



TOWN OF
BRECKENRIDGE

Planning Commission Meeting Agenda

Tuesday, July 17, 2018, 5:30 PM

Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

5:30pm - Call to Order of the July 17, 2018 Planning Commission Meeting; 5:30pm Roll Call

<i>Location Map</i>	2
<i>Approval of Minutes</i>	4
<i>Approval of Agenda</i>	

5:35pm - Public Comment On Historic Preservation Issues (Non-Agenda Items ONLY; 3-Minute Limit Please)

5:40pm - Consent Calendar

1. Ernst Addition, Remodel, and Driveway Variance (CL), PL-2018-0103, 73 Red Feather Rd.	8
2. Cove Residence (JL) PL-2018-0272, 107 Victory Lane	24

5:45pm - Town Projects

1. Breckenridge Transit Bus Storage (JL), PL-2018-0211, 1201 Airport Road	42
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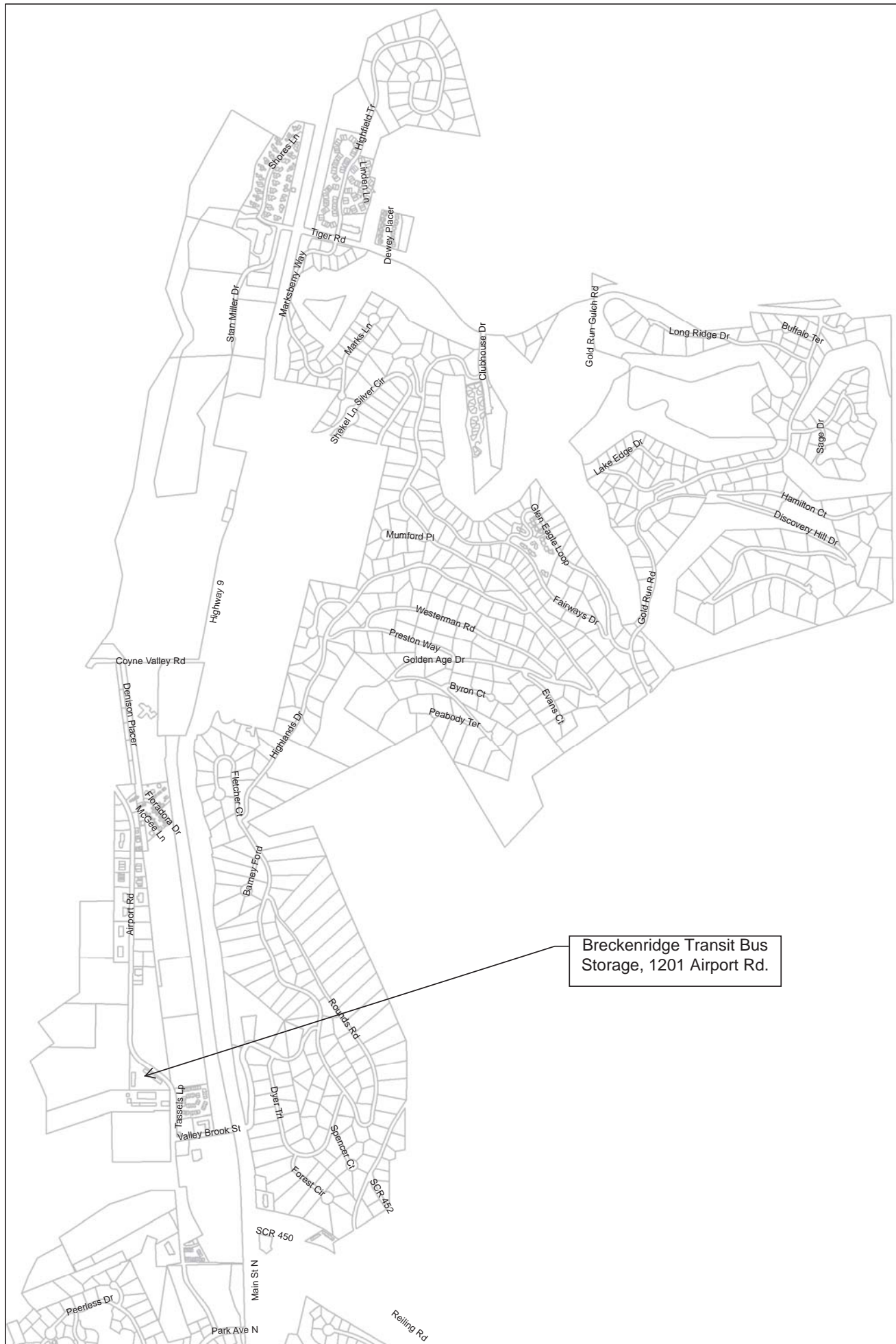
6:15pm - Other Matters

1. Administrative Rules and Regulations for the Town of Breckenridge Development Code and Subdivision Standards (Memo Only)	56
2. Class D Majors, Q2 2018 (JP) (Memo Only)	71
3. Class C Subdivisions, Q2 2018 (JP) (Memo Only)	75
4. Town Council Summary (Memo Only)	79

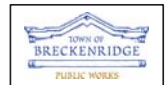
7:00pm - Adjournment

For further information, please contact the Planning Department at (970) 453-3160.

The indicated times are intended only to be used as guides. The order of the projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.



Breckenridge Transit Bus Storage, 1201 Airport Rd.



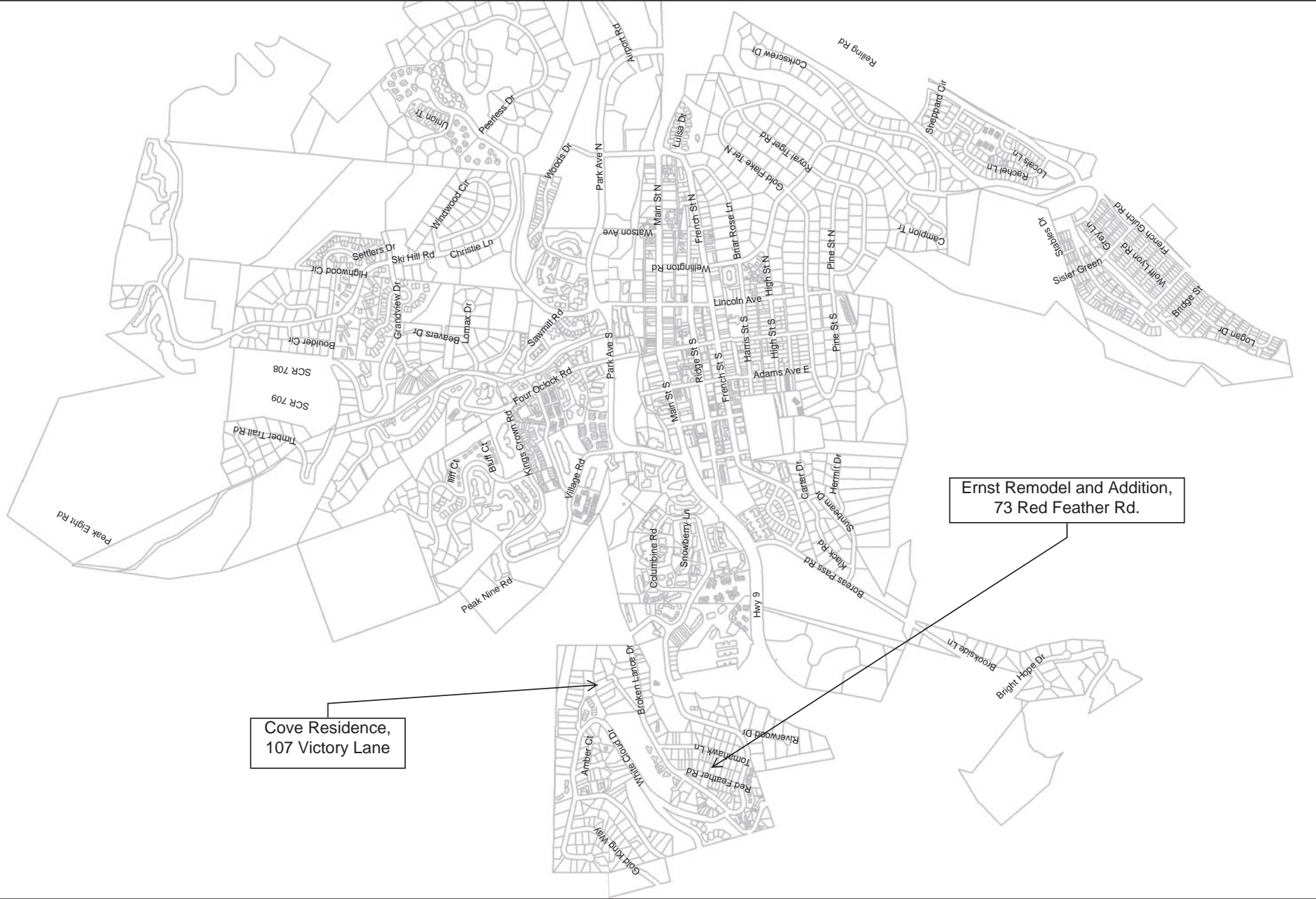
Breckenridge North





NOT TO SCALE

Breckenridge South



Cove Residence,
107 Victory Lane

Ernst Remodel and Addition,
73 Red Feather Rd.

PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 p.m. by Chair Mathews-Leidal.

ROLL CALL

Christie Mathews-Leidal	Jim Lamb	Ron Schuman
Mike Giller – Arrived at 5:42	Steve Gerard	
Dan Schroder	Gretchen Dudney	

APPROVAL OF MINUTES

With no changes, the June 19, 2018 Planning Commission Minutes were approved.

APPROVAL OF AGENDA

With no changes, the July 3, 2018 Planning Commission Agenda was approved.

PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- No Comments

CONSENT CALENDAR:

1. Harris Residence Addition and Accessory Apartment (CL), PL-2018-0233, 84 Marks Lane

Mr. Gerard: Has the HOA seen this plan yet? (Mr. LaChance: Can't recall. I'd have to look at my files to confirm) (Ms. Puester: Legally, we cannot require HOA approval.)

2. Climax Jerky Cart Renewal (CK), PL-2018-0243, 100 S. Main Street

With no call-ups, the Consent Calendar was approved as presented.

FINAL HEARINGS:

1. Yankee Peddler Building Change of Use and Remodel (CL), PL-2018-0099, 400 S. Main Street

Mr. LaChance presented a proposal to change the use of the existing building from commercial retail to commercial restaurant, and to make exterior changes including adding a door and stair to upper floor, modifying the existing roof, modifying the front door threshold, adding a brick patio, adding a walkway and landscaping, and an interior remodel.

Commissioner Questions/Comments:

Ms. Leidal: Does the wood fence meet the historic preservation guidelines? (Mr. LaChance: Yes, it does. The proposed additional fence is an extension of the existing fence, and is proposed to match. The Handbook states that fences in the Historic District cannot be solid. The existing and proposed fence has gaps in between the pickets, so it meets the requirements.)

Mr. Shuman: Have they looked at using the dumpster on the Tannhauser property? (Mr. LaChance: I am not sure, so I might refer that question to the applicant. I have spoken with Public Works and I know the applicant is working out the details with them regarding using a Town Dumpster, but that has not been finalized.)

Mr. Matt Stais, Architect, Presented:

Most of the issues brought up by the Commission were with the landscaping so we made sure to address those issues. The front area will be taken back to lawn and the patio has been cut back. We have also increased shrubs and plantings to better screen the adjacent neighbors. I believe Mr. LaChance did a great job covering

all the changes we made and I don't have anything further to add. Thank you.

Public Comments:

Claudia Lubaszka, 401 S. Ridge Street Unit 19:

This is the first I have heard about the roof and parking. I was under the impression that you can't change the building if you are blocking others view. I have only one window facing Main Street. How high is the new structure going up? (Ms. Leidal: They are adding a porch on the back side but the height of the building will not change.) Will they use more parking between the buildings? (Ms. Leidal: No, they won't.) Where is the outdoor sitting area? (Ms. Leidal: Highlighted the area in question.) How late will the restaurant be open? (Ms. Dudney: We don't have a right to tell them they can't have a restaurant because it was originally zoned as commercial.) Are they taking the entire building or both buildings? (Ms. Dudney: No. Just the front.) Has everything been approved? (Ms. Leidal: Nothing has been approved yet, but this is the final meeting.) Thank you for your time and answering my questions.

Buck Finley, Realtor:

This building did have use of the Tannhauser dumpster in the past. I believe the property owners are in discussions with Tannhauser as to whether or not it will work.

Commissioner Questions/Comments:

- Mr. Lamb: I think it is a good looking project and I support it.
- Mr. Schuman: I would have liked to see more landscaping but I realize it meets requirements.
- Mr. Giller: Staff gave a great presentation and staff and the applicant have been responsive to our concerns at the Preliminary Hearing, so I think that is why we are in agreement tonight. I support.
- Mr. Gerard: I am glad the walk way was reduced. I think that will help with sound buffering for the neighbors now. I thank Matt for all his consideration and changes. I would have like to see it remain a four square but understand the difficulties in doing that.
- Mr. Schroder: I agree with staff analysis and think that staff has done a great job presenting the project. I think the project is approvable.
- Ms. Dudney: I agree, and think the project is approvable.

Mr. Schuman made a motion to approve with the modified conditions handed out, seconded by Mr. Gerard. The motion passed unanimously.

2. Ten Mile Room (JL), PL-2018-0071, 505 S. Park Ave

Ms. Puester presented for Mr. Lott, an application for construction of a 7,859 square foot replacement conference facility that connects to the adjacent Liftside Building conference areas. The applicant requested a few minor changes to the conditions of approval which staff was fine with. The new conditions of approval on your dias. The architect also sent over some additional clarification this afternoon which is on your dias outlining the percentages of material on each elevation in color. Staff had an issue with the CMU shown on the east elevation and although it is only a few feet away from the Liftside building, technically it would not meet code. The elevations you have in front of you also show the CMU changed to fiber cement board material which meets fire code. Most of the building is natural material of wood siding, beams and natural stone. The other main issue that staff had was the parking. None was proposed previously. The applicant has proposed that the parking runs with the Village hotel which the applicant also owns but is planning to sell. A condition has been added to require a covenant and lease to run with the two separate properties of the Ten Mile Room and Village Hotel.

Commissioner Questions/Comments:

- Ms. Dudney: What would happen if they use the CMU shown? (Ms. Puester: Technically, it would get negative points for exceeding 25% in combination with the stucco shown. We give

negative points for the material used as well. The hallway connection elevation is where the CMU block is. If you did lean toward the CMU, I would recommend a special finding to not set precedent with the application, being that it is not visible and 2 feet from an adjacent building.)

