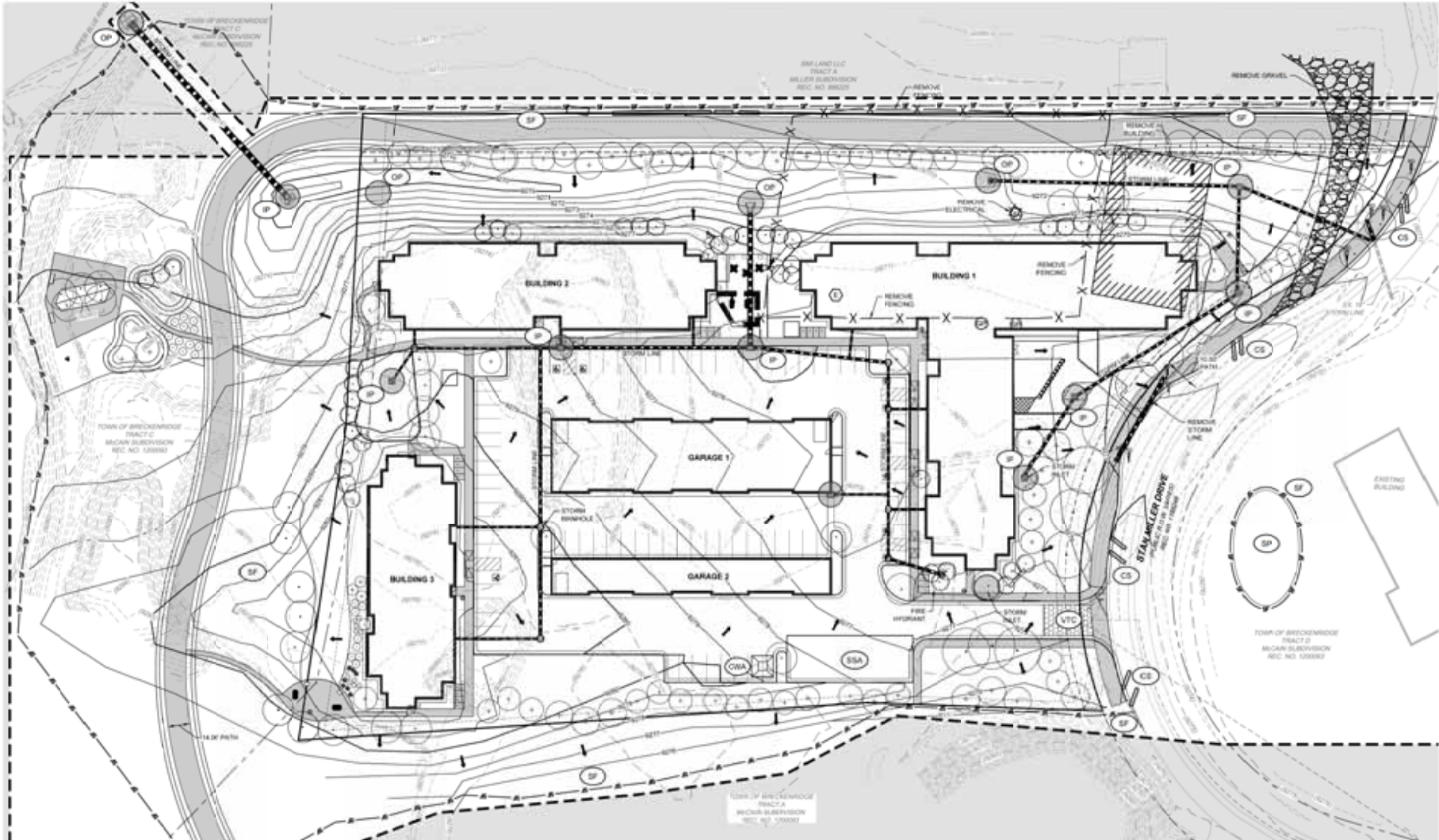
Issue Dates:

DATE	DESCRIPTION
08/01/2018	CLASS A DEVELOPMENT SUBMITTAL

Project No.	180601.00.00
Plot Date:	8/24/2018 11:52:07 AM
Drawn by:	J. CRAWFORD
Checked by:	D. ALLER
Approved by:	T. SWAN

Sheet Title
GRADING AND DRAINAGE PLAN

Sheet No.
05 OF 35



EROSION CONTROL LEGEND:

IP	INLET PROTECTION	TM	TEMPORARY MULCHING	CF	CONSTRUCTION FENCE
OP	OUTLET PROTECTION	TS	TEMPORARY SEEDING	PS	PERMANENT SEEDING
SF	SILT FENCE	SR	SURFACE REPAIRING	CWA	CONCRETE WASHOUT
VTC	VEHICLE TRACKING CONTROL	STB	STRAW BALE BARRIER	SP	STOCKPILE
CS	CURB SOCK	BSA	STABILIZED STAGING AREA		
RS	RISK SOCK	LOC	LIMITS OF CONSTRUCTION		

LEGEND:

---	PROPERTY LINE
---	EXISTING RIGHT OF WAY
---	PROPOSED BASEMENT
---	EXISTING EASEMENT
---	PROPOSED 'Y' CONTOUR
---	EXISTING 'Y' CONTOUR
---	PROPOSED 'Y' CONTOUR
---	EXISTING 'Y' CONTOUR
---	PROPOSED STORM LINE
---	EXISTING STORM LINE
---	PROPOSED STORM INLET
---	EXISTING STORM INLET
---	PROPOSED STORM MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED FLOW APPROX
---	PROPOSED SIDEWALK



WARE MALCOMB assumes no responsibility for utility locations. The utility shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

COLORADO OFFICE
1060 BANNOCK ST.
SUITE 305
DENVER, CO 80204

WARE MALCOMB
CIVIL ENGINEERING & SURVEYING

ALTA VERDE
CLASS A DEVELOPMENT

Issue Dates:

DATE	DESCRIPTION
08/08/2018	CLASS A DEVELOPMENT SUBMITTAL

Project No. 180001.00.00
Plot Date: 8/20/2018 11:52:57 AM
Drawn by: J. CRAWFORD
Checked by: D. ALLER
Approved by: T. SWAN

Sheet Title
EROSION CONTROL PLAN

Sheet No.
06 OF 35

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE... 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES...

ANY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT... 14. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS...

17. ALL SHRUB BEES ARE TO BE MALCHED WITH MIN. 7" DEPTH... 22. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES...

PLANTING SCHEDULE

Table with columns: QTY., SYM., COMMON NAME, BOTANICAL NAME, SIZE, WATER USE. Includes sections for Deciduous Canopy Trees, Evergreen Trees, Deciduous Ornamental Trees, Deciduous Shrubs, and Ornamental Grasses.

GENERAL NOTES

1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR PRE-CONSTRUCTION MEETINGS PRIOR TO START OF ANY WORK... 2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR EACH USE IN THE TITLE BLOCK...

DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION... 14. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS...

RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK... 26. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL...

* PLANT SPECIES TO BE INCLUDED WITHIN EACH SF OF XERIC PERENNIAL GARDEN... NOTE: QUANTITY OF PLANT MATERIAL ON TOWN OF BRECKENRIDGE PROPERTY INCLUDED:

SHORT DRY GRASS SEED MIXTURE

Table with columns: COMMON NAME, % OF TOTAL, LBS. PER 1000 S.F. Includes items like Hard Fescue, Creeping Red Fescue, Sheep Fescue, Canada Bluegrass, Cambr Bluegrass, Canam.

XERIC PERENNIAL GARDEN

Table with columns: COMMON NAME, % OF TOTAL. Includes items like Aster Alfine, Bloude Ambition, Catmint, Danity, Elum Blue Fescue, Husker Red Penstemon, Jarters Beard, Larkspur Spicata, Moonshine Yarrow, Mugo Pine, Tuffed Hair Grass, Snow-in-Summer.

IRRIGATION NOTES

- 1. IRRIGATION
2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED
3. ALL PERENNIAL BEDS, GROUND COVERS, NATIVE BEES & TO BE SPRAY IRRIGATED

SHEET LIST

Table with columns: OF, LANDSCAPE NOTES AND SCHEDULES, TO. Shows 38 sheets in total.

LAYOUT NOTES

- 1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
2. SHOULDE SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION

Issue Date:

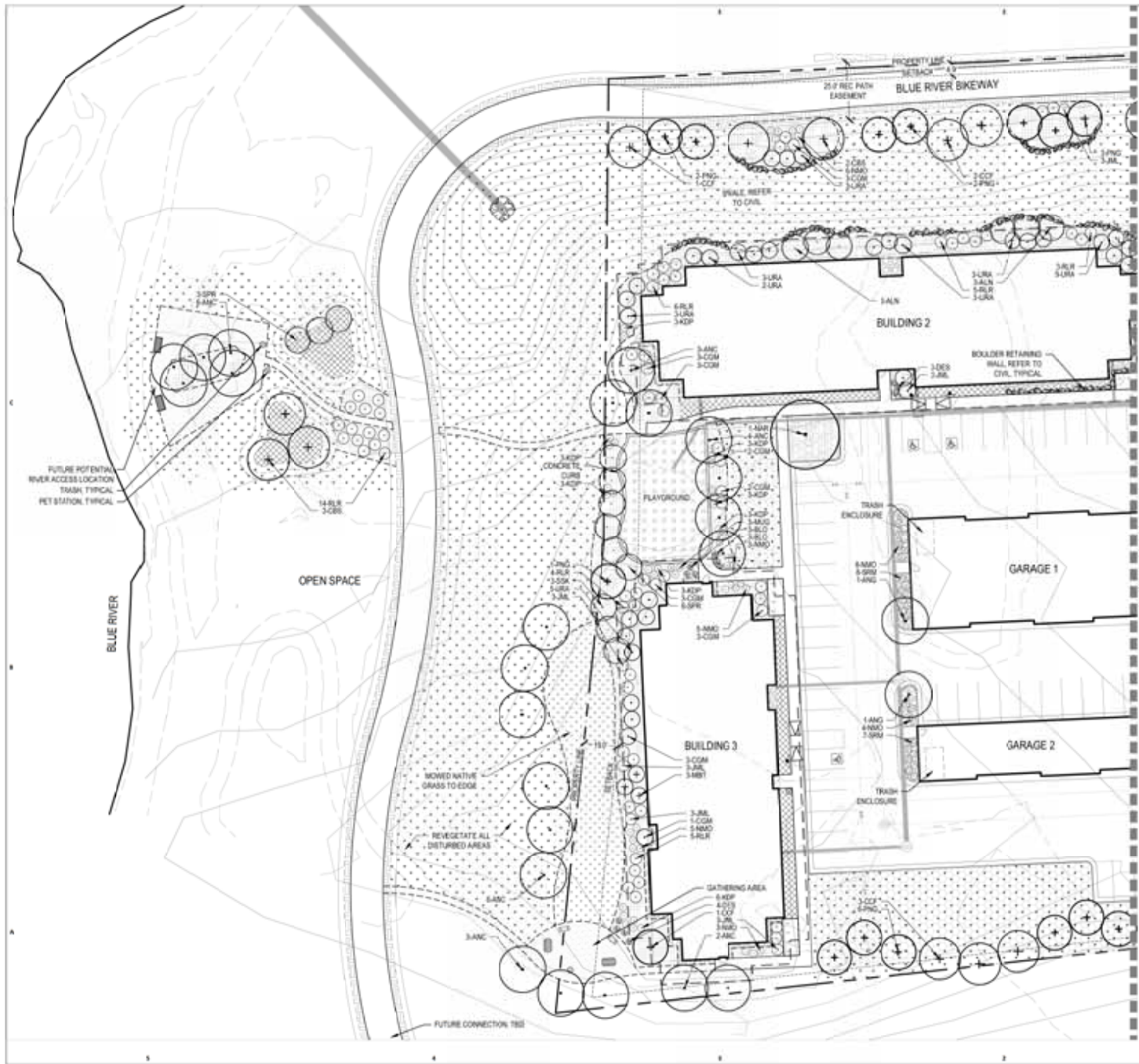
Table with columns: DATE, DESCRIPTION. Shows issue date 11/20/2024 and description SUBMITTAL.

NOT FOR CONSTRUCTION

Project No: 23001-00-01
Plot Date: 11/20/2024 10:49:10
Drawn by: LP, LN
Checked by: LN, BP, ES
Approved by: LN, ES

Sheet Title
LANDSCAPE NOTES AND SCHEDULES

Sheet No.
07 OF 35



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIAL GARDEN, REFER TO SHEET 07 OF 31 FOR DETAILS
- LANDSCAPE MULCH
- COBBLE
- CRUSHER FINES
- WOOD FIBER PLAY SURFACING
- NATIVE SEED
- MOWED NATIVE SEED
- SNOW STORAGE
- BLUE RIVER BIKEWAY 7' SHOULDER MATERIAL T&D
- SPADE CUT EDGER
- STEEL EDGER
- BIKE RACK
- GRILL
- TRASH
- BENCH
- PICNIC TABLE
- LANDSCAPE BOULDERS
- PET STATION
- PROPERTY LINE
- PROPERTY SETBACK

SNOW STORAGE

REQUIRED	13,064
PROVIDED	13,280

KEYMAP



SCALE: NTS



COLORADO OFFICE
1060 BANNOCK ST.
SUITE 305
DENVER, CO 80204



ALTA VERDE
CLASS A DEVELOPMENT

Issue Dates:

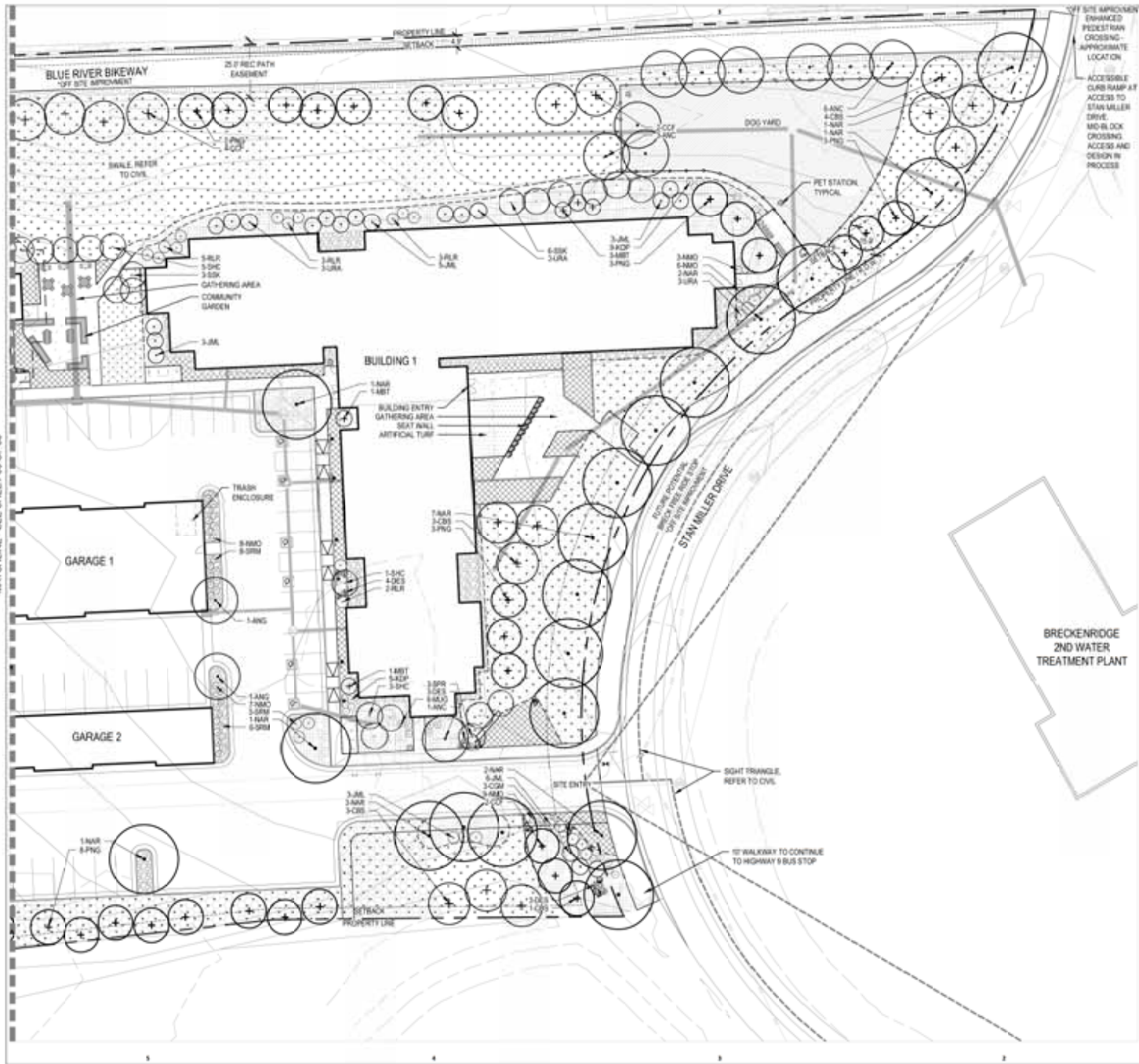
DATE	DESCRIPTION
11/20/15	SUBMITTAL

NOT FOR CONSTRUCTION

Project No. 2015-00-01
Plot Date: 11/20/15
Drawn by: LP, LN
Checked by: LN, BR, ES
Approved by: LN, ES