Tim Losa, Architect, Presented:

That was a good overview from Ms. Puester. I'll address the last minute change on the siding. We have to have a firewall there. CMU is one way to construct the required fire wall. The other area is a courtyard with a fence on the front side. If we go with lap siding we have to have prefab walls so that is possible to drop in place. We also dropped the roof height on the west end. Other than that the building remains relatively similar. There was concern with using the reddish color so this picture shows the red we are trying to get to, matching the existing Village burnt red color. It is used mostly as a highlight color.

- Mr. Giller: Is the fiberboard wall still a firewall? (Mr. Losa: Yes. It is fire retardant material. It will have a wood texture on it but is nonflammable.)
- Ms. Dudney: Are these exterior walls visible? (Mr. Losa: They should not be visible.) So people may be standing out there smoking? (Mr. Losa: I guess. It is mostly used as back of the house space and will be blocked off by a gate.)
- Ms. Puester: You mentioned a gate, can you show where that is? We usually don't permit that in our code. (Mr. Losa - Pointed out where he thought the gate would be.) I would like to have staff review the gate separately to make sure it meets code.

The hearing was opened for Public Comment: No comments and the hearing was closed.

- Ms. Puester: I would like to add a condition of approval that the applicant submit a class D minor for approval for any gate (new #13).
- Mr. Schroder: Glad to see that we were able to address the parking issues appropriately for this application.
- Mr. Schuman: They solved the parking issue.
- Mr. Lamb: Good compromise to the issue.
- Mr. Gerard: Creative attempt at solving the problem but it is really smoke and mirrors. We took space from the hotel and I see this setting up as a mess because they are short 18 spaces. I don't think we really solved the parking problem. The prior issues with the building have been solved and would support the CMU. I always believe safety comes first. I think they met all the other issues we had.
- Mr. Giller: What gives you a two hour rating on that wall? (Mr. Losa: The material under the wall surface is really how you create a fire wall. With fiber cement, it is made of nonflammable material and metal studs.)
- Ms. Dudney: I am not opposed to the CMU but I think the cementitious material would be better if it needs to look good on all sides and to avoid precedent. (Mr. Losa: We could use either material but we would prefer CMU.) I think it was originally the towns fault for the parking issues with buying the F lot which had the parking for the Village on it. I didn't hear about complaints when it was a conference center previously. I appreciate choosing a solution that would not become precedence by matching the other conference areas in town. I applaud the creative solution.
- Mr. Lamb: I don't have a firm opinion on the material. I don't think the hotel would ever collapse or get knocked down to make the CMU visible. If it did, they would build to their setback.
- Mr. Schuman: I am in favor of using the CMU.
- Ms. Puester: Would the CMU be less than 25% of the elevation? (Mr. Losa: It is about 30%. 15% CMU 15% stucco.) Can we have a show of hands in favor of fiber cement siding? (Four commissioners in support of fiber cement versus CMU). Ok, fiber cement it is.

Mr. Giller made a motion to approve the findings and conditions adding a new #13 regarding the gate, seconded by Mr. Schuman. The motion passed 6-1, with Mr. Gerard dissenting.

OTHER MATTERS:

1. Town Council Summary

ADJOURNMENT:

The meeting was adjourned at 6:50 pm.

Christie Mathews-Leidal, Chair



2018- Class C Single Family Development Staff Report

Project Title:	Ernst Residence Addition, Remodel, and Driveway Variance	
Proposal:	The applicant proposes to construct a 1,532 sq. ft. addition to an existing 2,332 sq. ft. single family residence.	
PC#:	PL-2018-0103	
Project Manager:	Chapin LaChance, Planner II	
Date of Report:	July 11, 2018	
Property Owner:	Kyle Ernst	
Agent:	Terra Sun Architects	
Proposed Use:	Single Family Residence	
Address:	73 Red Feather Road	
Legal Description:	Warrior's Mark Subdivision, Filing #2, Lot 40	
Area of Site in Square Feet:	9,583 sq. ft.	0.22 acres
Existing Site Conditions:	This lot currently contains an existing 2,332 sq. ft. single family residence constructed in 1978. The residence is accessible from Red Feather Road via a relatively flat wide gravel driveway. There is a "8" Utility Easement" along the northern property line. The lot is lightly forested with Lodgepole Pine and Aspen trees. All of the adjacent lots have been developed with single family residences.	
Areas of building:	Existing Square Footage	Proposed Square Footage
Lower Level:	960 sq. ft.	1,421 sq. ft.
Main Level:	960 sq. ft.	1,616 sq. ft.
Total Density:	1,920 sq. ft.	3,037 sq. ft.
Garage:	372 sq. ft.	736 sq. ft.
Entry:	40 sq. ft.	91 sq. ft.
Total:	2,332 sq. ft.	3,864 sq. ft.
Code Policies (Policy #)		
Land Use District (2A/2R):	LUD 30-7	
Density (3A/3R):	Unlimited	Proposed: 3,037 sq. ft.
Mass (4R):	1:2.00 FAR or 4,000 sq. ft., whichever is less	Proposed: 3,864 sq. ft.
F.A.R.	1:2.48 FAR	
No. of Main Residence Bedrooms:	5 bedrooms	
No. of Main Residence Bathrooms:	4.0 bathrooms	
Height (6A/6R):*	26.5 feet overall	
*Max height of 35' for single family outside Conservation District unless otherwise stated on the recorded plat		
Platted Building/Disturbance /Footprint Envelope?	No Envelope	Major additions (greater than 10% of the existing floor area) to existing single family residences on lots that do not have a platted Building or Disturbance Envelope are required to be classified as Class C Development.
Setbacks (9A/9R):	The Warrior's Mark Subdivision was annexed into the Town of Breckenridge in 2002. At the time of Annexation, this lot was zoned at "R-6 with plan." The setback requirements listed below are specific to the adopted "R-6 with plan" zoning.	
Front:	25'	Proposed: 25'
Side:	10'	Proposed: West 10', East 7.9' (Although this is less than the side setback requirement, the existing structure is approximately 6.8' from the side yard property line on the east side of the home, and is considered legal nonconforming. The applicant proposes to maintain the non-conforming side yard setback, so staff supports the proposed addition. There is an existing shed that straddles the property line shared with Lot 39 to the east, and it is shown on the submitted site plan to be relocated to Lot 39 to the east. Staff has added a Condition of Approval that the shed be removed from Lot 40 and Lot 39, or relocated on Lot 40 (in a location that will comply with setback and defensible space requirements) prior to Issuance of a Certificate of Occupancy. Any relocation of the shed shall first require Town review and approval of a Class D Minor Development application.
Rear:	25'	Proposed: 31.5'
Site and Environmental Design (7R):	There will be some loss of screening and buffering in the rear yard, with the removal of Lodgepole Pines as a result of the proposed addition/expansion. However, these trees are all located within 15' of the proposed structure and are required to be removed for defensible space. The applicant proposes additional landscaping in the front yard, to replace what is currently a graveled parking area. Staff finds that the additional landscaping in the front yard will provide screening and buffering between the proposed addition and the Red Feather Rd. right-of-way. The proposed stone retaining walls will be less than 4' in height, as required by a Condition of Approval.	
Lot Coverage/Open Space (21R):		
Drip line of Building/Non-Permeable Sq. Ft.:	2,212 sq. ft.	23.08%
Hard Surface/Non-Permeable Sq. Ft.:	867 sq. ft.	9.05%
Open Space / Permeable:	6,504 sq. ft.	67.87%

Snowstack (13A/13R):		
Required Square Footage:	178 sq. ft.	25% of paved surfaces is required
Proposed Square Footage:	250 sq. ft.	(28.84% of paved surfaces)
Energy Conservation (33A/33R):		
Outdoor heated space:	NO	
Parking (18A/18/R):		
Required:	2 spaces	
Proposed:	2 spaces	
Fireplaces (30A/30R):		
Number of Gas Fired:		
No. of EPA Phase II Wood Burning:	1 Wood Burning	
Architectural Compatibility (5/A & 5/R):		
Exterior Materials and Colors:	Brown board and batten siding, brown painted corrugated steel wainscot, matching brown metal roofing	
Landscaping (22A/22R):		
The applicant has proposed (3) 4" caliper, (3) 2" caliper, and (6) 2" caliper Aspen trees, and (4) 7'-9" tall Spruce trees. This will provide additional screening and buffering at the front and rear of the property. The existing gravel parking area in the front is proposed to be landscaped with a grass lawn area, and rock retaining wall.		
Planting Type	Quantity	Size
Quaking Aspen	12	(3) 4" caliper, (3) 2" caliper, and (6) 2" caliper
Colorado Spruce	4	7'-9" tall
Defensible Space (22A):		
	Complies	
Drainage (27A/27R):		
A Condition of Approval has been added that prior to issuance of a Building Permit, the applicant must receive Town Engineering approval of a site grading and drainage plan.		
A Condition of Approval has been added that prior to issuance of a Building Permit, the applicant must receive Town Engineering approval of site plan demonstrating compliance with Town Code Section 9-3-9 Design Standards for Off Street Parking Facilities.		
Driveway:		
With proposed remodels and additions that are classified as Class D Major or higher development, Town Code Section 9-3-9 Design Standards for Off Street Parking Facilities requires any non-conforming driveway to be brought into compliance at the time of the Development Permit. The existing driveway is gravel and unpaved, so it is required to be paved with this application. The existing driveway on Lot 41 is non-conforming with a curcular driveway installed at or very near the southwest property corner of this property. The proposed driveway on Lot 40 with this application is 9' from the aforementioned property corner and adjacent driveway on Lot 41. Town Code 9-3-9 prohibits any two driveways from being within 30' of one another at their intersections with the property line or the edge of the pavement. The applicant requests a variance from this 30' distance requirement, which staff supports due to the non-conforming nature of the driveway on Lot 41.		
Point Analysis (Sec. 9-1-17-3):		
This application has met all Absolute Policies, with the exception of Policy 18 (Absolute) Parking, from which staff has approved a variance pursuant to Town Code 9-3-16. Staff has not assigned any positive or negative points under any Relative Policies of the Development Code.		
Staff Action:		
Staff has approved the Ernst Residence Addition, Remodel, and Variance, PL-2018-0103, showing a passing score of zero (0) points, with the attached Findings and Conditions.		
Additional Findings and Conditions of Approval:		
Findings:		
6. At the time of this application, the adjacent Lot 41 contains a non-conforming driveway which utilizes two driveway connections to Red Feather Rd. One of these two driveway connections to Red Feather Rd. on Lot 41 is installed within close proximity to the southwest property corner of Lot 40. The applicant has requested a variance from the 30' requirement per Town Code 9-3-9, and the Director has reclassified the variance application to a Class C Development Permit application, to be reviewed and process with the application for the associated remodel and addition. A variance from Town Code 9-3-9 has been granted by the Planning Commission, to allow the proposed driveway on Lot 40 to be less than 30' from an existing driveway, finding that:		
a. the granting of the variance, exception or waiver of condition will not be detrimental to the public health, safety, or welfare or injurious to other property;		
b. The conditions upon which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;		
c. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, distinguished from a mere inconvenience, if the strict letter of these regulations is carried out; and		
d. The relief sought will not in any manner vary the provisions of the development code, town master plan or other town law, except that those documents may be amended in the manner prescribed by law.		
Prior to Issuance of a Building Permit:		
13. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.		
14. Applicant must receive Town Engineering approval of site plan demonstrating compliance with Town Code section 9-3-9 Design Standards for Off Street Parking Facilities.		
15. Applicant shall submit and obtain Town approval of a revised site plan, specifying revegetation and native seed in the 5' Utility Easement on the property along Red Feather Rd.		
16. The final plans shall specify location of all exterior lighting fixtures.		
17. The final plans shall specify all proposed retaining walls less than four feet in height. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.		
Prior to Issuance of a Certificate of Occupancy:		
24. The existing shed, which is shown on the submitted survey to straddle the lot line between Lots 39 and 40 and shown on the submitted site plan to be relocated to Lot 39, shall be removed from Lot 40 and Lot 39, or relocated on Lot 40 in a location that will comply with setback and defensible space requirements. Any relocation of the shed shall first require Town review and approval of a Class D Minor Development application.		
25. Applicant shall submit documentation to the Town that any wood burning appliances installed shall meet EPA Phase II requirements.		

TOWN OF BRECKENRIDGE

Ernst Residence Remodel, Addition and Driveway Variance
Warrior's Mark Subdivision, Filing #2, Lot 40
73 Red Feather Road
PL-2018-0103

STAFF RECOMMENDATION: Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **July 11, 2018** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **July 17, 2018** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. **At the time of this application, the adjacent Lot 41 contains a non-conforming driveway which utilizes two driveway connections to Red Feather Rd. One of these two driveway connections to Red Feather Rd. on Lot 41 is installed within close proximity to the southwest property corner of Lot 40. The applicant has requested a variance from the 30' requirement per Town Code 9-3-9, and the Director has reclassified the variance application to a Class C Development Permit application, to be reviewed and process with the application for the associated remodel and addition. A variance from Town Code 9-3-9 has been granted by the Planning Commission, to allow the proposed driveway on Lot 40 to be less than 30' from an existing driveway, finding that:**
 - a. **the granting of the variance, exception or waiver of condition will not be detrimental to the public health, safety, or welfare or injurious to other property;**
 - b. **The conditions upon which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;**
 - c. **Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, distinguished from a mere inconvenience, if the strict letter of these regulations is carried out; and**
 - d. **The relief sought will not in any manner vary the provisions of the development code, town master plan or other town law, except that those documents may be amended in the manner prescribed by law.**

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **January 24, 2020**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.
7. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
8. Applicant shall field locate utility service lines to avoid existing trees.
9. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
10. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
11. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

12. Applicant shall submit proof of ownership of the project site.
13. **Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.**
14. **Applicant must receive Town Engineer approval of site plan demonstrating compliance with Town Code section 9-3-9 Design Standards for Off Street Parking Facilities.**

15. **Applicant shall submit and obtain Town approval of a revised site plan, specifying revegetation and native seed in the 5' Utility Easement on the property along Red Feather Rd.**
16. **The final plans shall specify location of all exterior lighting fixtures.**
17. **The final plans shall specify all proposed retaining walls less than four feet in height.** Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
18. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
19. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
20. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
21. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
22. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
23. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

24. **The existing shed, which is shown on the submitted survey to straddle the lot line between Lots 39 and 40 and shown on the submitted site plan to be relocated to Lot 39, shall be removed from Lot 40 and Lot 39, or relocated on Lot 40 in a location that will comply with setback and defensible space requirements. Any relocation of the shed shall first require Town review and approval of a Class D Minor Development application.**
25. **Applicant shall submit documentation to the Town that any wood burning appliances installed shall meet EPA Phase II requirements.**
26. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.