Sheet Title
LANDSCAPE PLAN

Sheet No.
08 OF 35



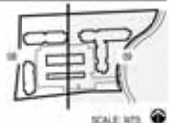
LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIAL GARDEN, REFER TO SHEET 07 OF 31 FOR DETAILS
- LANDSCAPE MULCH
- COMBLE
- CRUSHER FINES
- WOOD FIBER PLAY SURFACING
- NATIVE SEED
- MOWED NATIVE SEED
- ARTIFICIAL TURF
- DOG YARD
- CONCRETE
- SNOW STORAGE
- BLUE RIVER BIKEWAY SHOULDER MATERIAL TD
- SPADE CUT EDGER
- STEEL EDGER
- BIKE RACK
- RAISED COMMUNITY GREEN PLANTER
- RAISED PLANTER
- GRILL
- TRASH
- BENCH
- PONG TABLE
- LANDSCAPE BOULDERS
- PET STATION
- PROPERTY LINE
- PROPERTY SETBACK

SNOW STORAGE

REQUIRED	13,064
PROVIDED	13,260

KEYMAP



SCALE: NTS



ALTA VERDE
CLASS A DEVELOPMENT

Breckenridge, CO 80424

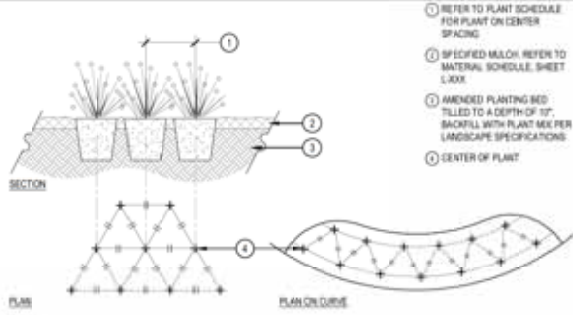
Issue Dates:

DATE	DESCRIPTION
11/15/2011	SUBMITTAL

NOT FOR CONSTRUCTION

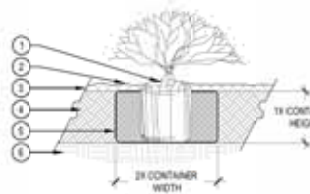
Project No.	20090-00-01
Plot Date:	10/20/09 10:00 AM '09
Drawn by:	LF, LN
Checked by:	LN, BR, ES
Approved by:	LN, ES

Sheet Title
LANDSCAPE PLAN



NOTES:
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE BARRIED.

1 ORNAMENTAL GRASS AND PERENNIAL PLANT LAYOUT



NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
3. ALL SHRUBS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING. DO NOT PRUNE MORE THAN 25% OF LIMBS.

- 1 SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- 2 FINISH GRADE (TOP OF MULCH)
- 3 SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE SHEET L-102
- 4 TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- 5 BACKFILLED AMENDED SOIL
- 6 UNDISTURBED SOIL

2 SHRUB PLANTING

SCALE: 1" = 1'-0"

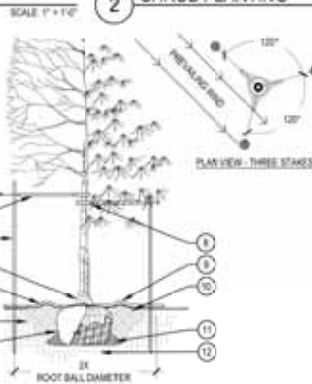
SCALE: 1 1/2" = 1'-0"

PRUNING NOTES:

- 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

- 1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE. WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
- 1. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N/W SIDE, ONE ON S/W SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
- 1. EVERGREEN TREES - 3 STAKES PER DIAGRAM.
- 1. 2" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
- 2. WIRE OR CABLE SHALL BE MINIMUM 13 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
- 3. ADJUST STAKING, STRAPS AND GLY WIRES ANNUALLY.
- 4. TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



- 1 GALVANIZED WIRE
- 2 PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- 3 INSTALL STAKING PER SPECIFICATIONS
- 4 PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1'-2" ABOVE FINAL GRADE
- 5 2'-0" RADIUS MULCH RING, VENTURED ON TRUNK 3" DEPTH. ON TOP OF MULCH FABRIC, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FINISH GRADE REFERENCES TOP OF MULCH
- 6 1:1 SLOPE ON SIDES OF PLANTING HOLE
- 7 REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOTBALL AND TRUNK
- 8 GROMMETED NYLON STRAPS
- 9 4"-6" HIGH WATER SAUCER IN NON-TURF AREAS
- 10 BACKFILL AROUND ROOTBALL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
- 11 PLACE SOIL AROUND ROOTBALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL AIR POCKETS
- 12 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

3 TREE PLANTING DETAIL

SCALE: 3/8" = 1'-0"

NOTES:

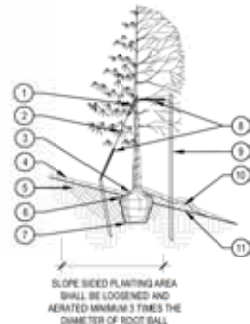
- 1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS THAN THE DISTANCE FROM THE TOP MOST ROOT AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOTBALL. REFERENCE TREE PLANTING DETAIL FOR BACKFILL NOTES.
- 2. TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED.
- 3. FORM SOIL INTO A 3" TO 3" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.

PRUNING NOTES:

- 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

- 1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE. WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
- 1. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N/W SIDE, ONE ON S/W SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
- 1. EVERGREEN TREES - 3 STAKES PER DIAGRAM.
- 1. 2" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
- 2. WIRE OR CABLE SHALL BE MINIMUM 13 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
- 3. ADJUST STAKING, STRAPS AND GLY WIRES ANNUALLY.
- 4. USE GLY ASSEMBLIES FOR EVERGREENS AND TREES OVER 2" CALIPER. ALL WIRE TO BE MINIMUM 12 GAUGE GALVANIZED.



- 1 GROMMETED NYLON STRAP
- 2 GALVANIZED WIRE
- 3 TOP MOST ROOT IN ROOTBALL 3" TO 5" ABOVE EXISTING GRADE. LPHILL SIDE
- 4 3'-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK. REFER TO MATERIAL SCHEDULE, SHEET L-XXX. FINISH GRADE REFERENCES TOP OF MULCH
- 5 BACKFILL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS. WATER THOROUGHLY WHEN BACKFILLING
- 6 REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOTBALL AND TRUNK
- 7 PLACE ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT. IF SOIL HAS BEEN IMPORTED, PROVIDE MODERATE FOOT PACKING OF SOIL DIRECTLY UNDER LOCATION OF ROOTBALL
- 8 2"x 3/4" P X C MARKERS (TYPICAL) OVER WIRES
- 9 TREATED WOOD POST, OR METAL T STAKE WITH CAP WITH GROMMETED NYLON STRAPS. USE 2 GUY WIRES
- 10 UNAMENDED TOPSOIL, ADDED TO EXISTING GRADE ON DOWN HILL SIDE. REFER TO SPECIFICATIONS
- 11 EXISTING GRADE

4 TREE PLANTING ON SLOPE

SCALE: 1/4" = 1'-0"

ALTA VERDE
CLASS A DEVELOPMENT

Breckenridge, CO 80424

Issue Dates:

DATE	DESCRIPTION
	SUBMITTAL

NOT FOR CONSTRUCTION

Project No.	200601-00-01
Plot Date:	9/16/2008 10:09:55
Drawn by:	LN, BR, ES
Checked by:	LN, BR, ES
Approved by:	LN, ES

Sheet Title
LANDSCAPE DETAILS

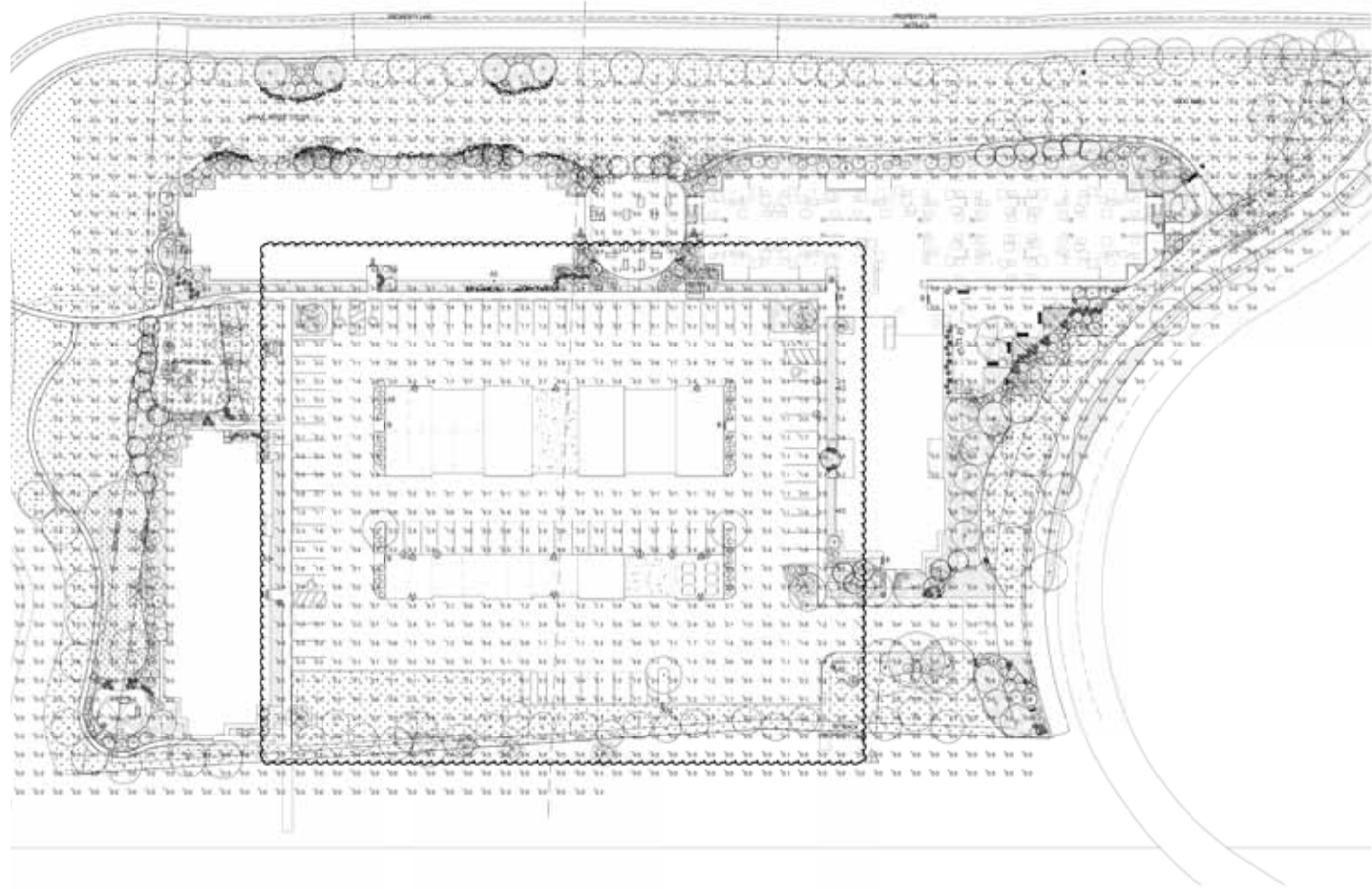
Sheet No.
10 OF 35



*Off-Site Improvements To Be Paid For By Town Of Breckridges. These Improvements are Not Part Of The Alta Verde Class A Development Review And Approval.

PHOTOMETRIC STATISTICS					
	AVERAGE	MAXIMUM	MINIMUM	MAX/AVG	AVG/MIN
SITE	5.3	4.7	0	N/A	N/A
PARKING	5.2	4.4	0.1	46.1	11.1

- GENERAL NOTES**
1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINATION VALUES MEASURED AT 5 FT. LEVEL.
 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PROVIDE EVEN ILLUMINATION OF PARKING AND TRAVEL AREAS WITH MINIMAL GLARE INTO ADJACENT PROPERTIES.
 3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECTLY POINT DOWNWARD.
 4. PROVIDE HOUSE KEEP SHIELDS FOR ALL FULL CUT-OFF LIGHT FIXTURES THAT ARE INSTALLED WITHIN A DISTANCE OF 2.5 TIMES THE MOUNTING HEIGHT OF THE PROPERTY LINE.



1 ELECTRICAL SITE PHOTOMETRIC
1" = 30'-0"

**ALTA VERDE
CLASS A DEVELOPMENT**

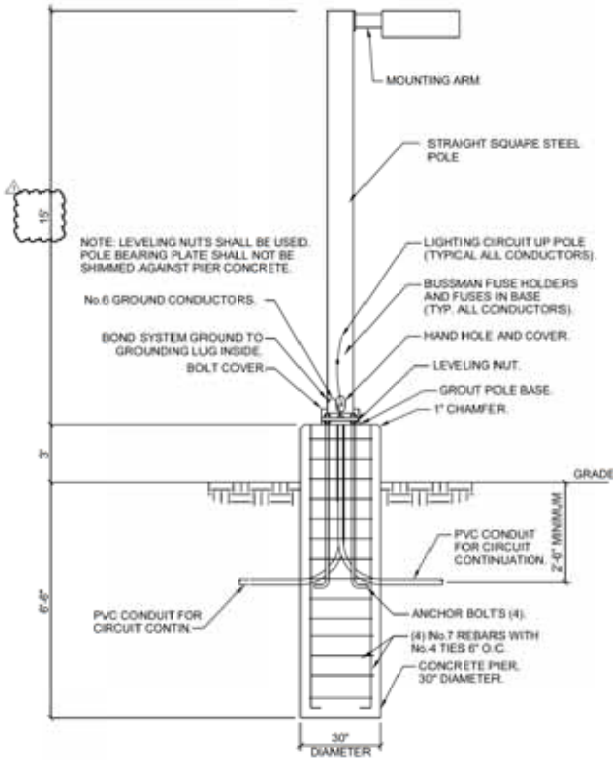
Issue Dates:

DATE	DESCRIPTION

Project No.	
Plot Date:	08/15/2006 1:28:08 PM
Drawn by:	ENP
Checked by:	BAD
Approved by:	BAD

Sheet Title
SITE PHOTOMETRIC

Sheet No.
11 OF 35



1 LIGHT POLE DETAIL
3/8" = 1'-0"

WAC LIGHTING

Verve

Outdoor Wall Sconce 300K

Item #	Qty	Unit	Description	Notes
300K	1	EA	Outdoor Wall Sconce 300K	

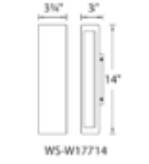
Notes:
1. See manufacturer's literature for details.
2. See manufacturer's literature for details.
3. See manufacturer's literature for details.
4. See manufacturer's literature for details.
5. See manufacturer's literature for details.

Fixture Type: **B**

Catalog Number: _____

Project: _____

Location: _____



Lighting.com Phone: (800) 531-2261 Fax: (800) 531-2261 Headquarters/Service Distribution Center: 10000 Newpark Drive, San Diego, CA 92121
10000 Newpark Drive, San Diego, CA 92121
Lighting.com is a registered trademark of the Lighting Industry Association (LIA).

D-Series Size 0 LED Area Luminaire

AA2/A3/A5

The modern styling of the D-Series is making yet another statement as it blends seamlessly with its environment. The D-Series blends the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding performance results in size with uniform uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with equal average savings of 70% and expected service life of over 100,000 hours.

Specifications

Size: 18" x 12" x 12"

Length: 18"

Width: 12"

Height: 12"

Weight: 15 lbs

Ordering Information

EXAMPLE: DS4D-LED-PN-40K-12M-MVOLT-SNA-120ARD-P18W-D04SD

Code	Size	Color Temperature	Mounting	Voltage	Options
DS4D	40K	4000K	12M	120V	18W
PN	18"	12"	12"	120V	18W
40K	4000K	4000K	4000K	4000K	4000K
12M	12M	12M	12M	12M	12M
120V	120V	120V	120V	120V	120V
18W	18W	18W	18W	18W	18W

LITONIX LIGHTING

LUMINAIRE SCHEDULE

NO.	QUANTITY	DESCRIPTION	MANUFACTURER	MODEL	VOLTY	QTY	WATTS	SOURCE	TEMP	LUMENS	DIMMING	REMARKS
1	15	AREA LIGHT	LITONIX	DS4D-LED-PN-40K-12M-MVOLT	120V	45	100	3000	4000			
2	15	AREA LIGHT	LITONIX	DS4D-LED-PN-40K-12M-MVOLT	120V	45	100	3000	4000			
3	15	AREA LIGHT	LITONIX	DS4D-LED-PN-40K-12M-MVOLT	120V	45	100	3000	4000			

COLORADO OFFICE
1060 BANNOCK ST.
SUITE 305
DENVER, CO 80204

ALTA VERDE
CLASS A DEVELOPMENT

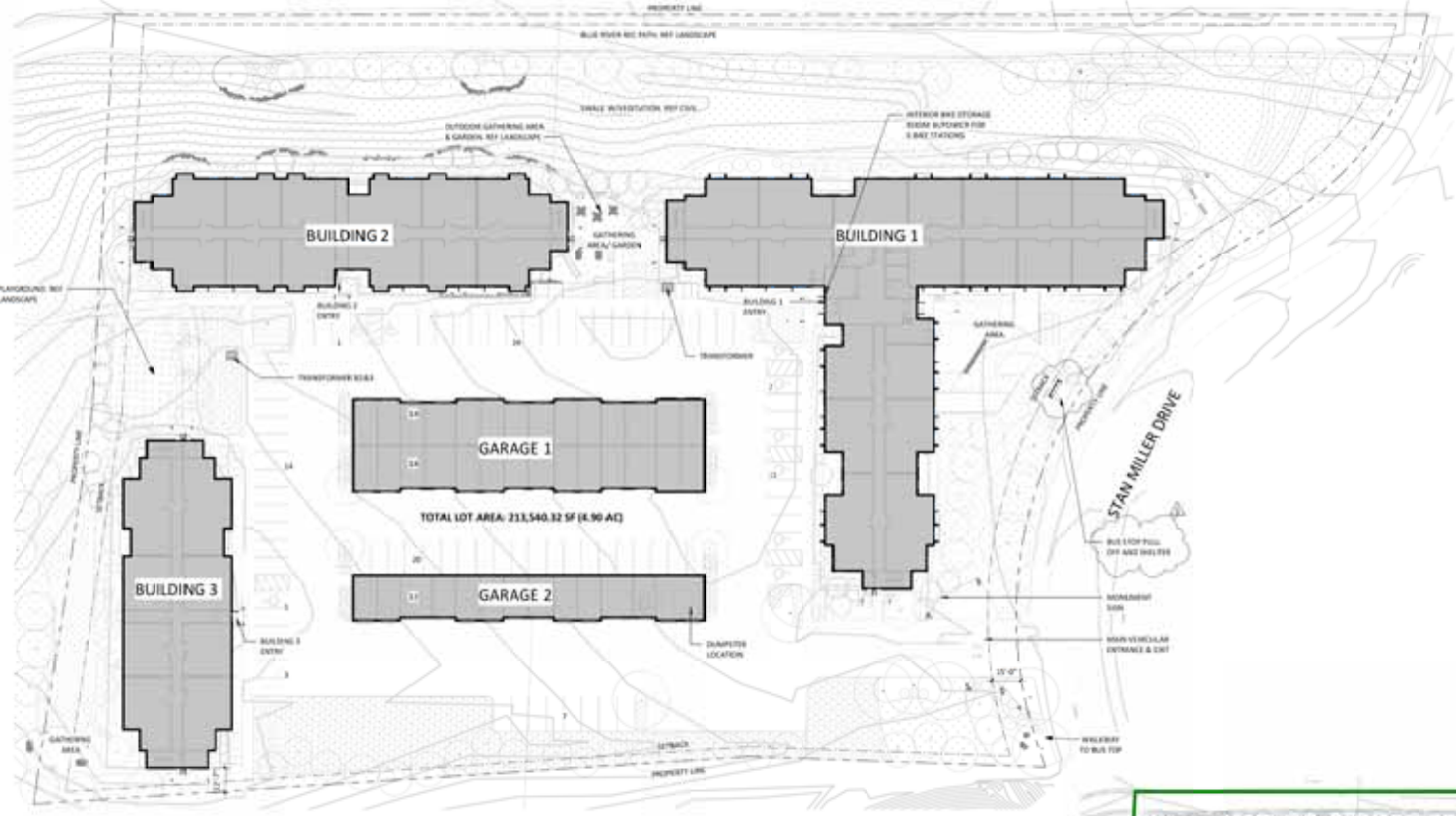
Issue Dates:

DATE	DESCRIPTION
11/20/2018	100% Construction

Project No. _____
Plot Date: 10/15/2018 1:05:00 PM
Drawn by: ENP
Checked by: BAD
Approved by: BAD

Sheet Title
PHOTOMETRIC DETAILS

Sheet No.
12 OF 35



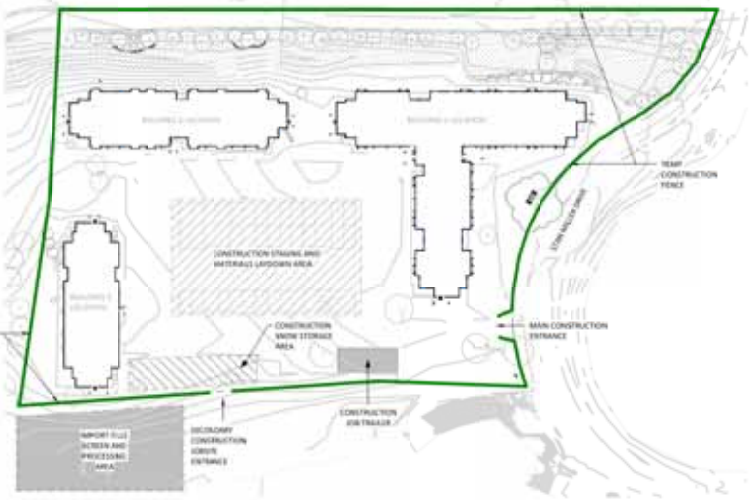
GARAGE SPACES		
TYPE	QTY	DESCRIPTION
ACCESSIBLE	8	GARAGE 1
GARAGE	14	GARAGE 1
ACCESSIBLE	2	GARAGE 2
GARAGE	8	GARAGE 2
TOTAL	32	

PARKING COUNTS		
TYPE	QTY	DESCRIPTION
P & LF (P. Area)	32	PARKING SPACE ADA
P & LF (P. Area)	75	PARKING SPACE
TOTAL	107	



COLORADO OFFICE
 1060 BANNOCK ST.
 SUITE 305
 DENVER, CO 80204

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30' 0"



2 CONSTRUCTION STAGING PLAN
 SCALE: 1" = 60' 0"

ALTA VERDE
CLASS A DEVELOPMENT

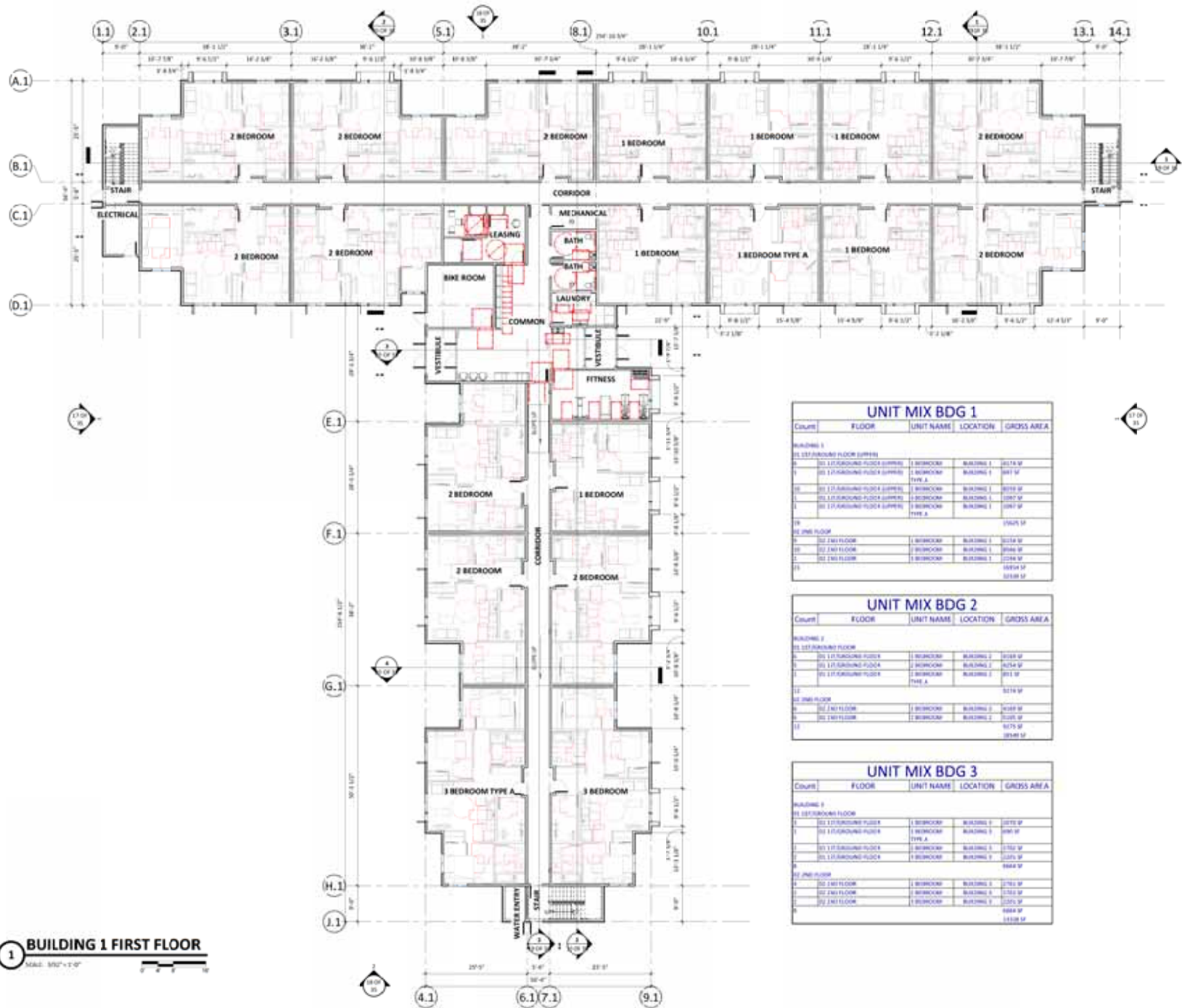
Breckenridge, CO 80424

Issue Dates:	
DATE	DESCRIPTION
08/08/2024	CLASS A DEVELOPMENT SUBMITTAL
2024/10/11	TOP RESUBMITTAL

Project No.	10000
Plot Date:	08/15/2024 1:55:04 PM
Drawn by:	AO
Checked by:	NAS
Approved by:	NAS

Sheet Title
 ARCHITECTURAL SITE PLAN &
 CONSTRUCTION STAGING

Sheet No.
13 OF 35



1 BUILDING 1 FIRST FLOOR
SCALE: 1/8" = 1'-0"

Count	FLOOR	UNIT NAME	LOCATION	GROSS AREA
UNIT MIX BDG 1				
BUILDING 1				
1L 1ST FLOOR				
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 1	1074 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 1	981 SF
1	1L 1ST FLOOR	TYPE A	BUILDING 1	1074 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 1	1074 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 1	1087 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 1	1087 SF
1	1L 1ST FLOOR	TYPE A	BUILDING 1	1087 SF
1R 2ND FLOOR				
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 1	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 1	984 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 1	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 1	1084 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 1	1084 SF

Count	FLOOR	UNIT NAME	LOCATION	GROSS AREA
UNIT MIX BDG 2				
BUILDING 2				
1L 1ST FLOOR				
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 2	1088 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 2	1074 SF
1	1L 1ST FLOOR	TYPE A	BUILDING 2	1074 SF
1R 2ND FLOOR				
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 2	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 2	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 2	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 2	1074 SF

Count	FLOOR	UNIT NAME	LOCATION	GROSS AREA
UNIT MIX BDG 3				
BUILDING 3				
1L 1ST FLOOR				
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 3	1074 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 3	984 SF
1	1L 1ST FLOOR	TYPE A	BUILDING 3	1074 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 3	1074 SF
1	1L 1ST FLOOR	1 BEDROOM	BUILDING 3	1074 SF
1R 2ND FLOOR				
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 3	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 3	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 3	1074 SF
1	1R 2ND FLOOR	1 BEDROOM	BUILDING 3	1074 SF

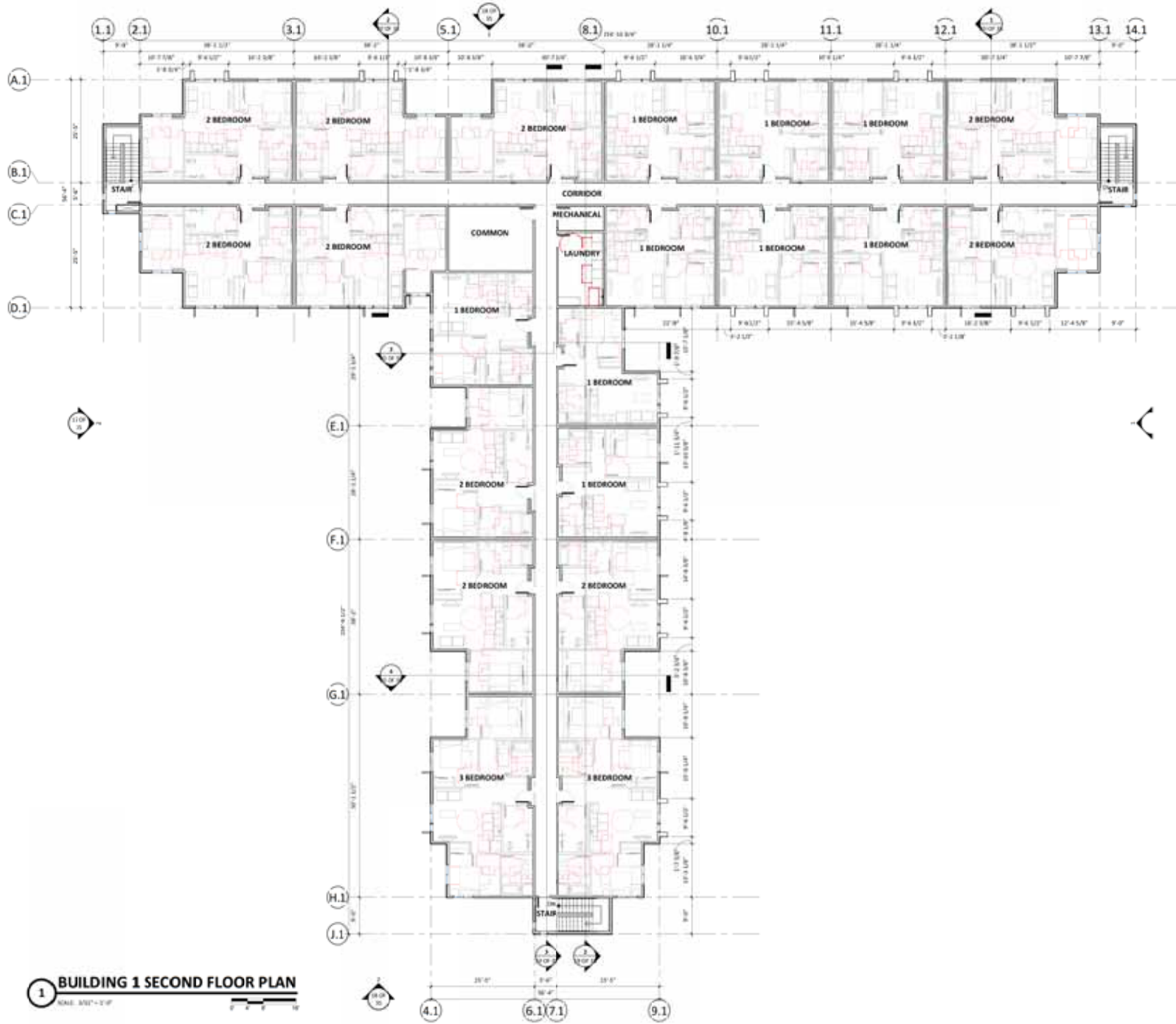
**ALTA VERDE
CLASS A DEVELOPMENT**

Issue Dates:	
DATE	DESCRIPTION

Project No.	100001-0010
Plot Date:	11/18/2016 10:41:11 AM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
ARCHITECTURAL FLOOR
PLANS - BUILDING 1