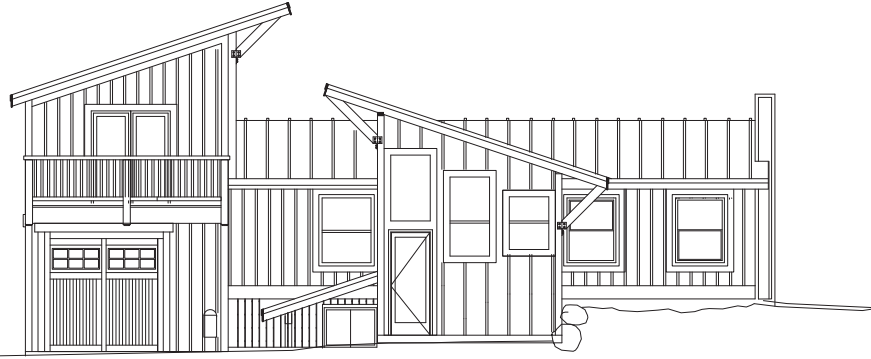
27. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
28. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
29. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
30. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color. All exterior metal, including metal siding and roofing, shall be non-reflective.
31. Applicant shall screen all utilities.
32. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
33. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
34. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
35. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
36. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.

37. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)

ERNST REMODEL

LOT 40 WARRIORS MARK
73 RED FEATHER ROAD, BRECKENRIDGE
SUMMIT COUNTY - COLORADO 80424



Project Directory

• **ARCHITECT:** TERRASIN DESIGNS
PO BOX 7555
BRECKENRIDGE, COLORADO - 80424
970-453-5700
FRANZAL, IN CHARGE; Len Kumar
PROJECT MANAGER:

Kyle Ernst PO BOX
4026, P.O. BOX 1862
Breckenridge, Colorado - 80424
PROJECT MANAGER: Kyle Ernst

• **GENERAL CONTRACTOR:**

TERRASIN DESIGN
PO BOX 7555
BRECKENRIDGE, COLORADO - 80424
PROJECT MANAGER: LEN KUMAR

• **STRUCTURAL ENGINEER:**

Cardinal Surveying
PO BOX -
ADOR, FARMLEY
FARMLEY, COLORADO - 80440
PROJECT MANAGER:

General Notes

- Do not scale these drawings, verify all dimensions and conditions. Any variation shall be brought to the attention of the architect.
- Dimensions and conditions of the job site shall be verified by all contractors. It is the responsibility of the contractor to ascertain the existing conditions prior to submitting bids to the owner. Once proposals must take into consideration all such conditions which may affect the work. Discrepancies in the drawings or between the drawings and actual field conditions shall be reported to the owner. Corrected drawings or instructions shall be issued by the owner prior to the commencement of the work.
- The project shall comply with all codes currently enforced by the - Breckenridge, Co. Regional Building Department.
- It is the responsibility of anyone supplying labor or materials or both to bring to the attention of the architect and owner any discrepancies or conflicts between requirements of these codes and the drawings.
- All dimensions are to the face of foundation or wood frame studs unless otherwise noted.
- It is the intent and meaning of these drawings that the contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- The details shown are intended to further illustrate the visual design concept and the minimum weather protection for this project. The general contractor shall incorporate the requirements of the local building codes, structural considerations, trade association manuals, publications and recommendations, and the manufacturer's written instructions for complete construction of details. All possible field conditions which may be encountered are not necessarily described. Field conditions encountered which require clarification shall be brought to the architect's attention. Verify all conditions and utility locations on the job site prior to beginning any work creating any materials.
- All items, designs, and concepts, shown in these drawings are the exclusive property of Terrasin Design Inc. and shall not be used, duplicated, or reproduced for any purpose whatsoever without the architect's written permission.
- All plumbing shall be installed in accordance with section 2-41 of the Breckenridge Co. Guidelines for Residential Construction.
- All electrical shall be installed in accordance with Section 2-41 of the Breckenridge Co. Guidelines for Residential Construction.
- Mechanical ventilation for toilet compartments, bathrooms, and laundry rooms shall be capable of providing 5 air changes per hour per 2022 IRC.
- Exhaust vent for clothes dryer to be vented to the outside. The duct is to be smooth metal and have a backdraft damper. The duct shall not exceed a total combined horizontal and vertical length of 40' including two 90 degree elbows. 2" shall be deducted for each 90 degree elbow in excess of two.
- Vent all exhaust fans to exterior. Provide roof caps and flashing as required.
- Center Water Closets in the space provided or a minimum, of 15" from vertical surfaces at sides.
- All exterior walls to be 2x6 @ 16" o.c., all interior walls to be 2x4 @ 16" o.c. unless otherwise noted or per submittal.
- All surfaces in groups adjacent to habitable spaces to be insulated and finished with 5/8" Type "X" gyp. 1/2" o.c. or of walls finished from foundation to underside of roof sheathing. All beams, columns and structural members to be wrapped with 5/8" Type "X" gyp. 1/2" o.c.
- All exterior doors leading to unheated areas to be weather-stripped and have thresholds. Provide solid core door if entry. Provide doorknob, pin, bolt, or bar at all exterior doors.
- Finish all exterior eaves, rakes, openings, roof/eave intersections, valleys and material transitions with 25 gauge galvanized flashing materials.
- Egress windows to have a maximum sill height of 44", minimum vertical opening of 24", minimum horizontal opening of 20" and a minimum of 5.7 square feet of open area per IRC 2012.
- Safety Glazing is required per 2012 IRC and includes:
 - Glazing in hinged/egress doors.
 - Glazing in fixed and sliding panels of sliding doors.
 - Glazing within 18" of a floor or tub deck.
 - All shower and bathtub enclosures.
 - Glazing in walls enclosing stairway landings.
- All wood in direct contact with concrete to be pressure treated, including posts and sills.
- Provide water resistant gyp. bd. or cement board behind all walls finished with ceramic tile and to a minimum height of 7'4" above the drain outlet of tub & shower enclosures.
- All angles are to be 45° unless noted otherwise.
- Provide solid blocking behind all towel bars, towel rings, and toilet paper holders as shown on plans.
- Substitution of "soot" products will be acceptable with Architect's written approval. Unless specified items are intended as quality specifications only.
- The General Contractor shall provide the original occupant with a list of the existing, existing, water heating and lighting systems and conservation or solar devices installed in the building and instructions on how to use and maintain them efficiently. All warranties of all materials and equipment are to be delivered to the original occupant at completion of construction.
- Upon completion of excavation for footings, the General contractor shall notify Architect. The Architect will notify Sola Engineer if needed to review excavation and to verify existing soil conditions and composition. The General contractor shall not pour any concrete until approved from Engineer has been obtained. Cost of Sola Engineering and testing shall be paid by the owner.
- Due to the harsh winter climate, the Owner has been advised that the deck and roof surfaces must be maintained relatively free of ice and snow to ensure proper performance of these surfaces.
- Building areas shown are for code purposes only and shall be re-constructed for any other use.

Drawing Legend & Symbols

Drawing notes: The number in a circle refers to plan note 7, for further information regarding the area indicated.

Details Reference: REF. 2/12.2 indicates refer to drawing 2 on sheet A3.2

Window/Door Designation: 3000 by 6 door indicates a 3'-0" wide by 6'-0" high door. 2600 indicates a 2'-6" wide by 6'-0" high egress window. CA = casement window. FT = fixed glass window. TS = transom window. TD = tempered glass. Window Designation Hardware Designation

Room Lines: ROOM NAME, CLG. HEIGHT/FLR COVERING, ROOM designation

Section Marker: DETAIL #, DWG SHT

Interior Elevation Marker: DIRECTION, DETAIL #, DWG SHT

Other Symbols: DETAILS, Section Designation, SPOT ELEV., FLOOR/CEILING CHANGE MARKER, CEILING HEIGHT CHANGE, FLOOR COVERING CHANGE

Abbreviations

AA	ANALYSIS ONLY	MBL	MATERIAL
AB	ARCHITECT	MEP	MATERIALS, ELECTRICAL, PLUMBING AND FIRE
AC	ARCHITECTURAL	ML	MATERIAL
AD	ARCHITECTURAL DRAWING	MP	MATERIALS
AE	ARCHITECTURAL ELEVATION	MR	MATERIALS
AF	ARCHITECTURAL FLOOR PLAN	MS	MATERIALS
AG	ARCHITECTURAL GENERAL NOTES	MT	MATERIALS
AH	ARCHITECTURAL HATCH	MU	MATERIALS
AI	ARCHITECTURAL INTERIOR	MY	MATERIALS
AJ	ARCHITECTURAL JUNCTION	MZ	MATERIALS
AK	ARCHITECTURAL KITCHEN	NA	NOT TO SCALE
AL	ARCHITECTURAL LAYOUT	NB	NOT TO SCALE
AM	ARCHITECTURAL MATERIAL	NC	NOT TO SCALE
AN	ARCHITECTURAL NORTH	ND	NOT TO SCALE
AO	ARCHITECTURAL OUTLINE	NE	NOT TO SCALE
AP	ARCHITECTURAL PLAN	NF	NOT TO SCALE
AQ	ARCHITECTURAL QUANTITY	NG	NOT TO SCALE
AR	ARCHITECTURAL REVISION	NH	NOT TO SCALE
AS	ARCHITECTURAL SECTION	NI	NOT TO SCALE
AT	ARCHITECTURAL TYPING	NJ	NOT TO SCALE
AU	ARCHITECTURAL UNIT	NK	NOT TO SCALE
AV	ARCHITECTURAL VENT	NL	NOT TO SCALE
AW	ARCHITECTURAL WALL	NM	NOT TO SCALE
AX	ARCHITECTURAL WINDOW	NN	NOT TO SCALE
AY	ARCHITECTURAL YIELD	NO	NOT TO SCALE
AZ	ARCHITECTURAL ZONE	NP	NOT TO SCALE
BA	BATHROOM	NQ	NOT TO SCALE
BB	BEDROOM	NR	NOT TO SCALE
BC	BREAKFAST ROOM	NS	NOT TO SCALE
BD	BREAKFAST ROOM	NT	NOT TO SCALE
BE	BREAKFAST ROOM	NU	NOT TO SCALE
BF	BREAKFAST ROOM	NV	NOT TO SCALE
BG	BREAKFAST ROOM	NW	NOT TO SCALE
BH	BREAKFAST ROOM	NX	NOT TO SCALE
BI	BREAKFAST ROOM	NY	NOT TO SCALE
BJ	BREAKFAST ROOM	NZ	NOT TO SCALE
BK	BREAKFAST ROOM	OA	NOT TO SCALE
BL	BREAKFAST ROOM	OB	NOT TO SCALE
BM	BREAKFAST ROOM	OC	NOT TO SCALE
BN	BREAKFAST ROOM	OD	NOT TO SCALE
BO	BREAKFAST ROOM	OE	NOT TO SCALE
BP	BREAKFAST ROOM	OF	NOT TO SCALE
BQ	BREAKFAST ROOM	OG	NOT TO SCALE
BR	BREAKFAST ROOM	OH	NOT TO SCALE
BS	BREAKFAST ROOM	OI	NOT TO SCALE
BT	BREAKFAST ROOM	OJ	NOT TO SCALE
BU	BREAKFAST ROOM	OK	NOT TO SCALE
BV	BREAKFAST ROOM	OL	NOT TO SCALE
BW	BREAKFAST ROOM	OM	NOT TO SCALE
BX	BREAKFAST ROOM	ON	NOT TO SCALE
BY	BREAKFAST ROOM	OO	NOT TO SCALE
BZ	BREAKFAST ROOM	OP	NOT TO SCALE
CA	CASEMENT WINDOW	OQ	NOT TO SCALE
CB	CASEMENT WINDOW	OR	NOT TO SCALE
CC	CASEMENT WINDOW	OS	NOT TO SCALE
CD	CASEMENT WINDOW	OT	NOT TO SCALE
CE	CASEMENT WINDOW	OU	NOT TO SCALE
CF	CASEMENT WINDOW	OV	NOT TO SCALE
CG	CASEMENT WINDOW	OW	NOT TO SCALE
CH	CASEMENT WINDOW	OX	NOT TO SCALE
CI	CASEMENT WINDOW	OY	NOT TO SCALE
CJ	CASEMENT WINDOW	OZ	NOT TO SCALE
CK	CASEMENT WINDOW	PA	NOT TO SCALE
CL	CASEMENT WINDOW	PB	NOT TO SCALE
CM	CASEMENT WINDOW	PC	NOT TO SCALE
CN	CASEMENT WINDOW	PD	NOT TO SCALE
CO	CASEMENT WINDOW	PE	NOT TO SCALE
CP	CASEMENT WINDOW	PF	NOT TO SCALE
CQ	CASEMENT WINDOW	PG	NOT TO SCALE
CR	CASEMENT WINDOW	PH	NOT TO SCALE
CS	CASEMENT WINDOW	PI	NOT TO SCALE
CT	CASEMENT WINDOW	PJ	NOT TO SCALE
CU	CASEMENT WINDOW	PK	NOT TO SCALE
CV	CASEMENT WINDOW	PL	NOT TO SCALE
CW	CASEMENT WINDOW	PM	NOT TO SCALE
CX	CASEMENT WINDOW	PN	NOT TO SCALE
CY	CASEMENT WINDOW	PO	NOT TO SCALE
CZ	CASEMENT WINDOW	PP	NOT TO SCALE
DA	CASEMENT WINDOW	PQ	NOT TO SCALE
DB	CASEMENT WINDOW	PR	NOT TO SCALE
DC	CASEMENT WINDOW	PS	NOT TO SCALE
DD	CASEMENT WINDOW	PT	NOT TO SCALE
DE	CASEMENT WINDOW	PV	NOT TO SCALE
DF	CASEMENT WINDOW	PW	NOT TO SCALE
DG	CASEMENT WINDOW	PX	NOT TO SCALE
DH	CASEMENT WINDOW	PY	NOT TO SCALE
DI	CASEMENT WINDOW	PZ	NOT TO SCALE
DJ	CASEMENT WINDOW	QA	NOT TO SCALE
DK	CASEMENT WINDOW	QB	NOT TO SCALE
DL	CASEMENT WINDOW	QC	NOT TO SCALE
DM	CASEMENT WINDOW	QD	NOT TO SCALE
DN	CASEMENT WINDOW	QE	NOT TO SCALE
DO	CASEMENT WINDOW	QF	NOT TO SCALE
DP	CASEMENT WINDOW	QG	NOT TO SCALE
DQ	CASEMENT WINDOW	QH	NOT TO SCALE
DR	CASEMENT WINDOW	QI	NOT TO SCALE
DS	CASEMENT WINDOW	QJ	NOT TO SCALE
DT	CASEMENT WINDOW	QK	NOT TO SCALE
DU	CASEMENT WINDOW	QL	NOT TO SCALE
DV	CASEMENT WINDOW	QM	NOT TO SCALE
DW	CASEMENT WINDOW	QN	NOT TO SCALE
DX	CASEMENT WINDOW	QO	NOT TO SCALE
DY	CASEMENT WINDOW	QP	NOT TO SCALE
DZ	CASEMENT WINDOW	QQ	NOT TO SCALE
EA	EAST ELEVATION	QR	NOT TO SCALE
EB	EAST ELEVATION	QS	NOT TO SCALE
EC	EAST ELEVATION	QT	NOT TO SCALE
ED	EAST ELEVATION	QU	NOT TO SCALE
EE	EAST ELEVATION	QV	NOT TO SCALE
EF	EAST ELEVATION	QW	NOT TO SCALE
EG	EAST ELEVATION	QX	NOT TO SCALE
EH	EAST ELEVATION	QY	NOT TO SCALE
EI	EAST ELEVATION	QZ	NOT TO SCALE
EJ	EAST ELEVATION	RA	NOT TO SCALE
EK	EAST ELEVATION	RB	NOT TO SCALE
EL	EAST ELEVATION	RC	NOT TO SCALE
EM	EAST ELEVATION	RD	NOT TO SCALE
EN	EAST ELEVATION	RE	NOT TO SCALE
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EU	EAST ELEVATION	RL	NOT TO SCALE
EV	EAST ELEVATION	RM	NOT TO SCALE
EW	EAST ELEVATION	RN	NOT TO SCALE
EX	EAST ELEVATION	RO	NOT TO SCALE
EY	EAST ELEVATION	RP	NOT TO SCALE
EZ	EAST ELEVATION	RQ	NOT TO SCALE
FA	FLOOR PLAN	RR	NOT TO SCALE
FB	FLOOR PLAN	RS	NOT TO SCALE
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FD	FLOOR PLAN	RU	NOT TO SCALE
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FG	FLOOR PLAN	RX	NOT TO SCALE
FH	FLOOR PLAN	RY	NOT TO SCALE
FI	FLOOR PLAN	RZ	NOT TO SCALE
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GI	GENERAL NOTES	SZ	NOT TO SCALE
GJ	GENERAL NOTES	TA	NOT TO SCALE
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GL	GENERAL NOTES	TC	NOT TO SCALE
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GU	GENERAL NOTES	TM	NOT TO SCALE
GV	GENERAL NOTES	TN	NOT TO SCALE
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GX	GENERAL NOTES	TP	NOT TO SCALE
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HC	HATCH	TU	NOT TO SCALE
HD	HATCH	TV	NOT TO SCALE
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HP	HATCH	UH	NOT TO SCALE
HQ	HATCH	UI	NOT TO SCALE
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HT	HATCH	UL	NOT TO SCALE
HU	HATCH	UM	NOT TO SCALE
HV	HATCH	UN	NOT TO SCALE
HW	HATCH	UO	NOT TO SCALE
HX	HATCH	UP	NOT TO SCALE
HY	HATCH	UQ	NOT TO SCALE
HZ	HATCH	UR	NOT TO SCALE
IA	INTERIOR ELEVATION	US	NOT TO SCALE
IB	INTERIOR ELEVATION	UT	NOT TO SCALE
IC	INTERIOR ELEVATION	UU	NOT TO SCALE
ID	INTERIOR ELEVATION	UV	NOT TO SCALE
IE	INTERIOR ELEVATION	UW	NOT TO SCALE
IF	INTERIOR ELEVATION	UX	NOT TO SCALE
IG	INTERIOR ELEVATION	UY	NOT TO SCALE
IH	INTERIOR ELEVATION	UZ	NOT TO SCALE
II	INTERIOR ELEVATION	VA	NOT TO SCALE
IJ	INTERIOR ELEVATION	VB	NOT TO SCALE
IK	INTERIOR ELEVATION	VC	NOT TO SCALE
IL	INTERIOR ELEVATION	VD	NOT TO SCALE
IM	INTERIOR ELEVATION	VE	NOT TO SCALE
IN	INTERIOR ELEVATION	VF	NOT TO SCALE
IO	INTERIOR ELEVATION	VG	NOT TO SCALE
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IQ	INTERIOR ELEVATION	VI	NOT TO SCALE
IR	INTERIOR ELEVATION	VJ	NOT TO SCALE
IS	INTERIOR ELEVATION	VK	NOT TO SCALE
IT	INTERIOR ELEVATION	VL	NOT TO SCALE
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IV	INTERIOR ELEVATION	WJ	NOT TO SCALE
IV	INTERIOR ELEVATION	WK	NOT TO SCALE
IV	INTERIOR ELEVATION	WL	NOT TO SCALE
IV	INTERIOR ELEVATION	WM	