Sheet No.
14 OF 35



1 BUILDING 1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0' 2' 4'



COLORADO OFFICE
 1060 BANNOCK ST.
 SUITE 305
 DENVER, CO 80204

**ALTA VERDE
 CLASS A DEVELOPMENT**

Breckenridge, CO 80424

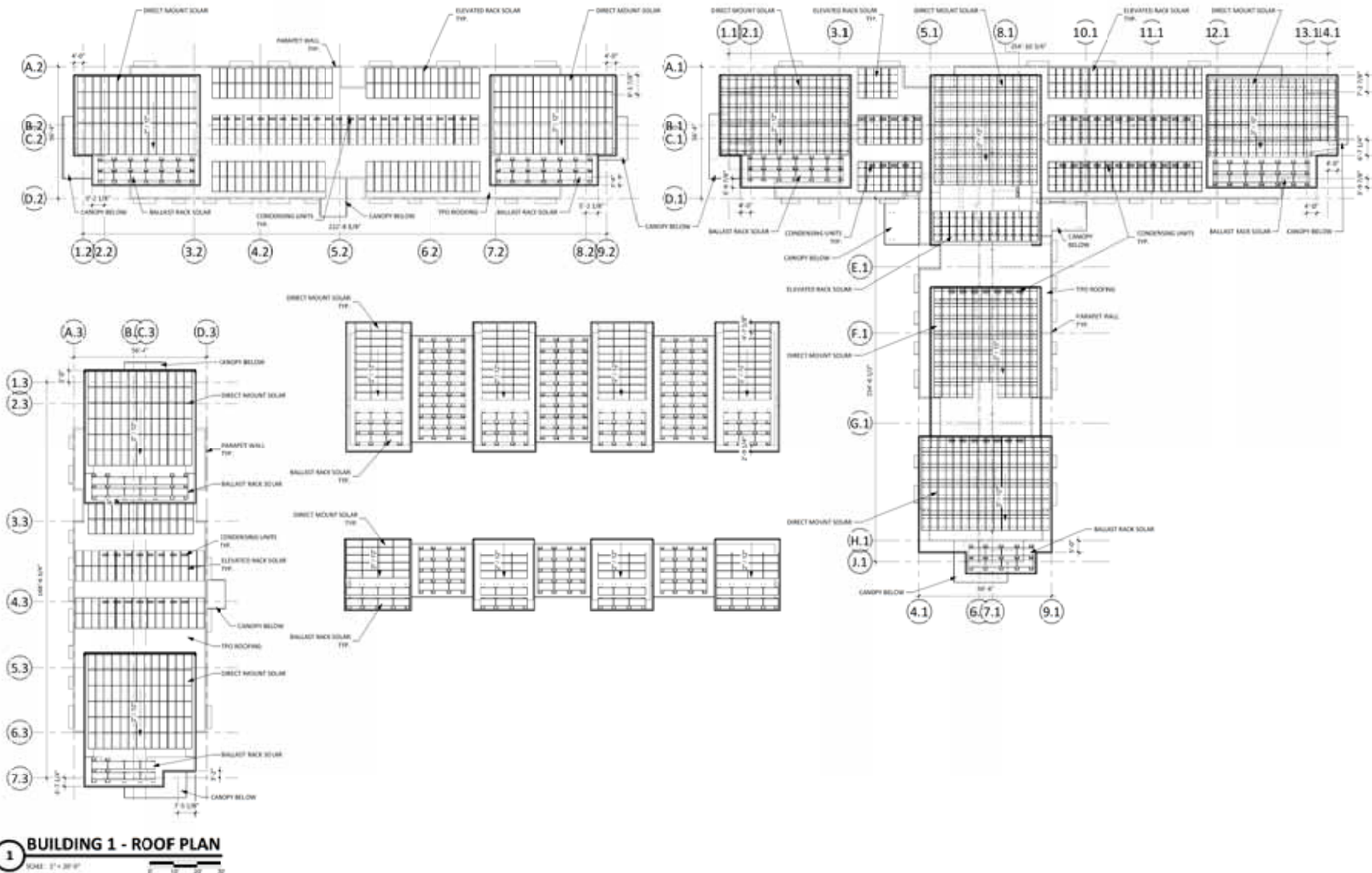
Issue Dates:

DATE	DESCRIPTION
10/20/2010	ISSUE FOR PERMIT SUBMITTAL

Project No.	100001-0010
Plot Date:	10/20/2010 12:33:15 PM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
 ARCHITECTURAL FLOOR
 PLANS - BUILDING 1

Sheet No.
15 OF 35



ALTA VERDE
CLASS A DEVELOPMENT

Breckenridge, CO 80424

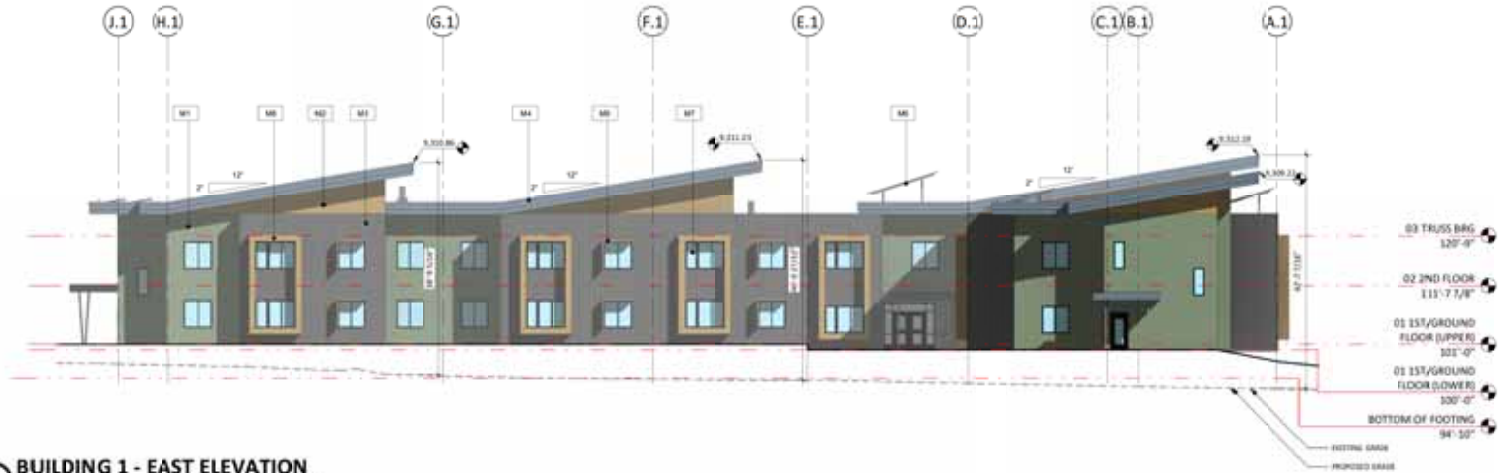
Issue Dates:

DATE	DESCRIPTION
10/20/2018	CLASS A DEVELOPMENT SUBMITTAL

Project No.	180001-001-01
Plot Date:	10/20/2018 12:33:55 PM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
ROOF PLAN AND PV ARRAY - OVERALL

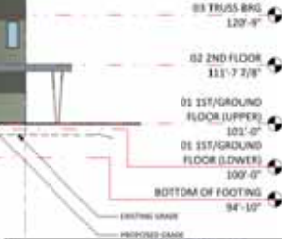
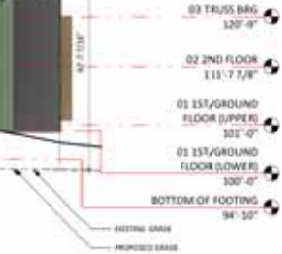
Sheet No.
16 OF 35



1 BUILDING 1 - EAST ELEVATION
SCALE: 3/8\"/>



2 BUILDING 1 - WEST ELEVATION
SCALE: 3/8\"/>



MATERIAL LEGEND

- FAIR FIBER CEMENT VARIETY WITH LAP JOINT
- FAIR FIBER CEMENT BOARD AND BATTEN JOINT
- WOOD TRIM JOINT
- FIBER CEMENT FINISH

EXTERIOR MATERIALS			
SYMBOL	DESCRIPTION	MANUFACTURER	NOTES
002	FIBER CEMENT VARIETY WITH LAP JOINT	JAMES HARDIE	OUTSIDE LAP JOINT PATTERNS 4" x 4", 7" x 7" OR 3" x 6" SASH OVERLAP
003	WOOD TRIM JOINT	THE HICKORY	ACROSS SPACE JOINTS OVER SHIMMED CLS
004	FIBER CEMENT BOARD AND BATTEN JOINT	JAMES HARDIE	PAINTED OVER WITH 2" BATTEN WITH 1/2" SPACE OVERLAP WITH ONE END OVER
005	FIBER CEMENT FINISH	JAMES HARDIE / TONS	3/8" GROUT WITH ONE TERMINATING FIBER CEMENT STARTUP BRONZE FINISHING AND CLS
006	TYPHOON SHEATHING	FRANKLE	SEE WALL TOP JOINT MEMBERSHIP GUIDE SHEET
007	PHOTOGRAPHIC PANEL	N/A	PAINT
008	ALUMINUM (L) AND WOOD FINISH	ALCOXCELIN	PAINT TOPS
009	SHADING DEVICE	THE HICKORY	CUSTOM WOOD SHADING DEVICE OVER SPACE JOINTS UNBLENDED CLS INSIDE SPACE JOINTS

Issue Dates:

DATE	DESCRIPTION
10/20/20	ISSUE FOR PERMIT SUBMITTAL

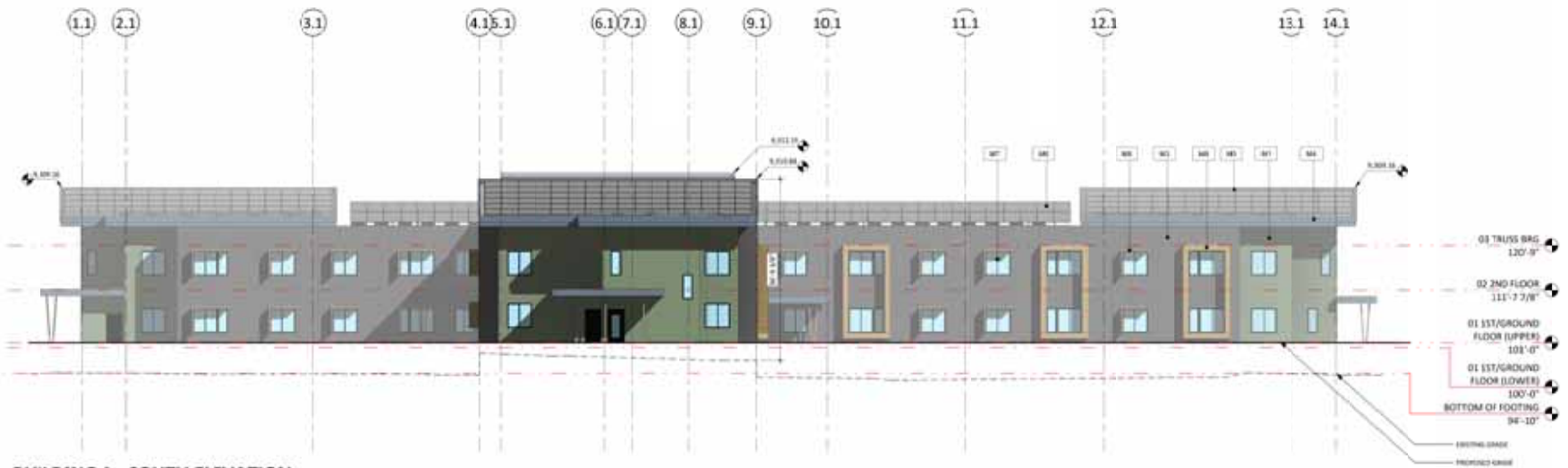
Project No. 100001-0010
Plot Date: 10/20/20 12:33:44 PM
Drawn by: DMC
Checked by: AD
Approved by: NAS

Sheet Title
ELEVATIONS - BUILDING 1

Sheet No.
17 OF 35



1 BUILDING 1 - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING 1 - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERNAL FINISH

- FIBER CEMENT SHIPING WITH LAP SIDING
- FIBER CEMENT BOARD AND BATTEN SIDING
- WOODY TRE SIDING
- FIBER CEMENT PANEL

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL
MFL	FIBER CEMENT SHIPING WITH LAP SIDING	DAVITA HARVEY	ARTISAN LAP SIDING PATTERN: 4" x 7" COLOR: 5 W/ SHAD FINISHES
MAL	WOODY TRE SIDING	TRUSSWORK	NOCAL SHIPING SIDING LAB-GROOVED C/S
MFB	FIBER CEMENT BOARD AND BATTEN SIDING	DAVITA HARVEY	AUSTIC GRAB BATTEN SIDING 1/2" BATTEN WITH 1/2" SPACE COLOR: 5 W/ SHAD FINISHES
MFA	FIBER CEMENT PANEL	DAVITA HARVEY	PANEL WITH SHAD REFORMATIVE FINISH COLOR: CUSTOM BRIDGE FINISHING 4.0.0
MFR	TRUSS ROOF MEMBRANE	CLAYCO	HS 30L TRUSS ROOF MEMBRANE COLOR: GRAY
MFS	INSULATION FACE PANEL	WILK	WILK
MFT	ALUMINUM CLAD WOOD WINDOW	PRIMOVIEW	PRIMOVIEW
MFW	SHADING DEVICE	TRUSSWORK	CUSTOM BRIDGE SHADING DEVICE NOCAL SHIPING SIDING LAB-GROOVED C/S NOCAL SHIPING SIDING

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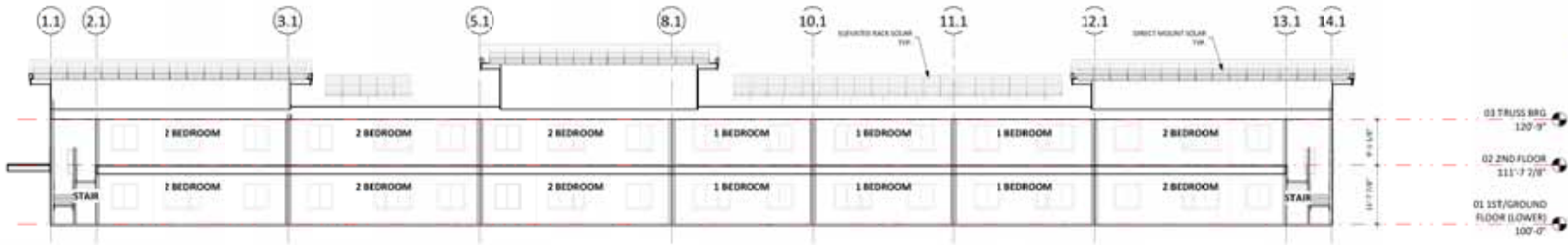
Issue Dates:

DATE	DESCRIPTION
11/20/2024	CLASS A DEVELOPMENT SUBMITTAL

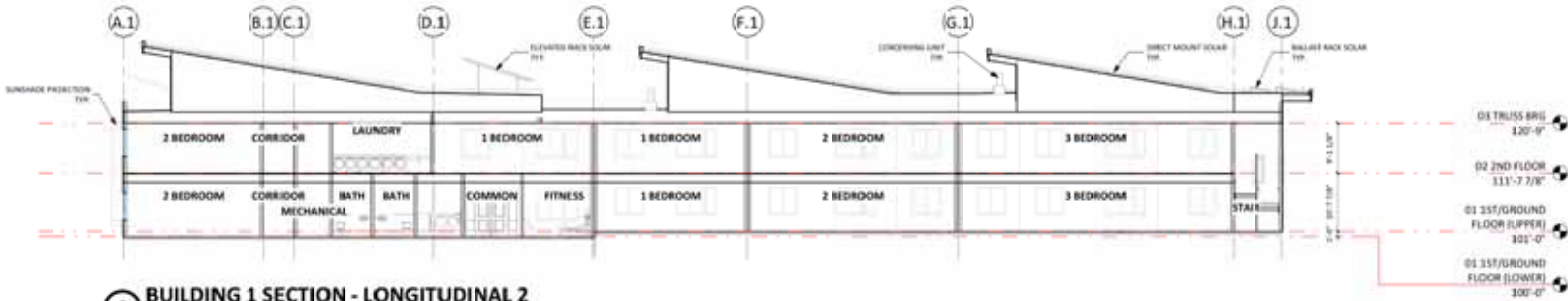
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Checked by: AC
Approved by: NAS

Sheet Title
ELEVATIONS - BUILDING 1

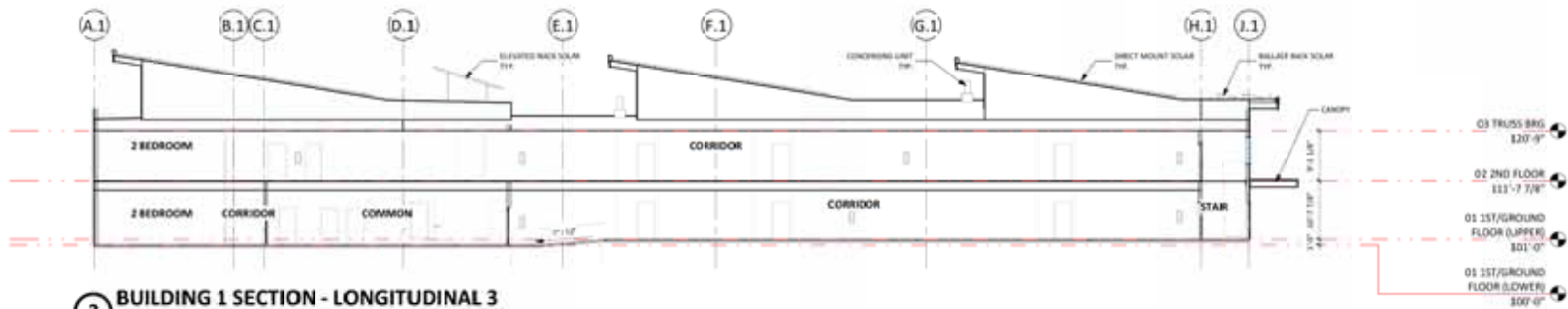
Sheet No.
18 OF 35



1 BUILDING 1 SECTION - LONGITUDINAL 1
SCALE: 1/8" = 1'-0"



2 BUILDING 1 SECTION - LONGITUDINAL 2
SCALE: 1/8" = 1'-0"



3 BUILDING 1 SECTION - LONGITUDINAL 3
SCALE: 1/8" = 1'-0"

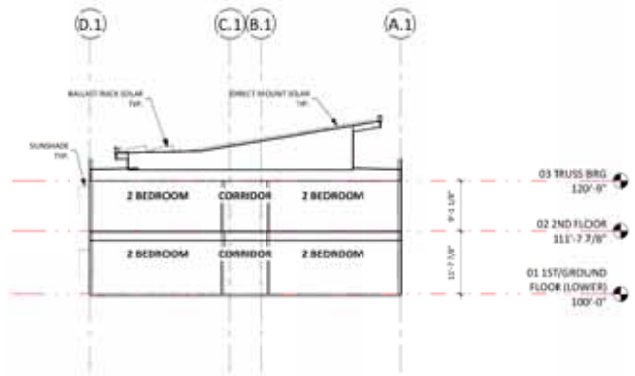
Issue Dates:

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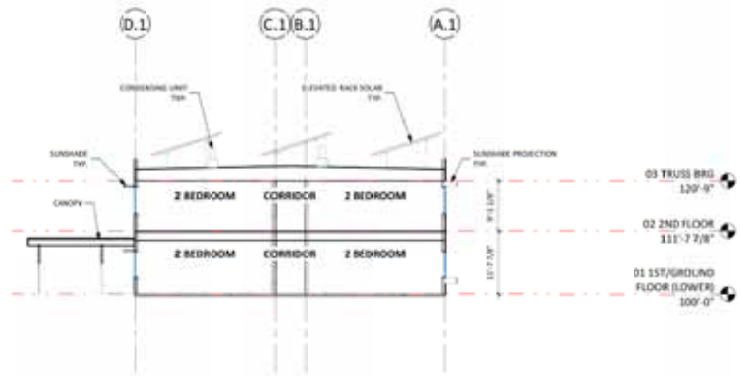
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Plot Date:	04/20/2016 02:52:30 PM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
SECTIONS - BUILDING 1

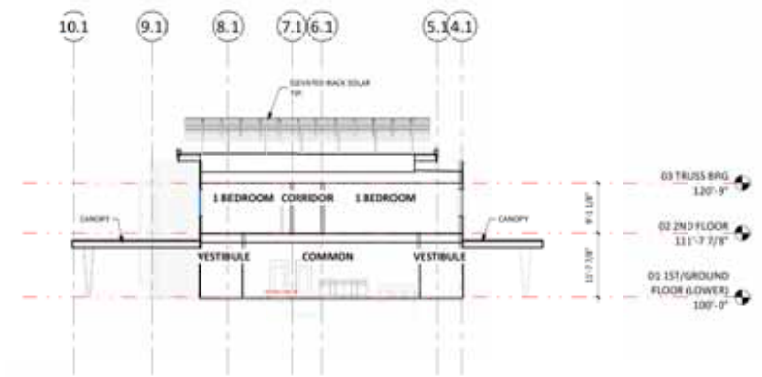
Sheet No.
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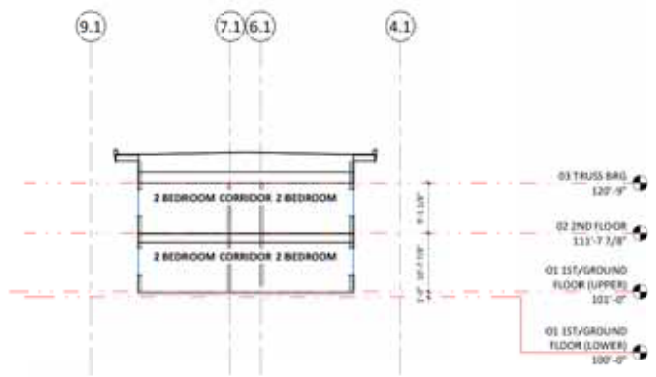
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SCALE: 1/8" = 1'-0"



2 BUILDING 1 SECTION - TRANSVERSE 2
SCALE: 1/8" = 1'-0"



3 BUILDING 1 SECTION - TRANSVERSE 3
SCALE: 1/8" = 1'-0"



4 BUILDING 1 SECTION - TRANSVERSE 4
SCALE: 1/8" = 1'-0"

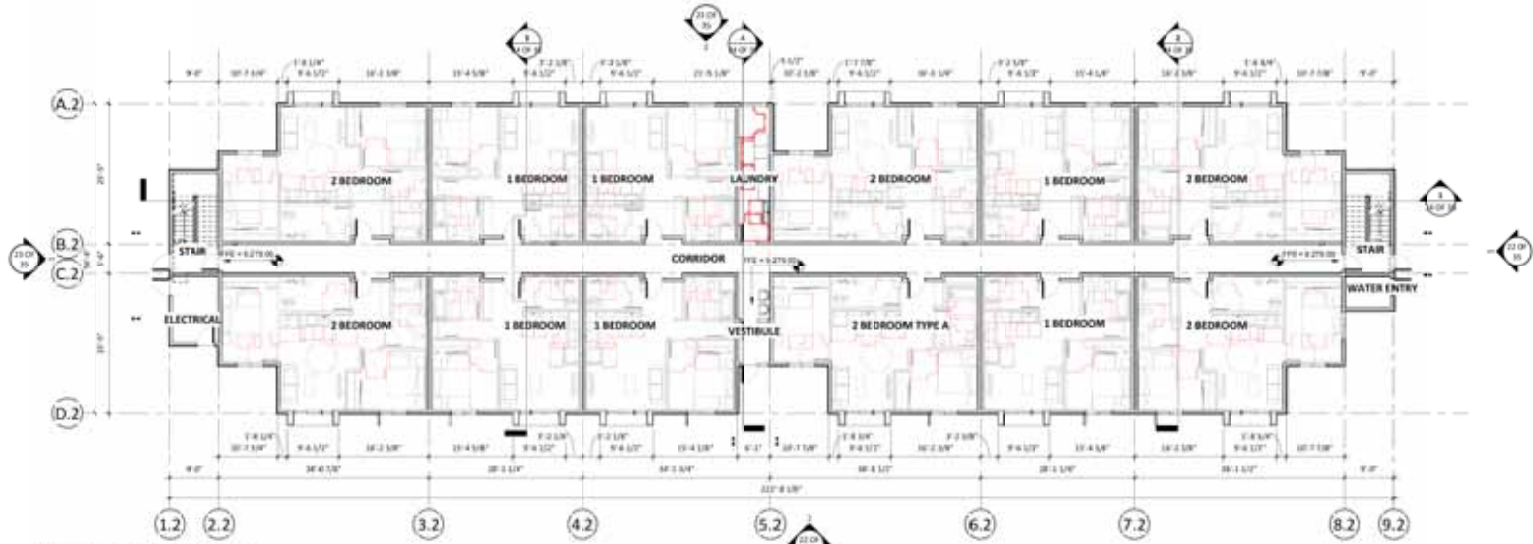
Issue Dates:

DATE	DESCRIPTION
04/20/2018	ISSUE FOR PERMITS SUBMITTAL

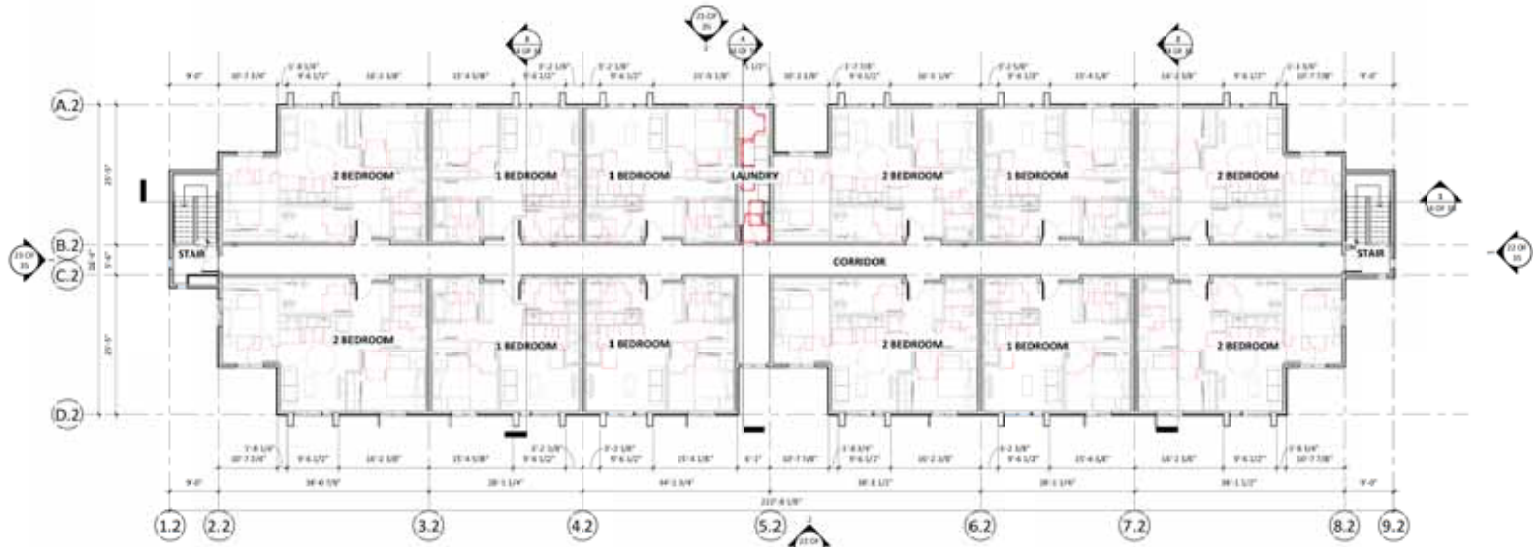
Project No.	150001-00-00
Plot Date:	04/20/2018 12:52:13 PM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
SECTIONS - BUILDING 1

Sheet No.
20 OF 35



1 BUILDING 2 FIRST FLOOR
SCALE: 3/32" = 1'-0"



2 BUILDING 2 SECOND FLOOR
SCALE: 3/32" = 1'-0"

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Issue Dates:	
DATE	DESCRIPTION

Project No.	2018
Plot Date:	10/10/2018 12:47:00 PM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
ARCHITECTURAL FLOOR
PLANS - BUILDING 2

Sheet No.
21 OF 35



1 BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- MATERIAL LEGEND**
- FIBER CEMENT SIDING WITH LAP SIDING
 - FIBER CEMENT BOARD AND BATTEN SIDING
 - WOOD SIDING
 - FIBER CEMENT FAUX

EXTERIOR MATERIALS			
NO.	MATERIAL	MANUFACTURER	NOTES
01	FIBER CEMENT SIDING WITH LAP SIDING	JAMES HARDIE	ARTICULAR LAP SIDING PATTERN: 4" x 12" COLOR: SIA LACE SIDING
02	WOOD SIDING	TRUSBERY	CLONK SPACED SIDING
03	FIBER CEMENT BOARD AND BATTEN SIDING	JAMES HARDIE	FIBER CEMENT BOARD AND BATTEN SIDING PATTERN: 3 1/2" BATTEN WITH 7 1/2" SPACED SIDING 1/2" BATTEN ONE END 7/8"
04	FIBER CEMENT FAUX	JAMES HARDIE / DMC	FIBER CEMENT FAUX WITH TERRAZZO FINISH COLOR: STATUARY BRONZE (PARTIAL) K15
05	TRUSS ROOF SHEATHING	OSB	36 MIL TRUSS ROOF SHEATHING COLOR: GRAY
06	PHOTOPLASTIC PANEL	NU	NU
07	ALUMINUM CLAD WOOD SHIMMER	ANDERSON	AKR SERIES COLOR: BLACK
08	SHADING DEVICE	TRUSBERY	CLONK WOOD SHADING DEVICE COLOR: SPACED SIDING

COLORADO OFFICE
1060 BANNOCK ST.
SUITE 305
DENVER, CO 80204

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Issue Dates:

DATE	DESCRIPTION
10/20/2020	CLASS A DEVELOPMENT SUBMITTAL

Project No. 20191

Plot Date: 5/13/2024 2:48:00 PM

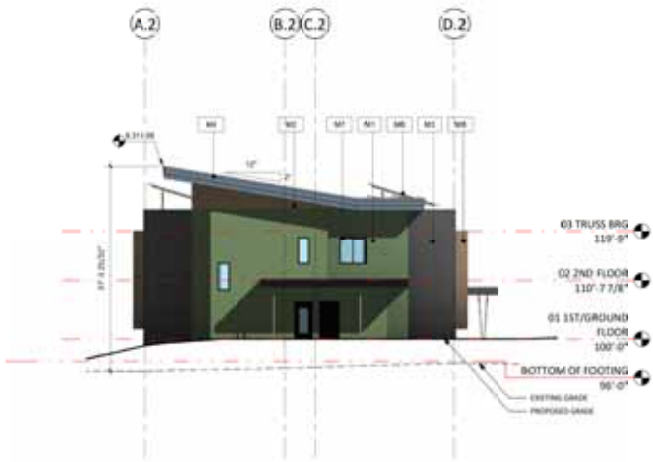
Drawn by: DMC

Checked by: AD

Approved by: NAS

Sheet Title
ELEVATIONS - BUILDING 2

Sheet No.
22 OF 35



1 BUILDING 2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

- MATERIAL LEGEND**
- FIBER CONCRETE (W/ING WITH LAP JOINTS)
 - FIBER CONCRETE (BOARD AND BATTEN JOINTS)
 - WOOD-TILE JOINTS
 - FIBER CONCRETE AT WALLS

MARK	EXTERIOR MATERIALS		
	DESCRIPTION	MANUFACTURER	NOTES
M1	FIBER CONCRETE AT WALLS WITH LAP JOINTS	JAMES HARDEN	VERTICAL LAP JOINTS PATTERN: 4" x 1" COLOR: 1/4" SAND BACKING
M2	WOOD-TILE JOINTS	PERMANENT	KODIAK SPECKLE STONE 1/4" BROWN/CSS
M3	FIBER CONCRETE BOARD AND BATTEN JOINTS	JAMES HARDEN	PULVIC (DARK BATTEN BOARDS) PATTERN: 2 1/2" BATTEN WITH 2 1/2" SPACES COLOR: 1/4" SAND LINE, 1/4" SAND
M4	FIBER CONCRETE AT FACIA	JAMES HARDEN / DMC	FACIA WITH (DARK) TERRAZZO FACIA YELLOW (STAIRWAY BRIDGE) (PATTERN: 4 1/2") 1/4" SAND (2ND FLOOR BRIDGE) COLOR: GRAY
M5	2ND FLOOR BRIDGE	PERMANENT	1/4" SAND (2ND FLOOR BRIDGE) COLOR: GRAY
M6	PHOTODUPLICATION MARKS	N/A	N/A
M7	ALUMINUM CLAD WOOD WINDOW	ANDERSEN	AND SERIES COLOR: BRUSH
M8	SLIDING DEVICE	PERMANENT	CUSTOM WOOD SLIDING DEVICE KODIAK SPECKLE STONE 1/4" BROWN/CSS

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Issue Dates:

DATE	DESCRIPTION
10/20/2018	CLASS A DEVELOPMENT SUBMITTAL

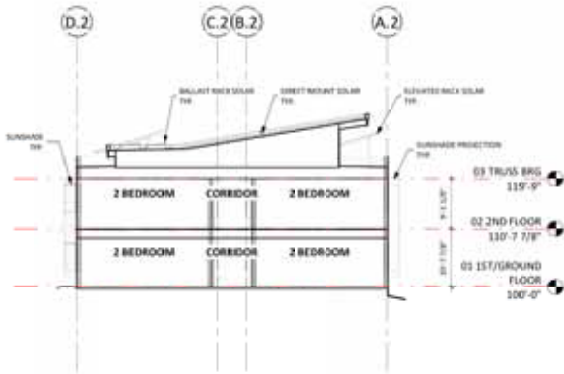
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Drawn by: DMC
Checked by: AD
Approved by: NAS

Sheet Title
ELEVATIONS - BUILDING 2

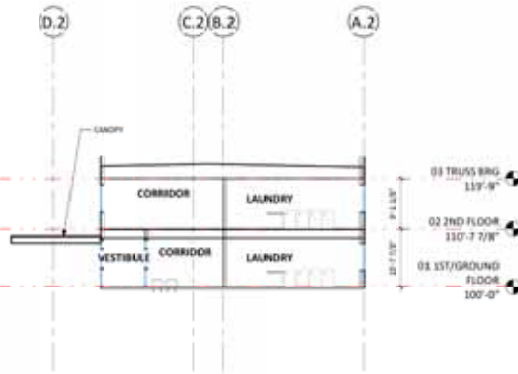
Sheet No.
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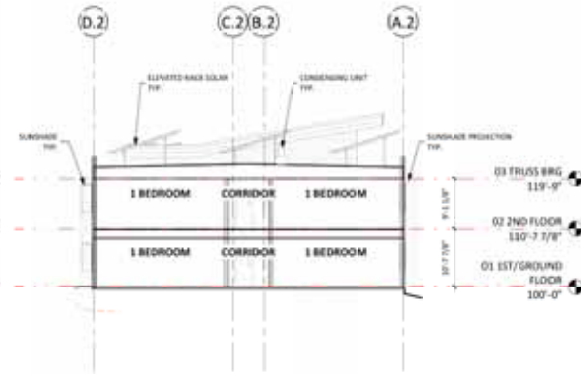
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 SCALE: 3/8" = 1'-0"



2 BUILDING 2 SECTION - TRANSVERSE 1
 SCALE: 3/8" = 1'-0"



3 BUILDING 2 SECTION - TRANSVERSE 2
 SCALE: 3/8" = 1'-0"



4 BUILDING 2 SECTION - TRANSVERSE 3
 SCALE: 3/8" = 1'-0"

Issue Dates:	
DATE	DESCRIPTION
10/20/2018	CLASS A DEVELOPMENT SUBMITTAL

Project No.	10000
Plot Date:	10/20/2018 12:47:58 PM
Drawn by:	DMC
Checked by:	AO
Approved by:	NAS

Sheet Title
 SECTIONS - BUILDING 2

Sheet No.
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1 BUILDING 3 FIRST FLOOR
SCALE: 1/32" = 1'-0"



2 BUILDING 3 SECOND FLOOR
SCALE: 1/32" = 1'-0"

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CLASS A DEVELOPMENT**

Breckenridge, CO 80424

Issue Dates:

DATE	DESCRIPTION
	ISSUED FOR PERMITS SUBMITTAL

Project No.	3000
Plot Date:	NOVEMBER 22, 2018 10:40 AM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title

ARCHITECTURAL FLOOR
PLANS - BUILDING 3

Sheet No.

25 OF 35



1 BUILDING 3 - EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING 3 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND

- FIBER CEMENT VARRING WITH LAP SIDING
- FIBER CEMENT BOARD AND BATTEN SIDING
- WOODY T&G SIDING
- FIBER CEMENT FAÇON

EXTERIOR MATERIAL			
MARK	MATERIAL	MANUFACTURER	MODEL
002	FIBER CEMENT VARRING WITH LAP SIDING	JAMES HARDIE	ARTFORM LAP SIDING PATTERN: 4" x 4" COLOR: 1-W VANCE SIDING
003	WOODY T&G SIDING	THORNGREN	WOODEN SPRALES SIDING 1/4" BRUNNED C13
004	FIBER CEMENT BOARD AND BATTEN SIDING	JAMES HARDIE	INSIDE SHAR BATTEN SIDING PATTERN: 7 1/2" BATTEN WITH 1 1/2" SPACE COLOR: 1-W VANCE SIDING
005	FIBER CEMENT FAÇON	JAMES HARDIE / ONA	FAÇON WITH ONA TERRAZZO FAÇON COLOR: STAGRAY BRUNED SPARTAN 4.00 80 000 170 000 SPERRBAHN SIDING 1000P
006	FUNCTIONAL TILE (FLOR)	FLOR	FLOR
007	ALUMINUM CLAD GLASS WINDOW	JOHN COLE	JOHN COLE
008	SHADING DEVICE	THORNGREN	SUNSCREEN WOOD SHADING DEVICE WOODEN SPRALES SIDING 1/4" BRUNNED C13

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CLASS A DEVELOPMENT

Breckenridge, CO 80424

Issue Dates:

DATE	DESCRIPTION
10/20/2020	CLASS A DEVELOPMENT SUBMITTAL

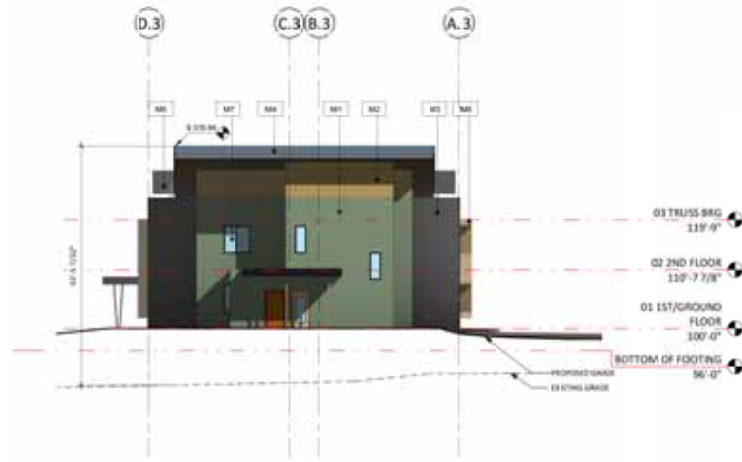
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Plot Date: 6/15/2024 4:07:40 PM
Drawn by: DMC
Checked by: AD
Approved by: NAA

Sheet Title
ELEVATIONS - BUILDING 3

Sheet No.
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1 BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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Issue Dates:

DATE	DESCRIPTION
10/20/2018	ISSUE IN DEVELOPMENT SUBMITTAL

Project No. 18011

Plot Date: 6/15/2018 4:07:43 PM

Drawn by: DMC

Checked by: AD

Approved by: NAS

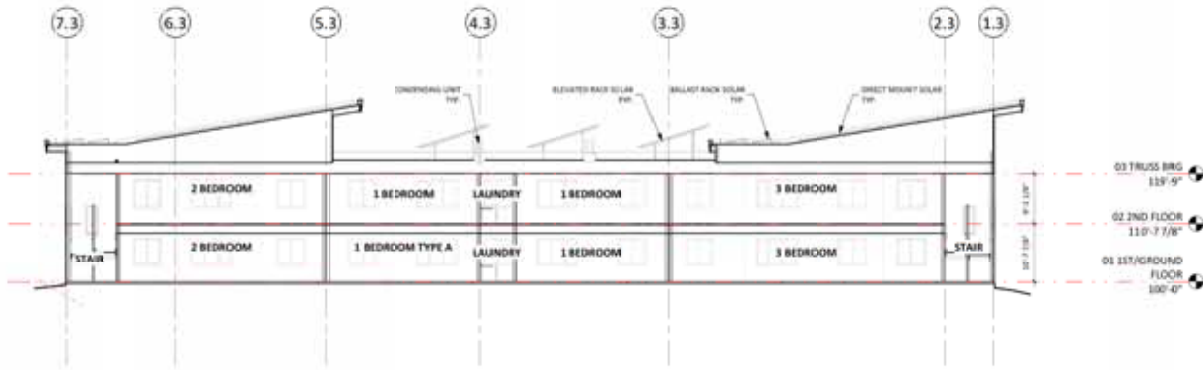
Sheet Title
ELEVATIONS - BUILDING 3

Sheet No.
27 OF 35

MATERIAL LEGEND

- FINE CEMENT VARNISH WITH LAP SEAMS
- FINE CEMENT BOARD AND BATTEN SEAMS
- WOOD TRIM SEAMS
- FINE CEMENT FACE

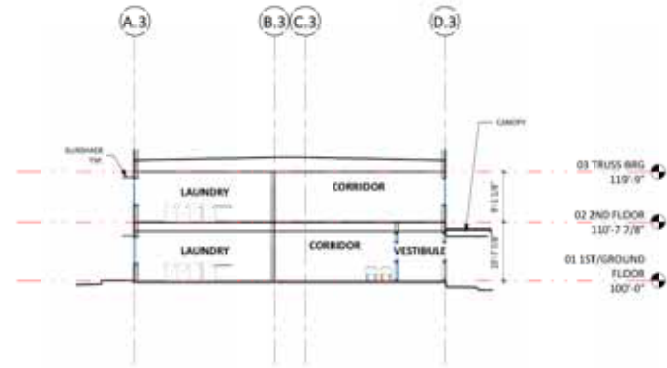
EXTERIOR MATERIALS			
GRID	MATERIAL	MANUFACTURER	MODEL
001	FINE CEMENT VARNISH WITH LAP SEAMS	JAMES HARDIE	ARTIFICIAL LAP SEAMS PATTERN: 4" x 12" COLOR: 1/4" SAGE DRUM
002	WOOD TRIM SEAMS	THUNDERBOLT	WOOD TRIM SEAMS 1/4" DRUM (C1)
003	FINE CEMENT BOARD AND BATTEN SEAMS	JAMES HARDIE	WHITE GRAY BATTEN BOARD PATTERN: 2 1/2" BATTEN WITH 1 1/2" SPACE COLOR: 3/4" SAGE DRUM
004	FINE CEMENT FACE	JAMES HARDIE / CMU	FACE PATTERN: STAGGART BRIDGE (BATTEN 4 1/2") COLOR: 1/4" SAGE DRUM
005	TRIM BLOCK MEMBRANE	EMULEX	NO BRG TRIM BLOCK MEMBRANE COLOR: 1/4" SAGE DRUM
006	ALUMINUM (CLASH) WINDOW	N/A	N/A
007	ALUMINUM (CLASH) WINDOW	DAVE PERI	400 SERIES COLOR: BLACK
008	SHADING DEVICE	THUNDERBOLT	CUSTOM PICOO SHADING DEVICE PATTERN: 1/4" SAGE DRUM COLOR: 1/4" SAGE DRUM



1 BUILDING 3 SECTION - LONGITUDINAL 1
SCALE: 3/16" = 1'-0"



2 BUILDING 3 SECTION - TRANSVERSE 1
SCALE: 3/16" = 1'-0"



3 BUILDING 3 SECTION - TRANSVERSE 2
SCALE: 3/16" = 1'-0"

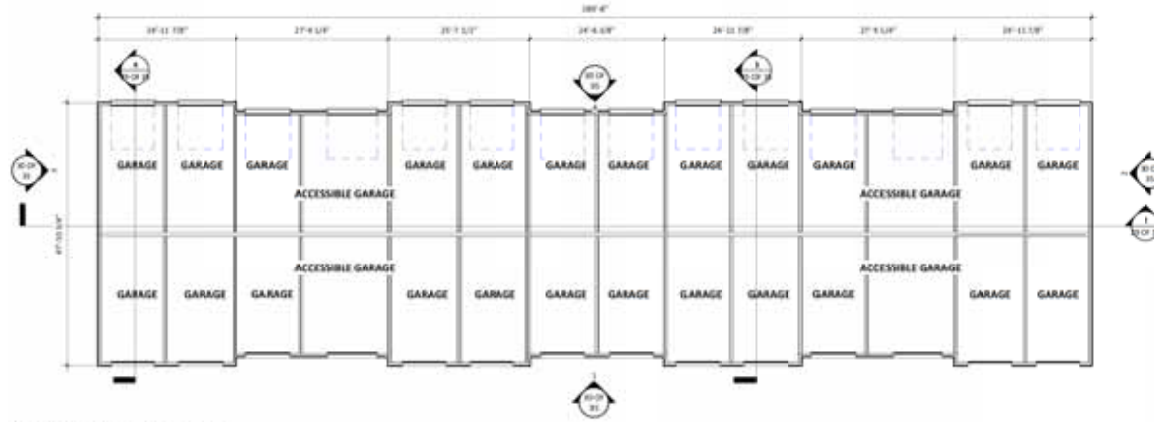
Issue Dates:

DATE	DESCRIPTION
10/20/2018	CLASS A DEVELOPMENT SUBMITTAL

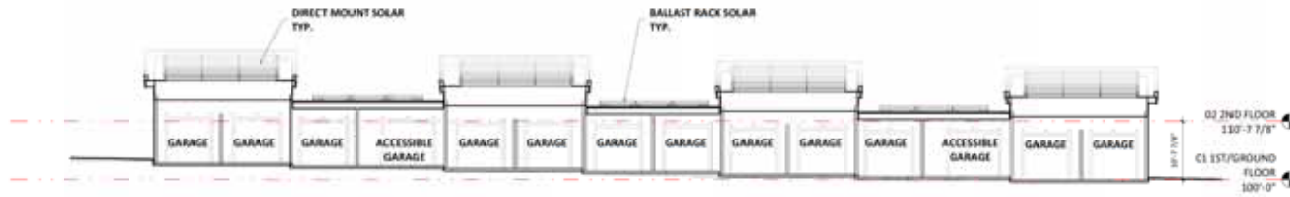
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Plot Date:	10/20/2018 12:40:56 PM
Drawn by:	DMC
Checked by:	AO
Approved by:	NAS

Sheet Title
SECTIONS - BUILDING 3

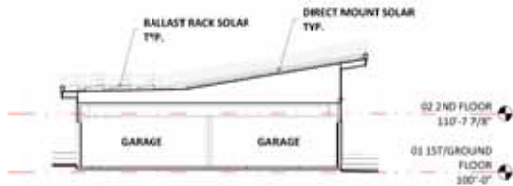
Sheet No.
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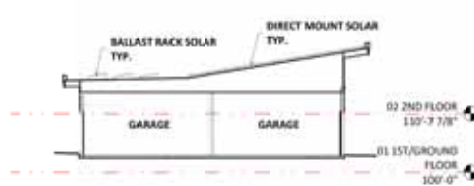
1 GARAGE 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 GARAGE 1 SECTION - LONGITUDINAL 1
SCALE: 1/8" = 1'-0"



3 GARAGE 1 SECTION - TRANSVERSE 1
SCALE: 1/8" = 1'-0"



4 GARAGE 1 SECTION - TRANSVERSE 2
SCALE: 1/8" = 1'-0"

Issue Dates:	
DATE	DESCRIPTION

Project No.	2018
Plot Date:	11/15/2018 12:42:34 PM
Drawn by:	DMC
Checked by:	AO
Approved by:	NAS

Sheet Title
GARAGE 1 PLANS AND SECTIONS

Sheet No.
29 OF 35

Issue Dates:

DATE	DESCRIPTION
6/20/2024	CLASS A DEVELOPMENT SUBMITTAL

Project No.	202401
Plot Date:	6/20/2024 10:13 AM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

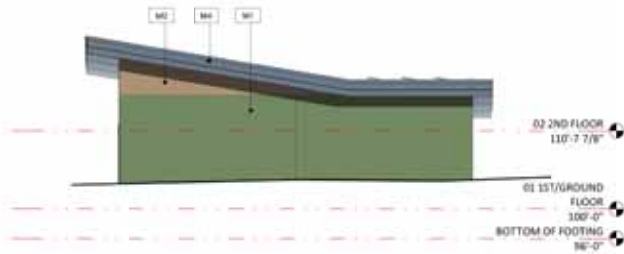
Sheet Title
GARAGE 1 ELEVATIONS

Sheet No.
30 OF 35



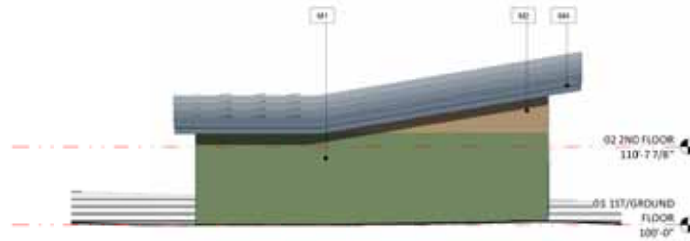
4 GARAGE 1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



3 GARAGE 1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 GARAGE 1 EAST ELEVATION

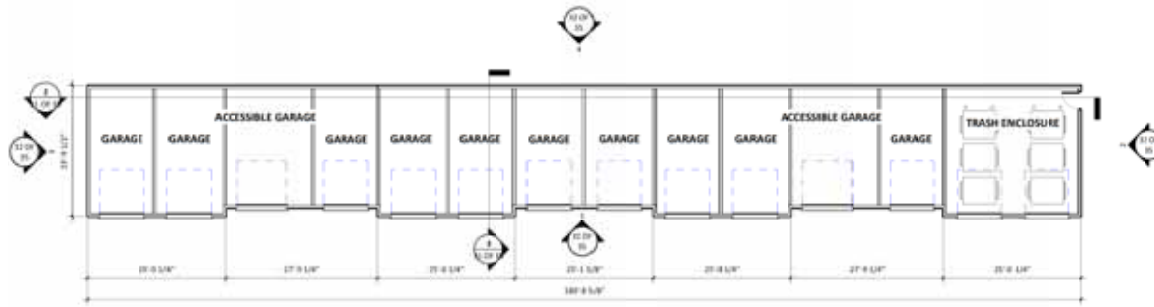
SCALE: 1/8" = 1'-0"



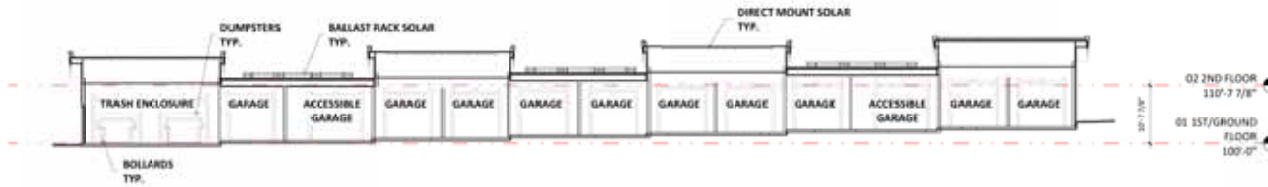
1 GARAGE 1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

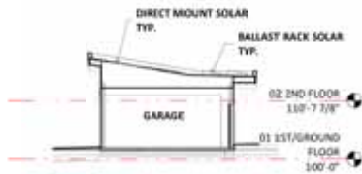
EXTERIOR MATERIALS			
NAME	MATERIAL	MANUFACTURER	NOTES
M1	1 1/2" RED CEMENT BRICK WITH LAP SIDING	AMERIS BRICK	ARTISAN LAP SIDING PATTERN: 4" x 4" x 7" COLOR: S.W. BRICK BR2000
M2	WOOD TRUS SIDING	HERMERY	NORXIA SPRUCE SIDING 1/4" ENDGRAIN SIDING
M3	1 1/2" RED CEMENT BRICKS AND BATTEN SIDING	AMERIS BRICK	PURVIS SQUARE BATTEN SIDING PATTERN: 2 1/2" BATTEN WITH 1 1/2" SPACE COLOR: S.W. BRICK OR S.W. T008
M4	1 1/2" RED CEMENT BRICKS	AMERIS BRICK	PURVIS WITH CHALK TERRAZZO OR FACED SIDING COLOR: STAGLARI BRICKS (UNSTAIN) 4110
M5	PO-Roof MEMBRANE	AMPLIFE	36 MIL THQ ROOF MEMBRANE COLOR: GRAY
M6	PHOTOVOLTAIC PANELS	NLS	TR-6
M7	ALUMINUM CLAD WOOD WINDOW	ANDERSON	ARC SERIES COLOR: BLACK
M8	SHINGLES DECK	HERMERY	2 1/2" X 6" WOOD SHINGLES DECK NORXIA SPRUCE SIDING 1/4" ENDGRAIN SIDING



1 GARAGE 2 FLOOR PLAN
SCALE: 3/8" = 1'-0"



2 GARAGE 2 SECTION - LONGITUDINAL 1
SCALE: 3/8" = 1'-0"



3 GARAGE 2 SECTION - TRANSVERSE 1
SCALE: 3/8" = 1'-0"

Issue Dates:

DATE	DESCRIPTION
04/22/2024	CLASS A DEVELOPMENT SUBMITTAL

Project No.	2024
Plot Date:	04/22/2024 10:40:05 AM
Drawn by:	DMC
Checked by:	AD
Approved by:	NAS

Sheet Title
GARAGE 2 PLANS AND SECTIONS

Sheet No.
31 OF 35

Issue Dates:

DATE	DESCRIPTION
6/12/2024	ISSUE FOR PERMIT SUBMITTAL

Project No. 202401

Plot Date: 6/12/2024 4:12:39 PM

Drawn by: DMC

Checked by: AD

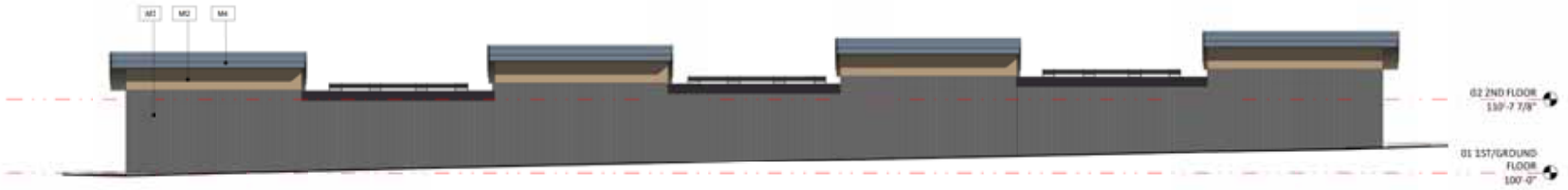
Approved by: NAS

Sheet Title

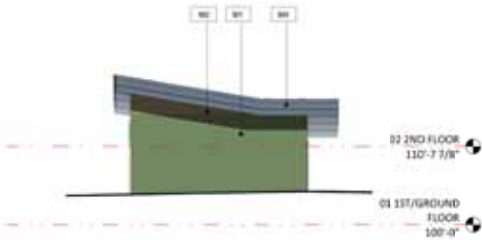
GARAGE 2 ELEVATIONS

Sheet No.

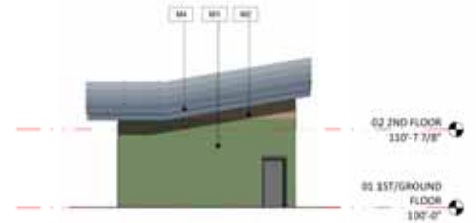
32 OF 35



4 GARAGE 2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 GARAGE 2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 GARAGE 2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 GARAGE 2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

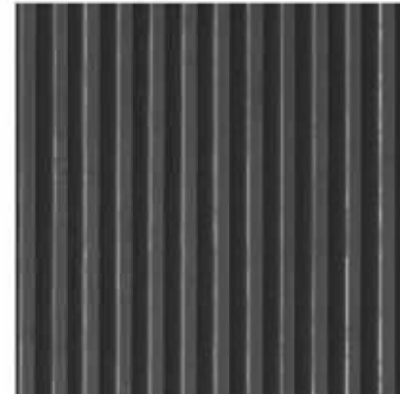
EXTERIOR MATERIALS			
NAME	MATERIAL	MANUFACTURER	MODEL
M1	FIBER CEMENT SIDING WITH LAP SIDING	SHAWNEE SIDING	AFTERSHAP LAP SIDING PATTERN: 4" x 8" (1/2" OVER 1/4" GAB) 3/8" THICK
M2	WOOD TRIM SIDING	TRIMWOOD	WOOD TRIM SIDING (1/2" OVER 1/4" GAB)
M3	FIBER CEMENT FIBRA BOARD AND BATTEN SIDING	SHAWNEE SIDING	FIBER CEMENT FIBRA BOARD PATTERN: 1/2" BATTEN WITH 1/2" (1/2" OVER 1/4" GAB) 3/8" THICK
M4	FIBER CEMENT FIBRA	SHAWNEE SIDING/OSB	FIBRA WITH OSB TRIMMING AND FINISH (1/2" OVER 1/4" GAB) 3/8" THICK
M5	TRU SOOF SHEATHING	OSB/DFB	3/4" TRU SOOF SHEATHING (1/2" OVER 1/4" GAB)
M6	PHOTOVOLTAIC PANEL	SUN	SUN
M7	ALLUMINUM CLAD WOOD WINDOW	ANDERSON	400 SERIES (COLOR: BLACK)
M8	SHADING DEVICE	TRUSKOR	1/2" X 1/2" X 1/2" SHADING DEVICE (1/2" OVER 1/4" GAB)



M1
PAVE CEMENT VERRING WITH LAP SIDING



M2 & M8
WOOD T&G SIDING



M3
PAVE CEMENT BOARD AND BATTEN SIDING



M7
DOORS AND WINDOWS



M5
TRI ROOF MEMBRANE



M4
PAVE CEMENT ROCK

**ALTA VERDE
CLASS A DEVELOPMENT**

Breckenridge, CO 80424

Issue Dates:	
DATE	DESCRIPTION

Project No.	190001-00-00
Plot Date:	5/12/2024 1:44:28 PM
Drawn by:	AO
Checked by:	NAS
Approved by:	NAS

Sheet Title
MATERIAL BOARD

Sheet No.
33 OF 35



**ALTA VERDE
 CLASS A DEVELOPMENT**

Breckenridge, CO 80424

Issue Dates:	
DATE	DESCRIPTION
05/20/2024	CLASS A DEVELOPMENT SUBMITTAL

Project No.	202405-0010
Plot Date:	5/20/2024 4:42:04 PM
Drawn by:	AO
Checked by:	NAS
Approved by:	NAS

Sheet Title
 RENDERINGS

Sheet No.
34 OF 35



COLORADO OFFICE
 1060 BANNOCK ST.
 SUITE 305
 DENVER, CO 80204

ALTA VERDE

Breckenridge, CO 80424

Issue Dates:

DATE	DESCRIPTION
04/20/2016	ISSUE FOR PERMIT SUBMITTAL

Project No.	100001-00-00
Plot Date:	6/12/2016 5:18:43 PM
Drawn by:	AO
Checked by:	NAS
Approved by:	NAS

Sheet Title
 RENDERINGS

Sheet No.
35 OF 35



Memo

To: Mayor and Town Council
From: Julia Puester, Assistant Director of Community Development
Date: 10/21/2020 for meeting of October 27, 2020
Subject: Planning Commission Appointment Recommendations

A sub-committee consisting of one Planning Commissioner, Michael Giller, as well as two staff, Mark Truckey and Julia Puester, interviewed the non-incumbent applicants for the vacancies on the Planning Commission for three seats. One seat was vacated by Jim Lamb in September 2020. The other two seats are those of Stephen Gerard (current Chair) and Jay Beckerman (recently elected in June 2020 to fill Dan Schroeder's vacated seat). The appointments are for four years, expiring in November 2024.

Planning Commission applicants included:

Thomas Wahl
Tanya Delahoz
Ace Conway
Tim McKennie
James Lamberti
Jay Beckerman (incumbent)
Stephen Gerard (incumbent)

The subcommittee is recommending reappointing Stephen Gerard and Jay Beckerman. The subcommittee further recommends that the Town Council appoint Tanya Delahoz to fill the seat vacated by Jim Lamb. Mrs. Delahoz has been in the community for twenty years and owns a local real estate and long term leasing company.

Staff has attached the letters of interest received for all applicants and will be available at the meeting if there are any questions.

Thomas W. Wahl
PO Box 366
353 Corkscrew Drive
Breckenridge, CO 80424-0366
281-217-0015
Tom4814@gmail.com

Planning Commission Letter of Interest

10/6/2020

Town of Breckenridge – Town Council
Community Development Department
PO Box 166 150 Ski Hill Road, 2nd Floor
Breckenridge, CO 80424
970-453-3160
JuliaP@TownofBreckenridge.com

Dear Town Council:

The Planning Commission has a critical role in determining the future look and feel of our town for residents and our guests. That look and feel will determine quality of life issues for our residents and quality of the visiting experience for our guests. I take this application and the potential appointed role with great seriousness.

I have no formal training in historic architecture, urban planning, building trades or law. What I do bring to the table is a passion for research, attention to detail, and the financial impact of projects.