SITE PLAN NOTES

1. FINISH GRADE TO BE SLOPED AWAY FROM BUILDING @1/2" FEET 1'-0" MINIMUM.
2. FOUNDATION DRAIN, WHERE REQUIRED, TO BE 4" DIAM. PERFORATED PLASTIC DRAIN PIPE EMBEDDED IN GRAVEL. SLOPE TO DAYLIGHT.
3. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LINE LOCATIONS.
4. PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ON THIS SITE PLAN HAVE BEEN REPRODUCED FROM INFORMATION SUPPLIED BY THE OWNER. VERIFICATION REQUIRED BY CONTRACTOR BEFORE CONSTRUCTION BEGINS.
5. ALL BACKFILL TO BE COMPACTED WITH A MAXIMUM OF 3" DIAMETER MATERIAL.
6. BIDDERS ARE REQUIRED TO VISIT SITE AND VERIFY CONDITIONS BEFORE SUBMITTING BIDS.
7. ALL FLOOR ELEVATIONS SHOWN ARE TO TOP OF PLYWOOD OR TOP OF SLAB U.N.O.
8. ALL DISTURBED AREAS TO BE REPLANTED AS PER TOWN CODE.
9. SEE FOUNDATION PLANS FOR FOUNDATION DRAINS & DETAILS.

LEGEND

- FOUND REBAR & YELLOW PLASTIC CAP (PLS 2230)
- △ RANDOM SURVEY CONTROL POINT
- ⊙ SENER MANGLE
- ⊙ GRP STOP (WATER SERVICE)
- ⊙ SENER STD
- FEDERAL
- ⊙ SPOT ELEVATION

SITE INFORMATION

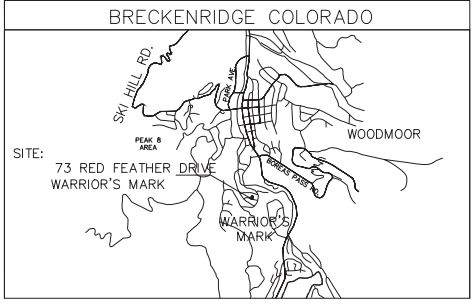
SNOW STORAGE COVERAGE OF 500
LOT AREA 232 ACRES OF 20892
HOUSE COVERAGE OF 200 SQ FT
DRIVING SQ FT DRIVE = 57,200
DRIVING SQ FT PORCH = 57,200
DRIVING SQ FT TOTAL = 57,200
SNOW/WATER COVERAGE = 57,200
PERCENT OF PAVED & PAVED COVERAGE = 100
EL. 50' = 10000.0000

TEMPORARY EROSION CONTROL

1. STRAW BALE SILTATION BERMS SHALL BE UTILIZED DURING THE CONSTRUCTION AND LANDSCAPING PERIODS. BERMS SHALL BE LOCATED ACCORDING TO THE CONTRACTOR'S PREPARED TEMPORARY EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO EXCAVATION.
2. WATER DISTRIBUTERS SHALL BE INSTALLED AT INTERVALS IN DRAINAGE SWALES NOT TO EXCEED 25' ACCORDING TO THE TEMPORARY EROSION CONTROL PLAN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING THE RELEASE OF SEDIMENT LADEN WATER FROM THE CONSTRUCTION SITE AND SHALL BE REQUIRED TO INSTALL ADDITIONAL CONTROL FACILITIES AT THE DIRECTION OF THE OWNER OR INSPECTOR, SHOULD PROBLEMS OCCUR.
4. ALL SLOPES GREATER THAN 2:1 WILL RECEIVE JUTE MESH EROSION CONTROL FABRIC UNTIL REVEGETATION GRASSES ARE ESTABLISHED.

CONTOUR LEGEND

- EXIST'G MAJOR CONTOUR — 9700
- EXIST'G MINOR CONTOUR — 9705
- REMOVED CONTOUR - - - 9710
- NEW CONTOUR — 9715
- NEW CONTOUR - - - 9720



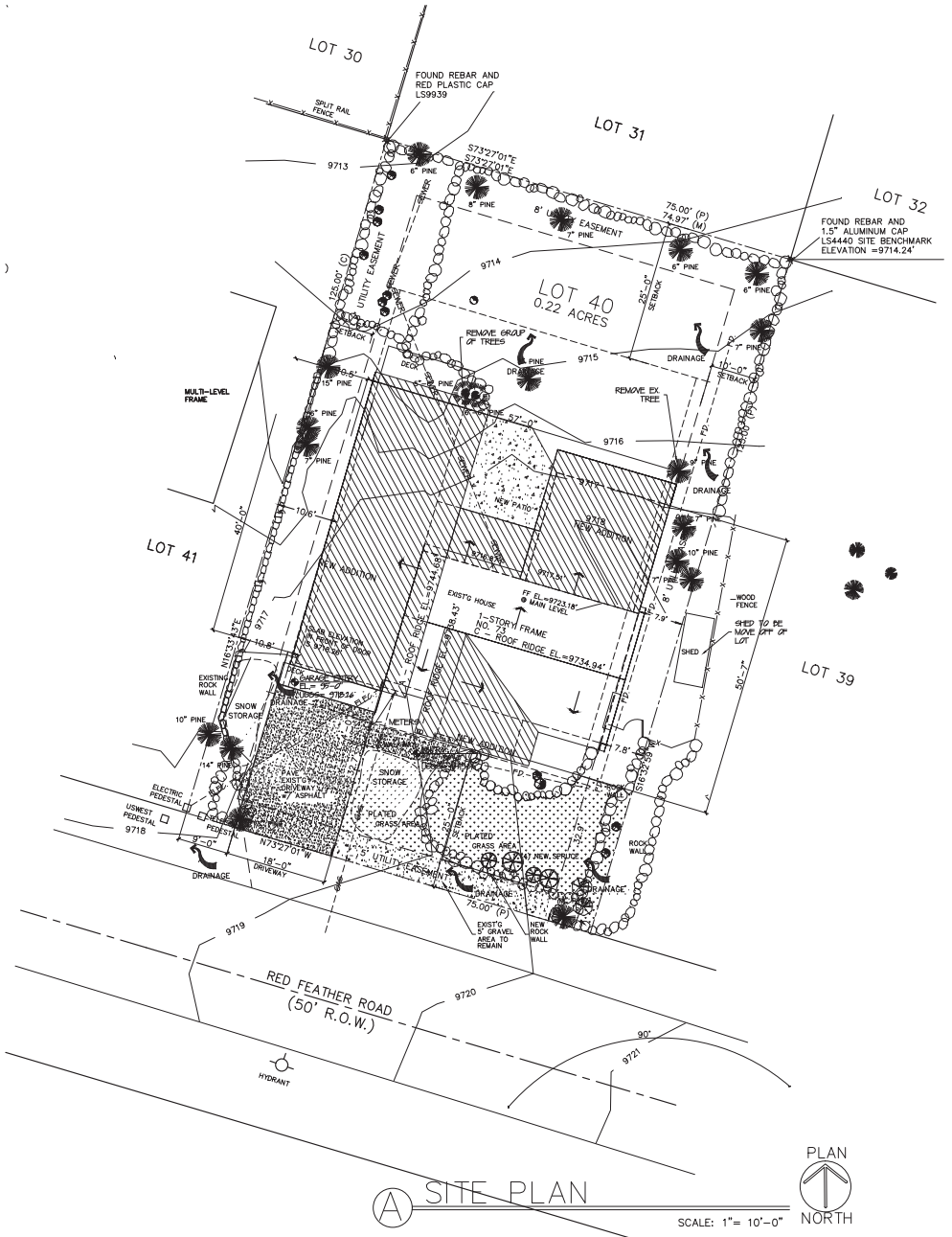
HEIGHT LEGEND

POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9716.5	9717.0'	FINISHED GRADE	9744.68'	9716.5 - 9744.68	28.18'
B	9718.8	9718.8'	NATURAL GRADE	9738.43'	9718.8 - 9738.43	19.63'
C	9718.2	9718.2'	NATURAL GRADE	9734.94'	9718.2 - 9734.94	16.74'

TREE LEGEND

- NEW ASPEN TREES 7'-0" TO 9'-0" TALL AT THE TIME OF PLANTING
- NEW ASPEN TREES
 - (3) PN 4" USED TO DETERMINE
 - (3) PN 3" THE NUMBER OF TREES PER
 - (6) PN 2" TREE REPLACEMENT COND.
- EXIST'G ASPEN TREES

- NEW COLORADO SPRUCE 7'-0" TO 9'-0" TALL AT THE TIME OF PLANTING
- NEW COLORADO SPRUCE
 - (1) PN 4" USED TO DETERMINE
 - (1) PN 3" THE NUMBER OF TREES PER
 - (2) PN 2" TREE REPLACEMENT COND.
- EXIST'G EVERGREENS
- RESEEDED AREAS



SCALE: 1" = 10'-0" NORTH

Post Office Box 7555
253 Bellvue Circle
Breckenridge, Colorado 80424
Breckenridge (970) 453-0709
Siltala (970) 539-7026

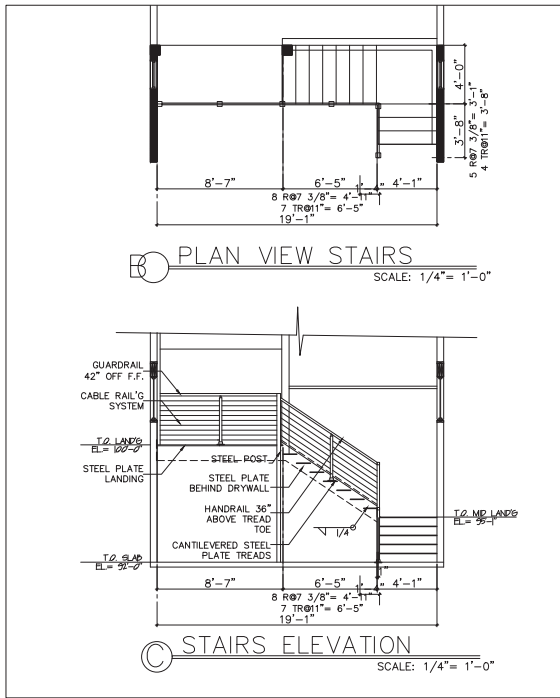
TERRASIGN
ARCHITECTS
Architectural Design & Planning

ERNST REMODEL
LOT 40 WARRIOR'S MARK SUB # 2
73 RED FEATHER DRIVE, BRECKENRIDGE
SUMMIT COUNTY - COLORADO 80424

RELEASE DATES:
7-16-18
REVISIONS:
6-18-18

JOB NO.: 19041
DRAWN BY: LK
CHECKED BY: LK

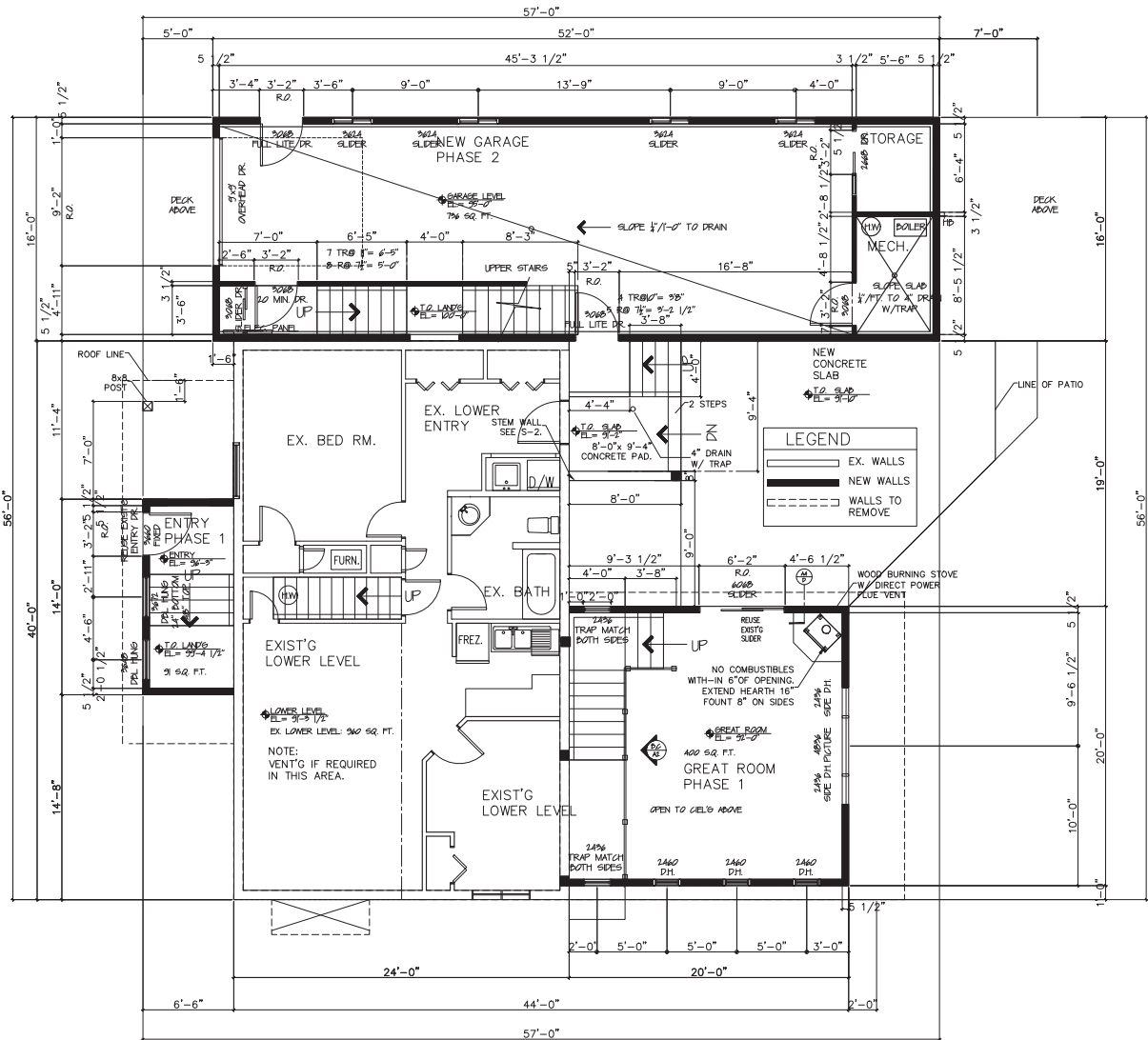
A-1



LOWER SQ. FT.		
AREA	SQ. FT.	REMARKS
GREATROOM	400 sq.ft.	
EXIST'G LOWER	960 sq.ft.	
NEW ENTRY	91 sq.ft.	
GARAGE	736 sq.ft.	
TOTAL LOWER	2187 sq.ft.	

PLAN NOTES

1. ALL WINDOWS LESS THAN 16" APRT. AND IN EXCESS OF 3 SQ. FT. OF GLAZED AREA TO BE TEMPERED GLASS - RE I.R.C.
2. CONTRACTOR TO VERIFY EQUIPMENT SIZE AND LOCATION WITH MECHANICAL, ELECTRICAL, AND UTILITIES.
3. ALL ELEVATIONS SHOWN ARE TO TOP OF PLYWOOD OR TO TOP OF SLAB UNL.
4. ALL INTERIOR WALLS TO BE INSULATED.
5. FRAMING DIMENSIONED FROM CONCRETE.
6. ALL NEW WALL CONSTRUCTION PLATE HEIGHT TO MATCH EXISTING UNL.
7. ALL HANDRAILS TO BE MIN. 3'-0" HT. W/SPINDLES ON STAIR RAILINGS NO GREATER THAN 4" APART
8. DO NOT USE EXTERIOR WALLS FOR PLUMBING
9. 2X2 FLOORING WITH 1 1/2" RIGID INSULATION TYP. INTERIOR SIDE OF CONCRETE WALLS
10. THIS PROJECT IS TO BE COMPLETED IN TWO PHASES.



LOWER LEVEL

Post Office Box 7555
253 Pelican Circle
Breckenridge, Colorado 80424
Breckenridge, Colorado 80424
Sullivan (719) 539-7026



ERNST REMODEL
LOT 40 WARRIOR'S MARK SUB # 2
73 RED FEATHER ROAD, BRECKENRIDGE
SUMMIT COUNTY - COLORADO 80424

RELEASE DATES:
7-18-18
REVISIONS:
4-18
6-18-18

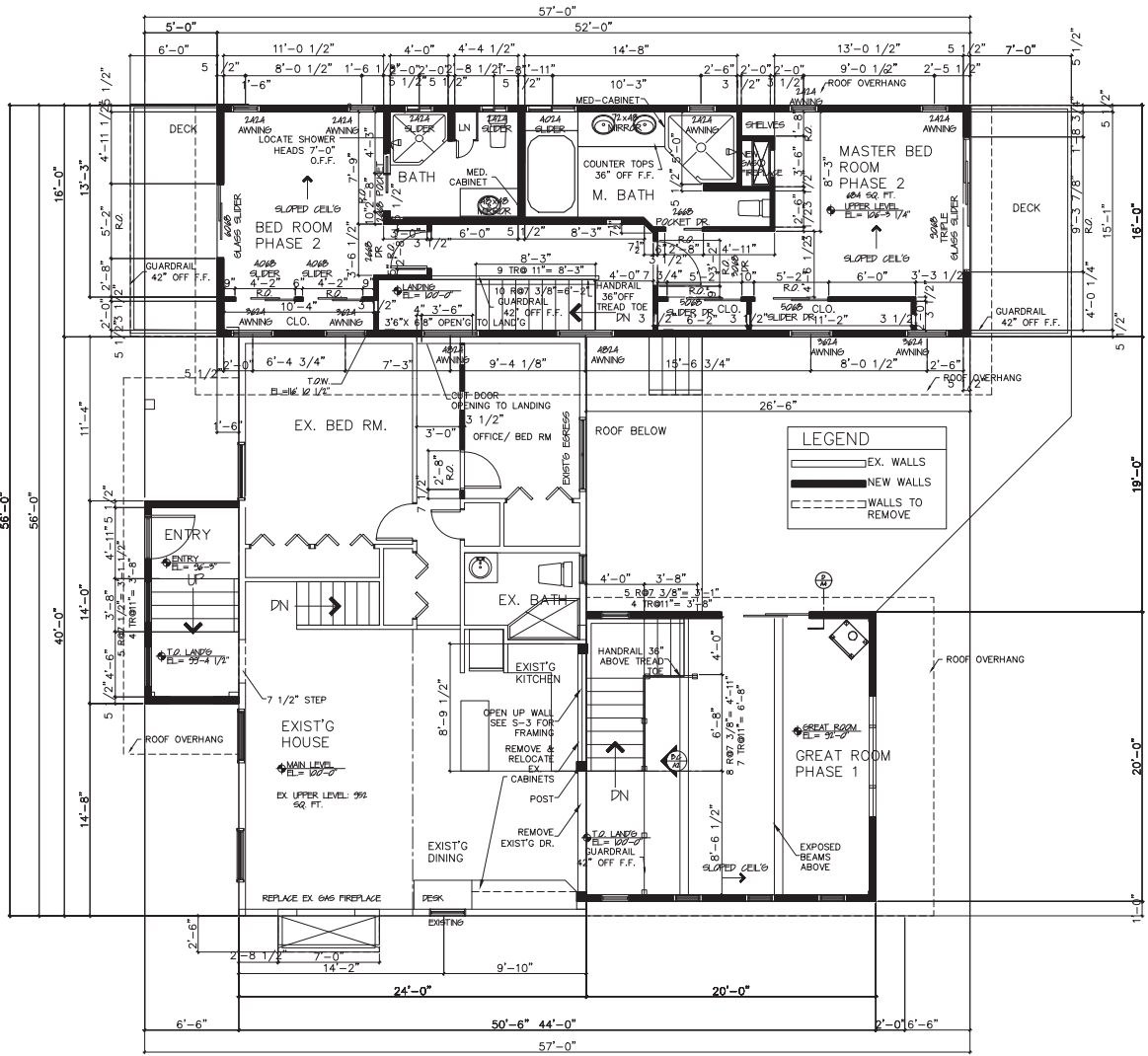
JOB NO.: 18041
DRAWN BY: LK
CHECKED BY: LK

A-2

UPPER SQ. FT.		
AREA	SQ. FT.	REMARKS
UPPER BED RM	684 sq.ft.	
EXIST'G UPPER	932 sq.ft.	
TOTAL LOWER	1616 sq.ft.	

PLAN NOTES

1. ALL WINDOWS LESS THAN 18" AFF. AND IN EXCESS OF 9 SQ. FT. OF GLAZED AREA TO BE TEMPERED GLASS - RE: IRC.
2. CONTRACTOR TO VERIFY EQUIPMENT SIZE AND LOCATION WITH MECHANICAL, ELECTRICAL, AND UTILITIES.
3. ALL ELEVATIONS SHOWN ARE TO TOP OF PLYWOOD OR TO TOP OF SLAB UNL.
4. ALL INTERIOR WALLS TO BE INSULATED.
5. FRAMING DIMENSIONED FROM CONCRETE.
6. ALL NEW WALL CONSTRUCTION PLATE HEIGHT TO MATCH EXISTING UNL.
7. ALL HANDRAILS TO BE MIN. 3'-0" HT. W/SPINDLES ON STAIR RAILINGS NO GREATER THAN 4" APART.
8. DO NOT USE EXTERIOR WALLS FOR PLUMBING.
9. 2X2 FLOORING WITH 1 1/2" RIGID INSULATION TYP. INTERIOR SIDE OF CONCRETE WALLS.
10. HANDRAILS TO BE 3/4" OFF TOE OF TREAD - GUARDRAILS 42" OFF.



PLAN
MAIN/UPPER LEVEL
 SCALE: 1/4" = 1'-0" NORTH

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 25 Pelican Circle
 Breckenridge, CO 80424
 Breckenridge (970) 453-0709
 Salida (719) 539-7026

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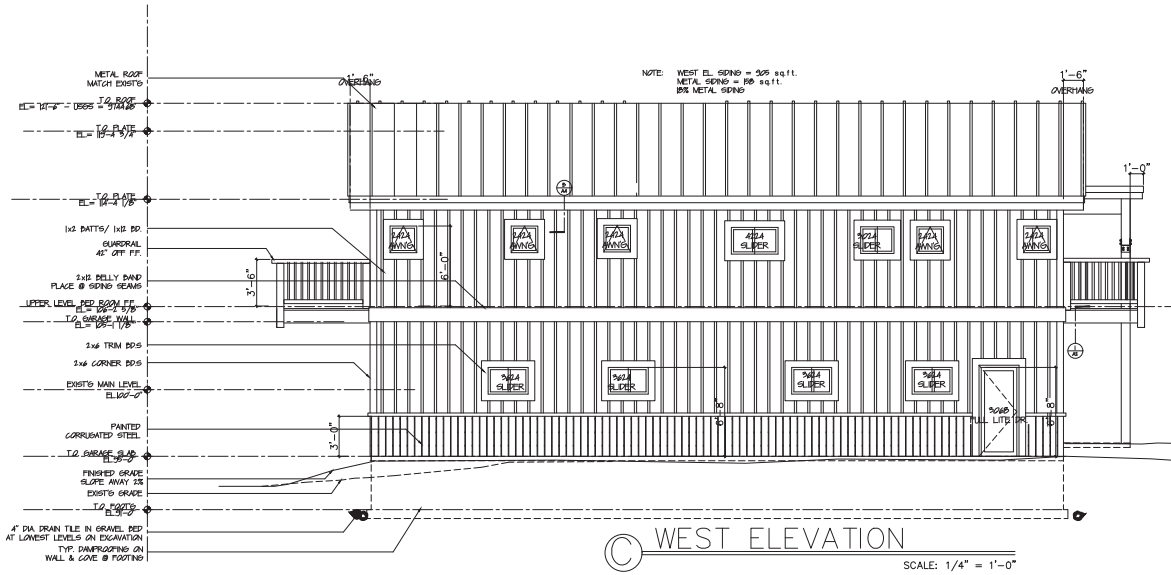
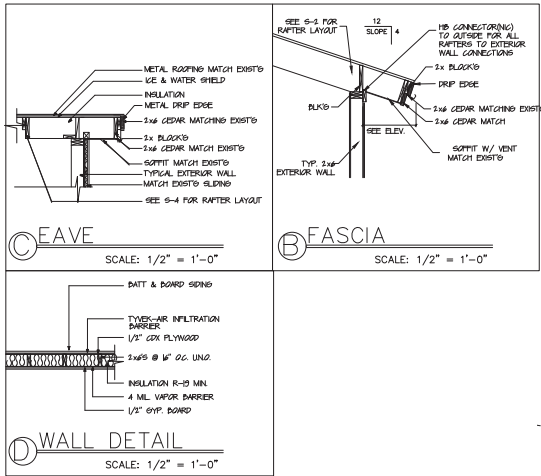
ERNST REMODEL
 LOT 40 WARRIOR'S MARK SUB #2
 73 RED FEATHER DRIVE, BRECKENRIDGE
 SUMMIT COUNTY - COLORADO 80424