My career was working for IBM, I designed and implemented hardware and software systems that increased the efficiency and profitability of small businesses. To do that successfully, I needed to analyze the company's business, their culture, and their skills. Later in my career I was a business development manager responsible for evaluating new business services by researching the market demand, competition, profitability, and capability of IBM to deliver those services. The effort took collaboration with sales, delivery, finance, and strategic planning teams. Research, financial analysis, and judgement are the critical success factors I bring to the Planning Commission position.

I am currently the President of the Corkscrew Flats HOA. Part of my responsibilities is approval for architectural and landscaping projects subject to building restrictions and community standards. I am also a member of the Father Dyer Finance Committee.

I have remodeled/renovated multiple properties. This included personally doing some design, electrical, plumbing and drywall work, as well as, working with contractors and the building department on permitting. I am in no way a professional. I found working with contractors and the building department in a cooperative/collaborative relationship always resulted in the best results. Their knowledge is invaluable.

A few years ago, there was an idea for an Airport Lot to Ice Rink gondola. I was the guy who researched and then submitted the case study from Canada that showed the costs of the infrastructure and ongoing operations might not be viable, this was then confirmed by the consultant.

My home is Breckenridge, I would be gratified to serve our community.

Thank you for your consideration.

Tom Wahl

Tanya E. Delahoz

616 Highfield Trail, POB 7892 • Breckenridge, CO • 80424
970-333-0082 • tanya@dwells Summit.com

October 5, 2020

Dear Breckenridge Planning Commission,

I am interested in serving as a member of the Breckenridge Planning Commission and respectfully ask for your consideration and support for one of the Commission Seats being vacated in October. As a twenty-year local, business owner and property owner, I am passionate in my commitment to Breckenridge.

As an interested member of our Breckenridge community, I would like to provide my time, skills and talents to assist in planning the future of our Kingdom.

What has piqued my interest in seeking appointment to the Planning Commission is my deep desire to serve the community. Breckenridge is my home. It is where my husband and I have chosen to raise our two sons. It is where I have started several businesses. And, it is where my extended family resides.

In my twenty-year tenure as a Breck resident-I have had the opportunity to live almost everywhere in the town. I started my life here in French Creek, lived in the downtown historic core, moved on to Huron Heights then out to Blue River for a while and have since settled in the Highlands. I have seen the extensive changes our town has gone through and am committed to preserving the values, charm and energy Breckenridge is known throughout the world for.

I respectfully request your support in being appointed to the Breckenridge Planning Commission.

Please take some time to consider my background, attached. I am available to answer any questions you may have.

Thank you for your consideration,

Tanya E. Delahoz
616 Highfield Trail
PO Box 7892
Breckenridge, CO 80424
970-333-0082 | tanya@dwells Summit.com

Tanya E. Delahoz

616 Highfield Trail, POB 7892 • Breckenridge, CO • 80424
970-333-0082 • tanya@dwellsommit.com

Summary of Qualifications

- Experience as a Managing Real Estate Broker
- Experience as a Sales Manager
- Experience as a business coaching trainer to medical practices
- Exceptional work ethics with the ability to work independently and a proven track record working from a virtual office environment
- Developed training programs for software and staff

Relevant Professional Experience

- Dwell Summit Real Estate Brokerage, a concierge level boutique real estate brokerage
- Dwell Summit, Summit County's premier long term leasing company-Founder 2008
- Regional Board Member, Bright Peak Financial (a charitable giving arm division of Thrivent Financial) 2015-2017
- Mentor Worldwide, an Ethicon/Johnson & Johnson Company, Practice Specialist, April 2008-Feb 2010

Education

- Managing Broker Real Estate License, Colorado
- Bachelor of Science, Business Administration, Ramapo College of NJ, Dec 1998
- Dale Carnegie Leadership & Training Classes

Ace Conway
26 Marksberry Way
Breckenridge, CO 80424
(970)485-5319

RECEIVED
OCT 09 2020
TOWN OF BRECKENRIDGE

October 9, 2020

Julia Puester
Assistant Director
Community Development
Town of Breckenridge

Dear Julia,

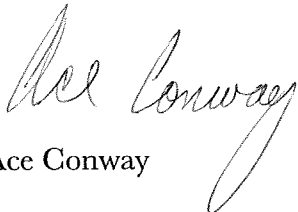
Please accept my application to serve on the Planning Commission for the Town of Breckenridge. As someone who lived here in Breckenridge back in the 1980's, left, and came back as a full-time resident over three years ago, I feel I'm uniquely qualified to serve on the Planning Commission.

My early years in town were spent in the restaurant business, as an employee and owner. After raising three children and spending the bulk of my career in the investment industry in Ohio, my wife and I moved back to Breckenridge. I am currently a licensed realtor, ski instructor, and part-time employee at Fatty's.

I have a genuine passion for Breckenridge and would appreciate the opportunity to become more active and contribute to the future of Breckenridge.

Thank you for your consideration and I look forward to hearing from you.

Sincerely,



Ace Conway

From: mckennie@comcast.net
To: [Julia Puester](#)
Subject: Planning commission vacancy.
Date: Thursday, October 8, 2020 9:24:50 AM

Sorry, I left a few things off of my first try.

Dear Planning Commission,

I would appreciate your consideration as a new appointee to the Town Planning Commission. I first moved to Breckenridge in 1994 and have been a general contractor/developer in town for 26 years as the owner of Crystal Creek Building and Development, LLC.

In addition to knowledge of construction techniques, as a developer I have experience in land acquisition, site planning, design, zoning and code compliance, as well as real estate marketing, contracts and insurance.

I have worked with Town Staff on dozens of projects over the years and have a good working relationship with members of the various Town Departments.

On a personal note, I am 51, I've been married to my wife Traci for 25 years and we have raised two sons, Liam, 21 and Tristan, 17. I have a Bachelors Degree in Finance from Michigan State University. In addition to the usual outdoor pursuits, I have an active interest in architecture and history(local, mining, railroad, the West). Prior to moving here in '94, I first started visiting Breckenridge as a child in the 70s.

I am in favor of responsible growth for the Town and would welcome the opportunity to sit on the planning commission as it addresses the challenges ahead. Now that my children are (almost) all out of the house, I have more time to dedicate such endeavors.

Thanks again,

Tim McKennie
[1238 Gold Run Rd](#)
[PO Box 6699](#)
[Breckenridge, CO 80424](#)

[970 390-1951](tel:9703901951)

Tim McKennie

James Lamberti

9339 CO HWY 9
BRECKENRIDGE, CO 80424
(970) 379-5402
JAMES.LAMBERTI07@GMAIL.COM

4th October 2020

Town of Breckenridge

Community Development Department
PO Box 168; 150 Ski Hill Road 2nd Floor
Breckenridge CO 80424
Websitecommdev@townofbreckenridge.com
(970) 453 3160

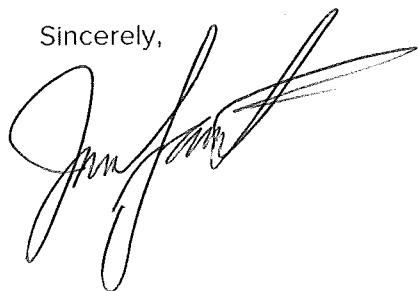
Dear Sir or Madam,

I recently noticed the posting in the Summit Daily for open seats on the Breckenridge Planning Commission and I thought it would be a great way to get involved in community affairs. I have been a resident of Breckenridge for 6 years, Summit County for 8 years, and Colorado for 24 years.

During this time have I watched how Colorado has changed for the better in some ways and worse in others. Living in Breckenridge I have come across many residents who currently serve in local government positions and those who have served in different roles previously. All of them have suggested that I get involved in any way I can.

Being a year round resident, I feel that I would be a great addition to the Breckenridge Planning Commission as I have come to love the area I live in and want to do my best in shaping the future developments in the town. I graduated from UCCS with a BA in Political Science & Pre-Law and also worked for the Colorado 5th Judicial District Attorney's Office where I met numerous people who inspired me to seek out a way to get involved in my local community.

Sincerely,



James Lamberti

JAY BECKERMAN

26 Forest Circle Breckenridge, Colorado

970.485.0409

jay@blueriverbistro.com

October 6, 2020

Town of Breckenridge
Planning Commission

Dear Recipient:

I appreciate the opportunity to be considered for the Town of Breckenridge Planning Commission. Providing insights, supporting policy and educating others on the town's planning management is critical to creating trust within the community.

Being a business owner and full time resident in Breckenridge since 2001, I have witnessed the growth and expansion of our community, towns and county. Today brings about crucial opportunities and questions on the use and management of land and I would be proud to be a part of the planning commission providing oversight.

- 2001 – Present Blue River Bistro; Owner and Operator
- 2016 – Present Upper Blue Planning Commissioner
- 2015 – Present Breckenridge Tourism Office; Board & Financial Committee Chair
- 2020 – Present Summit School District Finance Committee Member
- 2006 – 2016 Vita Restaurant; Owner and Operator
- 2002 – 2006 Summit Lacrosse; Founder & Head Coach

Sincerely,



STEPHEN C. GERARD II
Attorney at Law
P.O. Box 6734
Breckenridge, Colorado 80424
(319) 430-1479
judgeg75@gmail.com

Admitted to Practice
Colorado and Iowa

October 4, 2020

Julia Puester, *AICP*
Assistant Community Development Director
Town of Breckenridge
150 Ski Hill Road
P.O. Box 168
Breckenridge, CO 80424

In Re: Town of Breckenridge Planning Commission

Dear Ms. Puester:

I am submitting this Letter of Interest as a candidate for re-appointment to the Town of Breckenridge Planning Commission. Having completed a four-year term on the Commission I have learned a great deal about the Town Code, Handbook of Design Standards, and the development process. I have been diligent in preparing for meetings and have only missed one meeting over the course of my four-year term. I felt that I was well equipped to manage the Commission meetings over the past year while serving as chair during the challenging time of Covid and virtual meetings.

I have enjoyed attending the Saving Places Conferences, learning more about historic preservation and have participated in CLG trainings for planning commissioners offered by History Colorado to help the Town maintain it's CLG status. I have sought out and attended other historic preservation trainings on my own initiative to be better informed and prepared for my responsibilities as a Commissioner.

I am attaching a current resume to this letter. I would respectfully request consideration for appointment to an additional term as a Planning Commissioner for the Town of Breckenridge.

Best regards.

Stephen C. Gerard II

STEPHEN C. GERARD II

66 Long Ridge Drive, P.O. Box 6734, Breckenridge, CO 80424
(319) 430-1479
Email - judgeg75@gmail.com
LinkedIn URL: <https://www.linkedin.com/pub/steve-gerard/50/47a/b46>
Admitted to practice law in States of Iowa and Colorado

EXPERIENCE

- July 1995 - August 2015 **District Associate Judge**, Iowa Judicial Branch, Sixth Judicial District, Johnson County, Iowa.
- Presided over high-volume criminal docket and Juvenile Court, delinquency and children in need of assistance cases. Conducted over 300 jury trials. Wrote Emergency Mental Health and Civil Commitment chapters for State Judge's Bench Book.
- January 1983 - July 1995 **Judicial Magistrate**, Iowa Judicial Branch, Sixth Judicial District, Johnson County, Iowa.
- Part-time judicial officer responsible for high-volume traffic court and misdemeanor dockets for county and city courts as well as active small claims and landlord/tenant civil dockets. Wrote Small Claims and Landlord Tenant chapters for State Judicial Magistrate Bench Book. Frequent lecturer at Annual State Judicial Magistrates Conferences.
- January 1980 - July 1995 **Attorney**, Johnson County, Iowa.
- Engaged in private practice of law in the areas of criminal defense, domestic and juvenile law with emphasis on business, real estate and litigation.
- January 1976 - January 1980 **Judge Advocate, United States Air Force**
- Area Defense Counsel, Sheppard AFB, Texas, and Chief Circuit Trial Counsel, Boling AFB, DC. Responsible for criminal defense and felony prosecution of military personnel at regional and international Air Force bases.

COMMUNITY INVOLVEMENT

- July 2018-Present: Appointed as **Summit County Board of Equalization Referee**
- February 2017-Present: Elected to **Highlands Park POA Board of Directors**; 2018 elected President of Board
- November 2016: Appointed to 4-Year Term on **Town of Breckenridge Planning Commission**
- Summer 2016: Town of Breckenridge Golf Club – Starter and Player Assistant
- Winters 2015-20: Vail Resorts – Ticket Sales and Greeter

EDUCATION

- August 1972 – May 1975 **Juris Doctor**, with Distinction: *University of Iowa College of Law, Iowa City, Iowa*
- August 1968 – May 1972 **Bachelor of Business Administration**, Accounting: *Drake University, Des Moines, Iowa*



Scheduled Meetings

Shading indicates Council required attendance – others are optional

The Council has been invited to the following meetings and events. A quorum may be in attendance at any or all of them.

October 2020

Oct. 5th - Nov. 1st, 2020

Día de los Muertos

All Day

Tuesday, October 27th, 2020	3:00 pm / 7:00 pm	Virtual	Second Meeting of the Month
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November 2020

Tuesday, November 3rd, 2020	8:15am	Virtual	Special Meeting
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Tuesday, November 10th, 2020	3:00 pm / 7:00 pm	Virtual	First Meeting of the Month
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Tuesday, November 24th, 2020	3:00 pm / 7:00 pm	Virtual	Second Meeting of the Month
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November 26th, 2020

Thanksgiving Holiday

All Day

Other Meetings

October 26th, 2020	Open Space & Trails Meeting	5:30pm
October 27th, 2020	Board of County Commissioners Meeting	9:00am / 1:30pm
October 28th, 2020	Summit Stage Transit Board Meeting	8:15am
	Summit Combined Housing Authority	9:00am
October 29th, 2020	Breckenridge Creative Arts	4:00pm
November 3rd, 2020	Board of County Commissioners Meeting	9:00am
	Planning Commission Meeting	5:30pm
November 4th, 2020	Police Advisory Committee	7:30am
	Breckenridge Events Committee	9:00am
	Childcare Advisory Committee	3:00pm
November 10th, 2020	Board of County Commissioners Meeting	9:00am / 1:30pm
	Workforce Housing Committee	10:30am
November 11th, 2020	Breckenridge Heritage Alliance	Noon
November 12th, 2020	Upper Blue Sanitation District	5:30pm
November 17th, 2020	Board of County Commissioners Meeting	9:00am
	Liquor & Marijuana Licensing Authority	9:00am
	Equity Project Meeting	4:00pm
	Planning Commission Meeting	5:30pm
November 19th, 2020	Transit Advisory Council Meeting	8:00am
November 23rd, 2020	Open Space & Trails Meeting	5:30pm
November 24th, 2020	Board of County Commissioners Meeting	9:00am / 1:30pm
November 25th, 2020	Summit Stage Transit Board Meeting	8:15am
	Summit Combined Housing Authority	9:00am
November 26th, 2020	Breckenridge Tourism Office Board Meeting	8:30am
	RW&B Board Meeting	3:00pm



Scheduled Meetings

Shading indicates Council required attendance – others are optional

The Council has been invited to the following meetings and events. A quorum may be in attendance at any or all of them.

December 1st, 2020	Board of County Commissioners Meeting	9:00am
	Planning Commission Meeting	5:30pm
December 2nd, 2020	Breckenridge Events Committee	9:00am
	Childcare Advisory Committee	3:00pm
December 8th, 2020	Board of County Commissioners Meeting	9:00am / 1:30pm
	Workforce Housing Committee	10:30am
December 9th, 2020	Breckenridge Heritage Alliance	Noon
December 10th, 2020	Upper Blue Sanitation District	5:30pm
December 15th, 2020	Board of County Commissioners Meeting	9:00am
	Liquor & Marijuana Licensing Authority	9:00am
	Planning Commission Meeting	5:30pm
December 17th, 2020	Transit Advisory Council Meeting	8:00am
December 24th, 2020	Breckenridge Tourism Office Board Meeting	8:30am
	Northwest CO Council of Governments	10:00am
	RW&B Board Meeting	3:00pm
January 14th, 2021	I-70 Coalition	1:00pm
TBD	Water Task Force Meeting	8:00am
	Art Installation Meeting	2:00pm
	Social Equity Advisory Commission	8:00am
	QQ - Quality and Quantity - Water District	1:15pm