RELEASE DATES
 7-10-18

REVISIONS
 02-05-18
 06-18-18

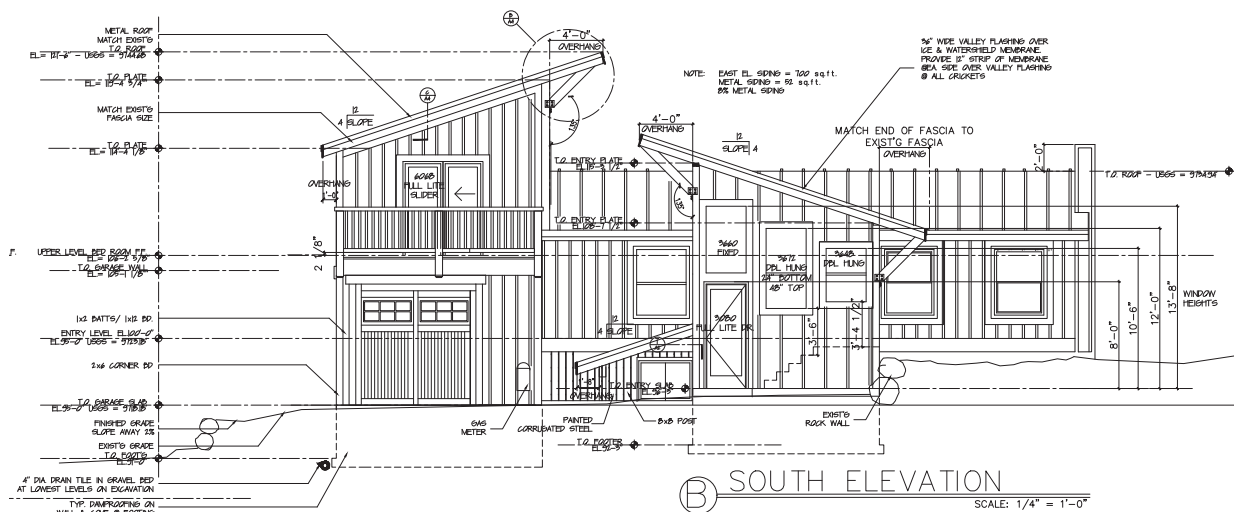
JOB NO.: 18040
 DRAWN BY: LJK
 CHECKED BY: LJK

A-3



ELEVATION NOTES

1. REFER TO A-4 FOR ALL TYPICAL NOTES, MATERIALS AND DETAIL CUTS.
2. ALL FOOTING TO BEAR ON UNDISTURBED SOIL, REGARDLESS OF ELEVATION SHOWN.
3. 26 G.A. FLASHING TURNED UP WALL MIN. 12" AND UNDER ROOFING MIN. 12".
4. ALL SILLS, PLATED RIM JOISTS, AND OTHER WOOD FRAMING & PLYWOOD WHICH IS BELOW GRADE TO BE PRESSURE TREATED WOOD.
5. ALL ELEVATIONS SHOWN ARE TO TOP OF PLYWOOD OR TOP OF SLAB U.N.O..
6. ALL ROOF PENETRATIONS (FLASH'G & VENTS) TO MATCH ROOF COLOR, ALL ROOF PENETRATIONS TO BE 24" FROM RIDGE.
7. ALL EXTERIOR LIGHTING TO COMPEL W/ TOWN CODE.
8. SEE COLOR BD. FOR MATERIALS AND COLORS
9. TYPICAL EXTERIOR WALL: WOOD BD. & BATT SIDING W/ METAL VENEER TYPIC HOUSE WRAP OR CO. 1/2 CDX PLYWOOD SHEATHING OR W/ 7/16" INSULATION BOARD 2" X 5S @ 16" O.C. 5 1/2" BATT INSULATION OR FOAM SPRAY 1/2" GYP. BOARD
10. TYPICAL ROOF: METAL ROOFING MATCH EXIST'G ICE & WATER SHIELD 5/8" CDX PLYWOOD FRAMED ROOF AND EXPOSED BEAMS PLAN FOR SIZE & SPACING 11 1/2" BATT INSULATION OR FOAM 4 MIL VAPOR BARRIER 1/2" GYP. BOARD



Post Office Box 7555
235 Polkman Circle
Breckenridge, Colorado 80424
Breckenridge, Colorado 80424
Sullivan (719) 539-7026

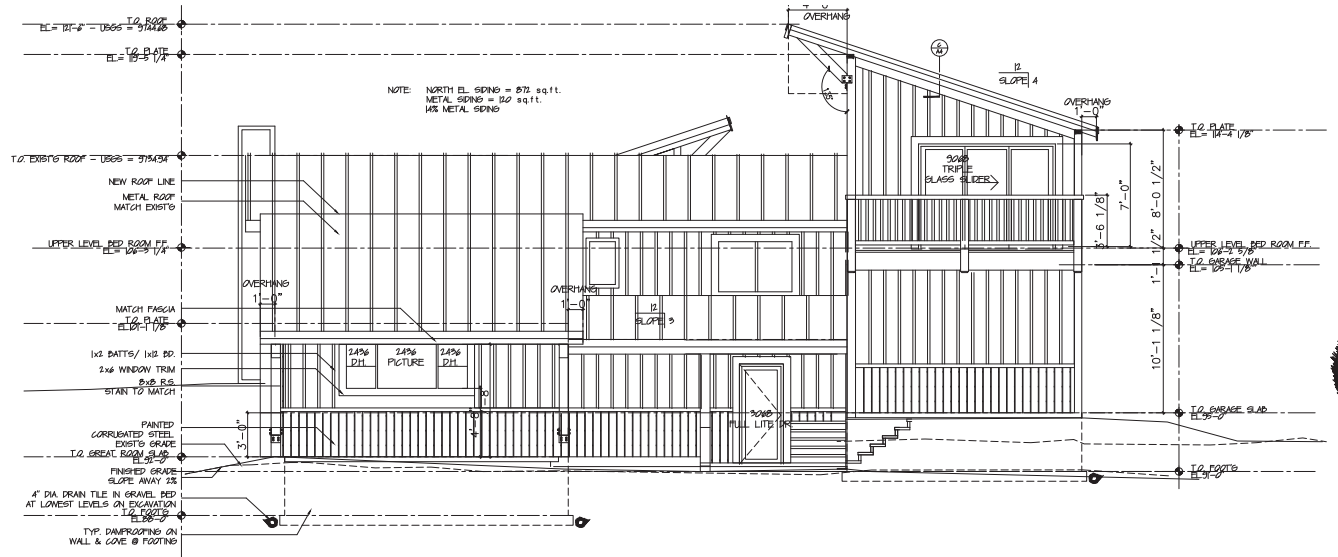
TERRASTONE ARCHITECTS
Architectural Design & Planning

ERNST REMODEL
LOT 40 WARRIOR'S MARK SUB # 2
73 RED FEATHER DRIVE, BRECKENRIDGE
SUMMIT COUNTY - COLORADO 80424

RELEASE DATES
5-10-18
REVISIONS
02-08-18
06-18-18

JOB NO.: 18041
DRAWN BY: LAC
CHECKED BY: LAC

A-4

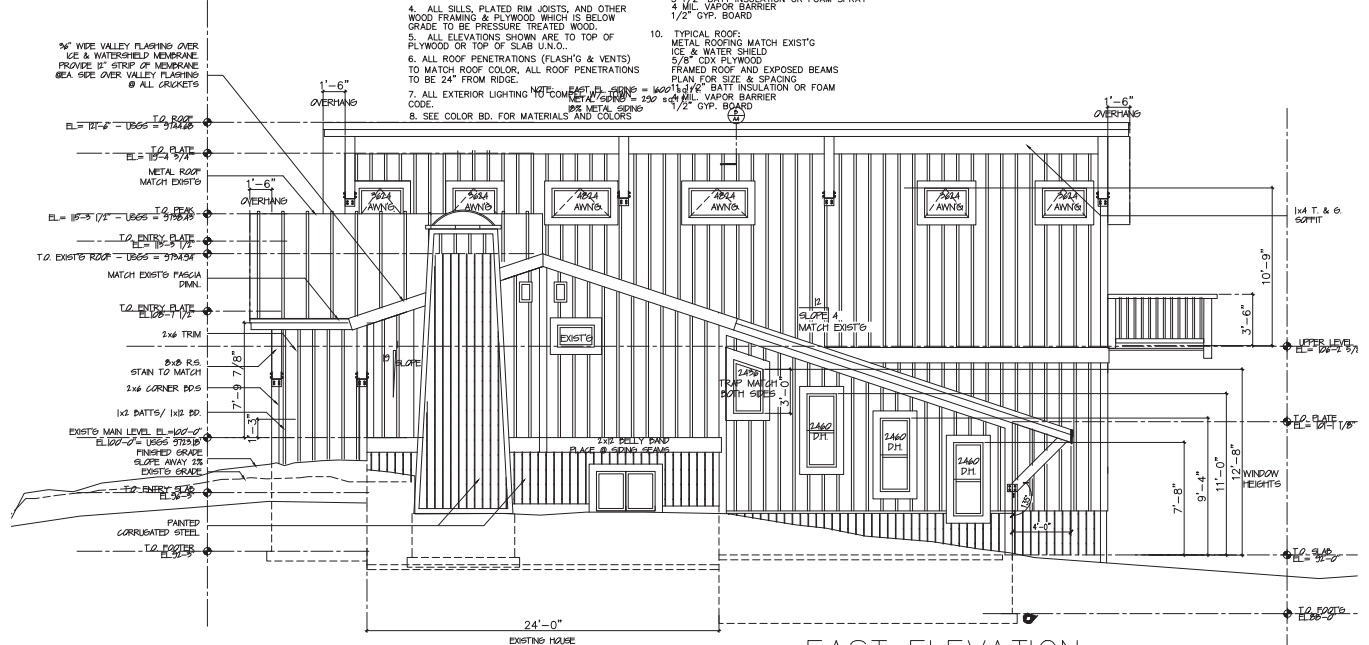


D NORTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. REFER TO A-4 FOR ALL TYPICAL NOTES, MATERIALS AND DETAIL CUTS.
2. ALL FOOTING TO BEAR ON UNDISTURBED SOIL REGARDLESS OF ELEVATION SHOWN.
3. 2x C.A. FLASHING TURNED UP WALL MIN. 12" AND UNDER ROOFING MIN. 12".
4. ALL SILLS, PLATED RIM JOISTS, AND OTHER WOOD FRAMING & FLYWOOD WHICH IS BELOW GRADE TO BE PRESSURE TREATED WOOD.
5. ALL ELEVATIONS SHOWN ARE TO TOP OF FLYWOOD OR TOP OF SLAB UN.D.
6. ALL ROOF PENETRATIONS (FLASH'G & VENTS) TO MATCH ROOF COLOR, ALL ROOF PENETRATIONS TO BE 24" FROM RIDGE.
7. ALL EXTERIOR LIGHTING TO COMPLY WITH METAL SIDING.
8. SEE COLOR BD. FOR MATERIALS AND COLORS.
9. TYPICAL EXTERIOR WALL: WOOD BD. & BATT SIDING W/ METAL VENEER TYVEK HOUSE WRAP OR EQ. 1/2" COX FLYWOOD SHEATHING OR CORNERS & SHEAR P.T'S. SEE FRAMING W/ 7/16" INSULATION BOARD. 2 x 6'S @ 16" O.C. 6 1/2" BATT INSULATION OR FOAM SPRAY 4 MIL VAPOR BARRIER 1/2" GYP. BOARD
10. TYPICAL ROOF: METAL ROOFING MATCH EXIST'G ICE & WATER SHIELD 2x6 COX FLYWOOD FRAMED ROOF AND EXPOSED BEAMS PLAN FOR SIZE & SPACING 1/2" BATT INSULATION OR FOAM SPRAY 4 MIL VAPOR BARRIER 1/2" GYP. BOARD



A EAST ELEVATION

SCALE: 1/4" = 1'-0"

Post Office Box 7555
 Breckenridge, Colorado 80424
 Breckenridge (970) 453-0799
 Salida (719) 539-7026

TERRASITION
 ARCHITECTS
 Architectural Design & Planning

ERNST REMODEL
 LOT 40 WARRIOR'S MARK SUB # 2
 73 RED WEATHER DRIVE, BRECKENRIDGE
 SUMMIT COUNTY - COLORADO 80424

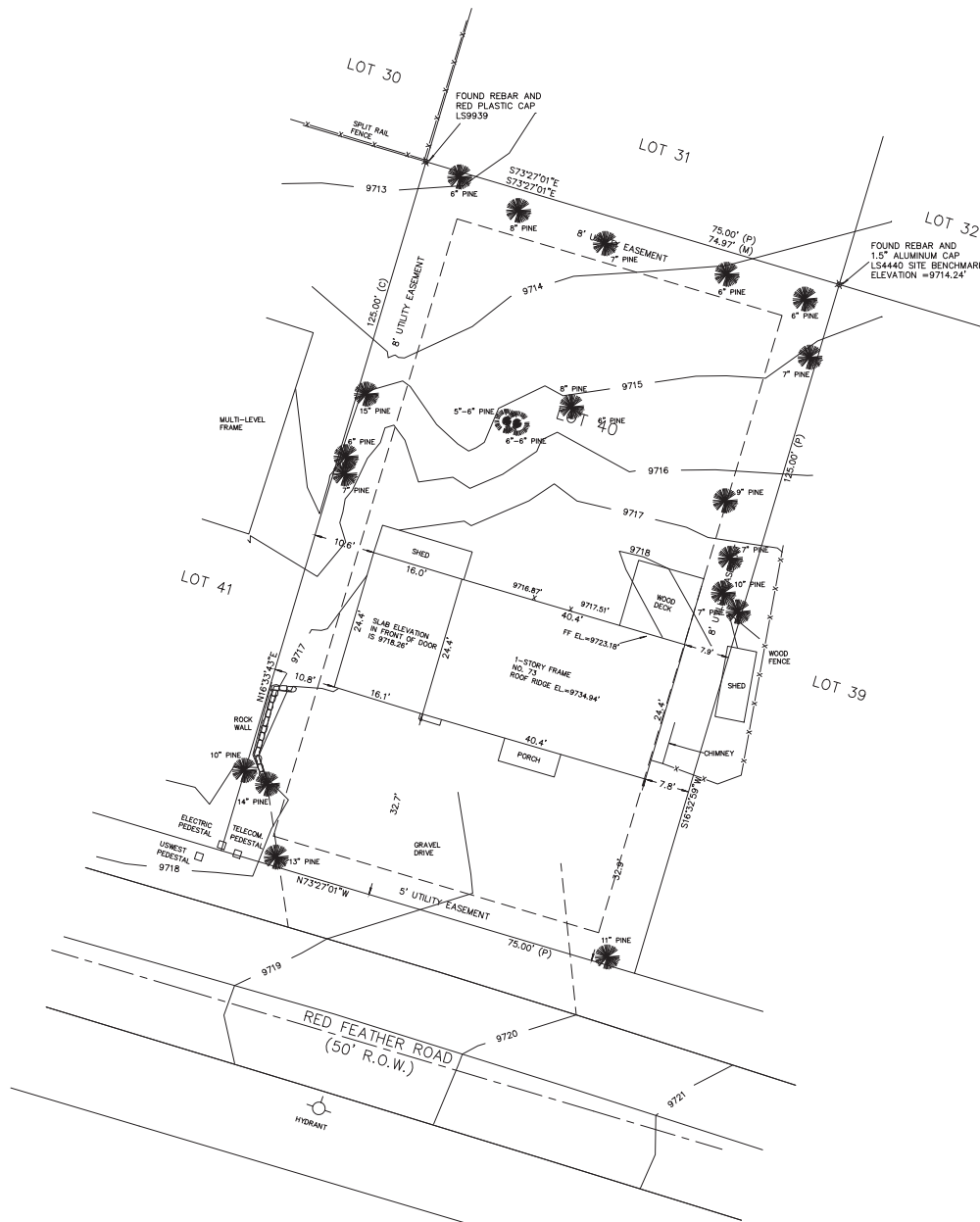
RELEASE DATE:
 7-10-18

REVISIONS:
 02-18-18
 06-18-18

JOB NO.: 170601
 DRAWN BY: LJK
 CHECKED BY: LJK

A-5

A TOPOGRAPHIC SURVEY OF
 WARRIOR'S MARK-FILING NO. 2
 LOT 40
 TOWN OF BRECKENRIDGE
 SUMMIT COUNTY, COLORADO



NOTES:

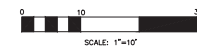
- 1) NO TITLE REPORT FURNISHED.
- 2) SUBDIVISION PLAT RECORDED AT THE SUMMIT COUNTY CLERK AND RECORDERS OFFICE AT RECEPTION NO. 112211.
- 3) +/- 1" OF SNOW ON THE GROUND AT THE TIME OF THIS SURVEY.
- 4) BENCHMARK IS THE TOP OF A REBAR AND 1.5" ALUMINUM CAP-LS4440 WHICH MARKS THE NORTHEAST CORNER OF LOT 40 AND HAS AN ELEVATION OF 9714.24' AS INTERPOLATED FROM U.S.G.S. MAPS.
- 5) C=CALCULATED COURSE AND DISTANCE.
- 6) M=MEASURED COURSE AND DISTANCE.
- 7) P=PLATTED COURSE AND DISTANCE.
- 8) UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HERON.

SURVEYOR'S CERTIFICATE:

I, ROY N. GERDEL, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF WARRIOR'S MARK, FILING NO. 2, LOT 40 WAS PREPARED BY ME UNDER MY SUPERVISION FROM A SURVEY MADE BY ME AND UNDER MY SUPERVISION, THAT BOTH THIS PLAT AND THE SURVEY ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT ANY MONUMENTS SET WERE PLACED PURSUANT TO CRS 38-51-05.

DATED THIS 7TH DAY OF APRIL, A.D. 2015.

ROY N. GERDEL, PLS 33192



CARDINAL LAND SURVEYS, INC.		P.O. BOX 1479 BRECKENRIDGE, CO 80440 970-392-0083	
WARRIOR'S MARK-FILING NO. 2			
LOT 40			
DATE	REVISIONS		
		DATE: 04-07-2015	SCALE: 1"=20'
		DRAWN BY: RING	
		JOB NO.: 15-005	

METAL ROOF MOCHA TAN (22)
PRO-PANEL MATCH EXIST'S

1x2 BATTS/ 1x12 BD COLOR
BELGIAN SWEET
700D-6 BEHR STAINS.

BROWN TEEPEE
700D-4 BEHR STAINS
MATCH EXIST'S
FASCIA & CORNER BD'S

TIMBER & DECK COLOR
SOUTH KINGSTON
700D-7 BEHR STAINS

CORRUGATED STEEL COLOR
SOUTH KINGSTON
700D-7 BEHR STAINS

METAL ROOF MOCHA TAN (22)
PRO-PANEL MATCH EXIST'S

Post Office Box 7555
253 Pelican Circle
Breckenridge, Colorado 80424
Breckenridge (970) 453-0709
Salida (719) 539-7026

TERRASUN
ARCHITECTS
Architectural Design & Planning



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

700D

700D-4 [^]
Brown Teepee

700D-6 [^]
Belgian Sweet

700D-7 [^]
South Kingston

Using all

22

BROWN TEEPEE
700D-4 BEHR STAINS
MATCH EXIST'S
FASCIA & CORNER BD'S

1x2 BATTS/ 1x12 BD COLOR
BELGIAN SWEET
700D-6 BEHR STAINS.

CORRUGATED STEEL COLOR
SOUTH KINGSTON
700D-7 BEHR STAINS

ERNST ADDITION
RED FEATHER LANE
BRECKENRIDGE
COLORADO, 80424

RELEASE DATE:
3-20-17
JOB NO. 1
DRAWN BY: LK
CHECKED BY: LK

CB





Class C Single Family Development Review Staff Report

Project Title:	Cove Residence	
Proposal:	Build a new 4,335 sq. ft. single-family residence	
PC#:	PL-2018-0272	
Project Manager:	Jeremy Lott, Planner II	
Date of Report:	July 11, 2018 (For meeting of July 17, 2018)	
Property Owner:	Harvey and Rosemary Cove	
Agent:	Neely Architecture, Sonny Neely	
Proposed Use:	Single Family Residence	
Address:	107 Victory Lane	
Legal Description:	Warrior's Preserve, Lot 8	
Area of Site in Square Feet:	18,189	0.42 acres
Existing Site Conditions:	This uphill lot has access from a utility and private access easement which connects to Victory Lane (a 50' private access and utility easement) and slopes upward from west to east, away from the access point. A snow storage easement for Victory Lane exists on this property and is 25' x 40.55' in size. The lot is heavily wooded with evergreen trees. Lot 7 to the north and lot 9 to the south have been developed with single family residences. The grade of the lot is approximately 27%.	
Areas of building:	Proposed Square Footage	
Lower Level:	950	
Upper Level:	2,345	
Total Density:	3295	
Garage:	1040	
Total:	4335	
Code Policies (Policy #)		
Land Use District (2A/2R):	LUD 1 (Low Density Residential, Recreational)	
Density (3A/3R):	Unlimited	Proposed: 3,295 sq. ft.
Mass (4R):	Unlimited	Proposed: 4,335 sq. ft.
F.A.R.:	1:0.24 FAR	
No. of Main Residence Bedrooms:	3 bedrooms	
No. of Main Residence Bathrooms:	4.5 bathrooms	
Height (6A/6R):*	33.3 feet overall	
*Max height of 35' for single family outside Conservation District <u>unless</u> otherwise stated on the recorded plat		
Lot Coverage/Open Space (21R):		
Total Non-Permeable Sq. Ft.:	4,852	26.68%
Open Space / Permeable:	13337	73.32%
Snowstack (13A/13R):		
Hard Surface/Non-Permeable Sq. Ft. for Snow Stack:	728	4.00%
Required Square Footage:	182	25% of paved surfaces is required
Proposed Square Footage:	182	(25.00% of paved surfaces)
Energy Conservation (33A/33R):		
Outdoor Heated Space:	None	
HERS Index:	The applicant has provided staff with a preliminary HERS Index energy analysis. A Condition of Approval has been added that upon completion of construction, the applicant will provide the Town with a final HERS index energy analysis prepared by a registered design professional confirming a HERS rating of 80 or less. This warrants positive two (+2) points for a projected HERS Index of 61-80.	
Parking (18A/18R):		
Required:	2 spaces	
Proposed:	2 spaces	
Number of Gas Fired:	1 Gas Fired	
Building/Disturbance Envelope?	Building Envelope	The plat shows there is a Building Envelope with a disturbance limitation along the rear envelope line (when originally platted in Summit County).

Architectural Compatibility (5/A & 5/R):	The architecture and finishes match that of the other homes in the neighborhood. All elevations have less than 25% metal panels with the north elevation at the highest ratio of 22%.	
Exterior Materials and Colors:	Fascia: Wood (color: "Brown") Siding: Horizontal Wood Shiplap (color: "Brown"), Metal Panels <25% Metal Panel Siding: (color: "Berridge Zinc Grey," >25% of elevation) Window Cladding: (color: "Chestnut Bronze") Stone Veneer: Natural stone(color: "Mountain Ledge Sandstone") Deck Railings, Chimney Shroud: Steel (color: "Berridge Dark Bronze")	
Roof:	Asphalt Shingle (color: "Tamko Black Walnut") & Standing Seam Metal (color: "Bronze")	
Garage Doors:	Horizontal Wood Shiplap (color: "Brown")	
Site and Environmental Design (7A/7R):	The retaining wall behind the proposed house is a total six (6) feet in height. The wall will be made of concrete and will have a thin cut natural stone veneer. With the exception of the portions where the wall wraps around the rear of the house, the wall is completely out of public view. The length of the wall is 117 feet and the 96' of the wall is taller than 4 feet. Staff recommends the Planning Commission assess negative two (-2) points for the wall since it is over four (4) feet in height but not not highly visible from the roadway.	
Landscaping (22A/22R):	Staff finds that sufficient landscaping is proposed to effectively enhance the natural aesthetic of the property and to provide screening/buffering between Victory Lane (private road) and the neighboring lots.	
	Planting Type	Quantity
	Aspen	23
	Colorado Spruce	1
	Alpine Currant	5
	Potenitilla	14
		Size
		2 - 3" minimum caliper, 50% multi-stem
		6-7 feet tall
		50% 5-Gallon 50% 1-Gallon
		50% 5-Gallon 50% 1-Gallon
Defensible Space (22A):	Complies	
Staff Action:	Staff has approved the Cove Residence, PL-2018-0272, showing a passing score of zero (0) points, with the attached Findings and Conditions.	
Additional Conditions of Approval:	PRIOR TO ISSUANCE OF BUILDING PERMIT 12. Plat note 2 states: <i>Lots 6-10 shall have a maximum uphill foundation depth of 5'-0" and shall not contain basement excavations or temporary excavations over 5 feet on the uphill sides of such lots. Depth of the foundation excavations shall be measured from the highest ground elevation immediately adjacent to the proposed foundation excavation.</i> Lots 6, 7, and 9 have been approved and constructed and both exceed the 5 foot depth limitation as will this application. As this is the last remaining lot on this portion of the subdivision and precedent has permitted other lots to construct to a similar depth, a condition of approval has been added for the applicant to submit proof of HOA approval of this residence as well as a letter stamped by a Professional Engineer stating that the foundation will not be negatively impacted by natural causes (i.e. water, flooding) due to going beyond the maximum 5 feet. The property owner shall sign an acceptance that this plat note is not being met and accepts the engineer recommendation. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY 22. Applicant shall provide the Town with a final HERS index energy analysis prepared by a registered design professional confirming a HERS rating of 80 or less.	

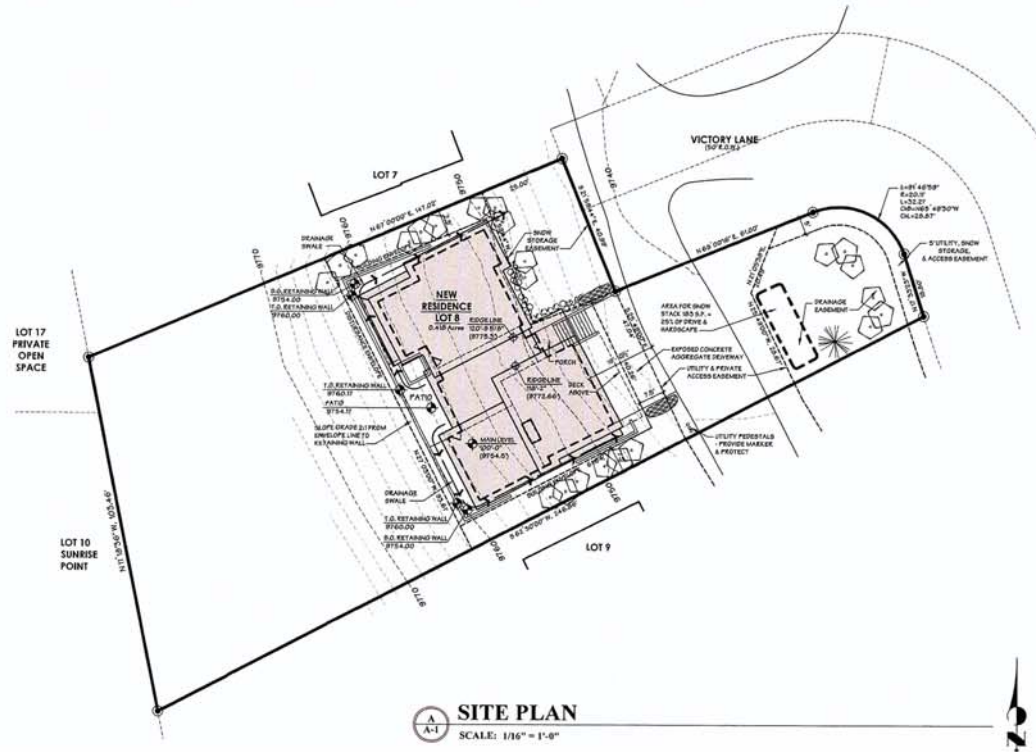
PLANTING LIST & NOTES				
KEY:	COMMON NAME:	BOTANICAL NAME:	AMT.	SIZE
PROPOSED TREES & SHRUBS TO BE ADDED				
	COLORADO SPRUCE	PICEA PUNGENS	1	BETWEEN 6'-7' TALL
	QUAKING ASPEN	POPULUS TREMULOIDES	22	30% 20" CAL. MAX 11' STEM 90% 3" CAL/PEN SINGLE STEM
	ALPINE CURRIENT	RIBES ALPNUM	5	50% @ 5 GAL. 90% @ 1 GAL.
	POTENTILLA	POTENTILLA FRUTICOSA	14	50% @ 5 GAL. 90% @ 1 GAL.
	NATIVE GRASS COVERS, WILDFLOWERS & PERENNIALS	KINNOCKONICK, HOLY GRAPE, LUPINE FIRENEED, COLUMBINE, DASY, ETC.	28	#1 POT @ 14" O.C.

NOTES: REFER TO SPECIFICATIONS FOR N.L.C. ITEMS

1. PROVIDE 2" - 3" MIN. TOPSOIL & SEED ALL DISTURBED AREAS WITH COUNTY SHORT GRASS MIX.
2. KEEP EXISTING TREES WHERE POSSIBLE - TAKE INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE.
3. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & AREAS PRONE TO SNOW SLIDES FROM ABOVE.
4. FIELD LOCATE ALL SHRUBS.
5. ALL NEW LANDSCAPING, ALL COURTYARDS & ALL AREAS WITHIN 10 FEET OF BUILDINGS IRIGATED.
6. PLEASE CONSULT A QUALIFIED LANDSCAPE PROFESSIONAL FOR ADDITIONAL QUESTIONS.
7. NEW PLANTINGS TO BE HIGH ALTITUDE GROWN & OR COLLECTED TO ENSURE BETTER SURVIVAL.
8. VARY HEIGHT OF GROUPED TREES WHEREVER POSSIBLE.

LOT COVERAGE		
LOT SIZE	18,180 S.F.	100%
NON-PERMEABLE SURFACE AREA (BLDG, HARDSCAPE & HARD SURFACE)	4,852 S.F.	26.68%
TOTAL OPEN SPACE	13,327 S.F.	73.32%

SNOW STACK	
DRIVEWAY & HARDSCAPE AREA	728 S.F.
25% OF DRIVEWAY & HARDSCAPE	182 S.F.
SNOW STACK PROVIDED	183 S.F.



SITE PLAN
SCALE: 1/16" = 1'-0"

NEELY ARCHITECTURE

J. LEE NEELY · ARCHITECT
905 3rd St. Suite 100
Breckenridge, Colorado 80424
Tel: 970-469-8884
jlee@neelyarchitect.com

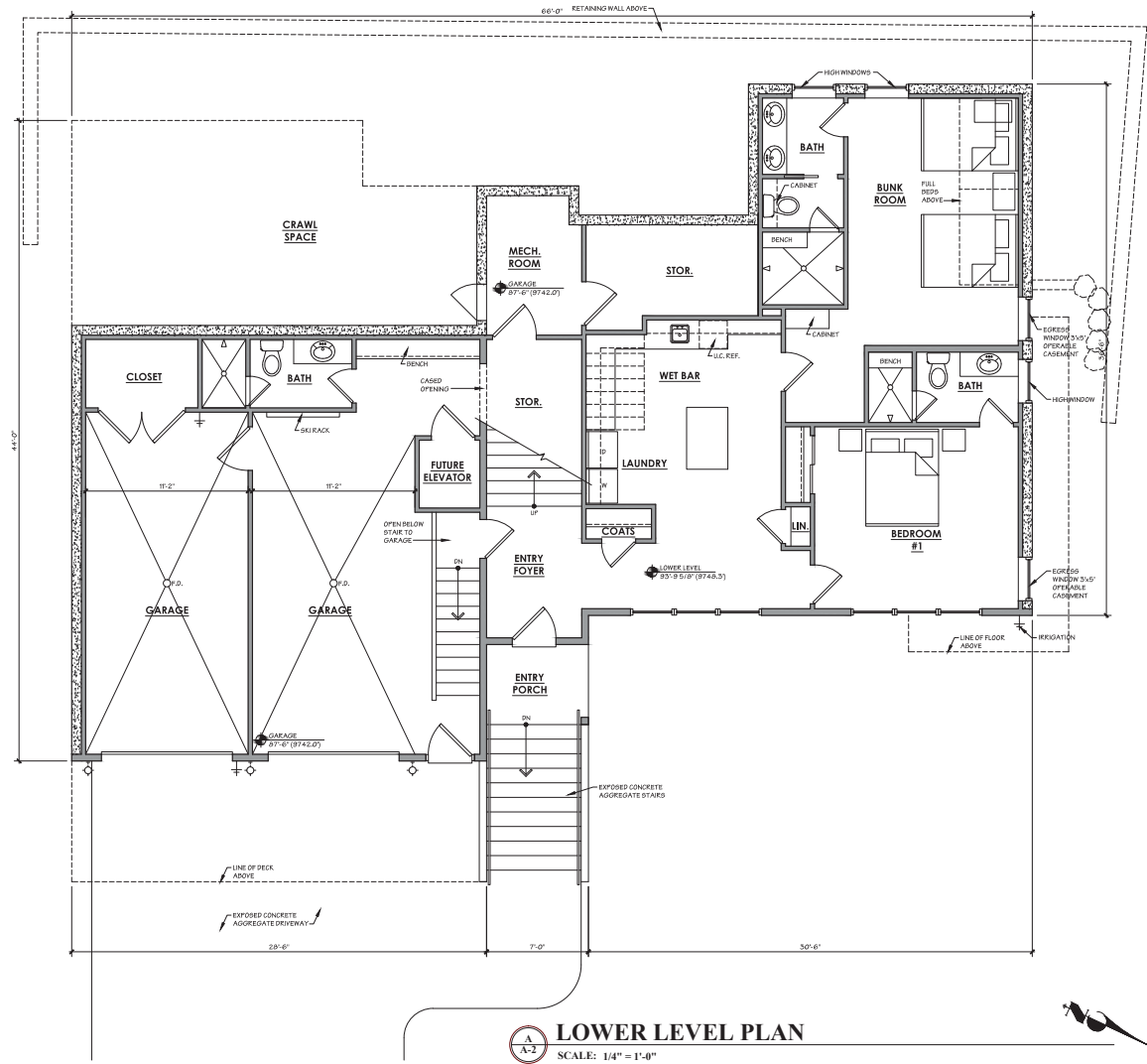
COVE RESIDENCE

107 VICTORY LANE
BRECKENRIDGE, CO 80424

JOB NUMBER: #2202
DATE: 07/12/2016
PRELIMINARY PRICING SET
-NOT FOR CONSTRUCTION-

A-1

AREA COUNTS	
LOWER LEVEL DENSITY AREA	950 S.F.
UPPER LEVEL DENSITY AREA	2,345 S.F.
TOTAL DENSITY AREA	3,295 S.F.
GARAGE	1,040 S.F.
TOTAL MASS AREA	4,335 S.F.



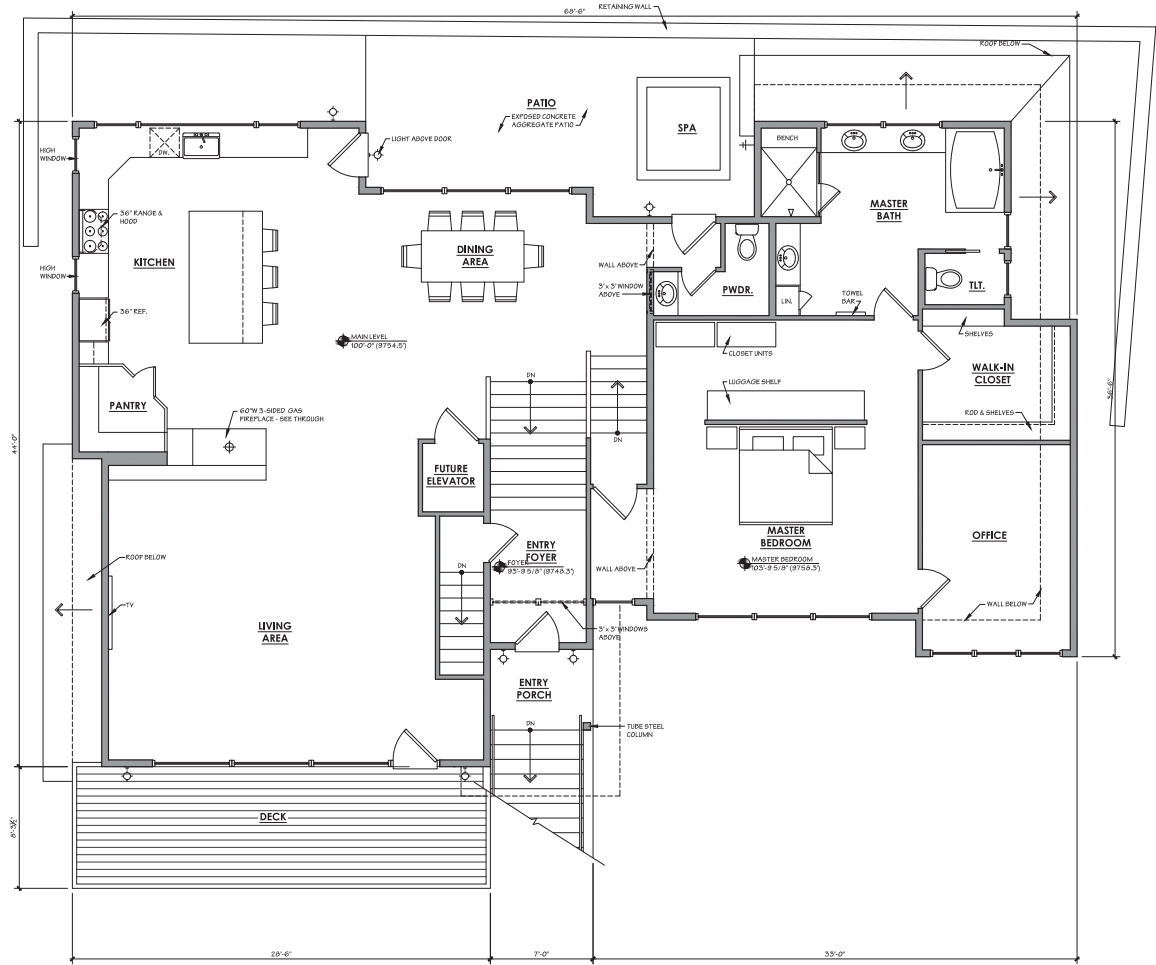
LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

NEELY ARCHITECTURE
J. LEE NEELY · ARCHITECT
P.O. Box 3687
1705 Airport Road, Unit 5
Breckenridge, Colorado 80424
970-547-0554
Fax: 970-547-0554
jne@neelyarch.com

COVE RESIDENCE
107 VICTORY LANE
BRECKENRIDGE, CO 80424

JOB NUMBER:	#2292
DATE:	07/06/2018
DEVELOPMENT PERMIT SET	

A-2



UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"

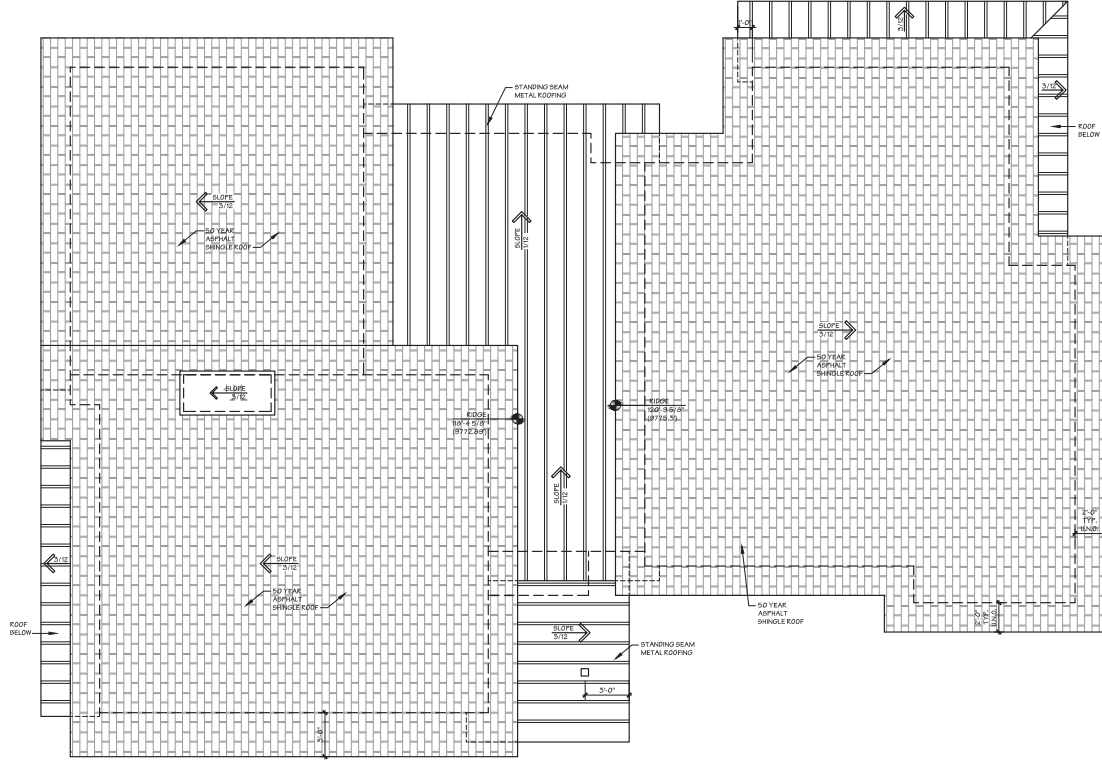
COVE RESIDENCE

107 VICTORY LANE
BRECKENRIDGE, CO 80424

JOB NUMBER:	#2292
DATE:	07/06/2018
DEVELOPMENT PERMIT SET	

A-3





ROOF PLAN
SCALE: 1/4" = 1'-0"

NEELY ARCHITECTURE

J. LEE NEELY · ARCHITECT
P.O. Box 3687
1705 Airport Road, Unit 5
Breckenridge, Colorado 80424
970-547-0854
Fax 970-547-0854
j.neely@neelyarch.com

COVE RESIDENCE

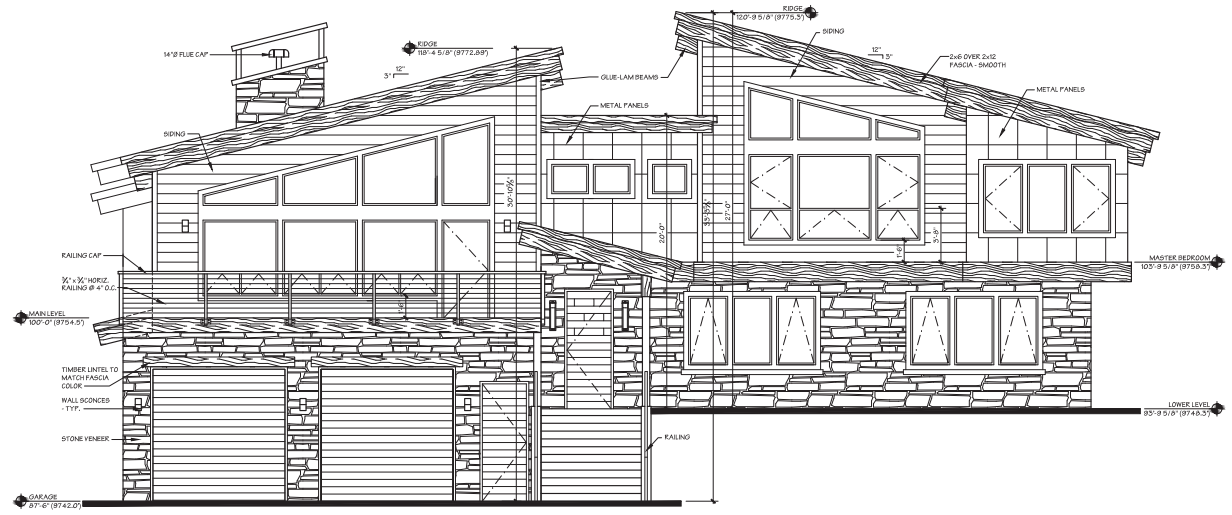
107 VICTORY LANE
BRECKENRIDGE, CO 80424

JOB NUMBER: #2292

DATE: 07/06/2018

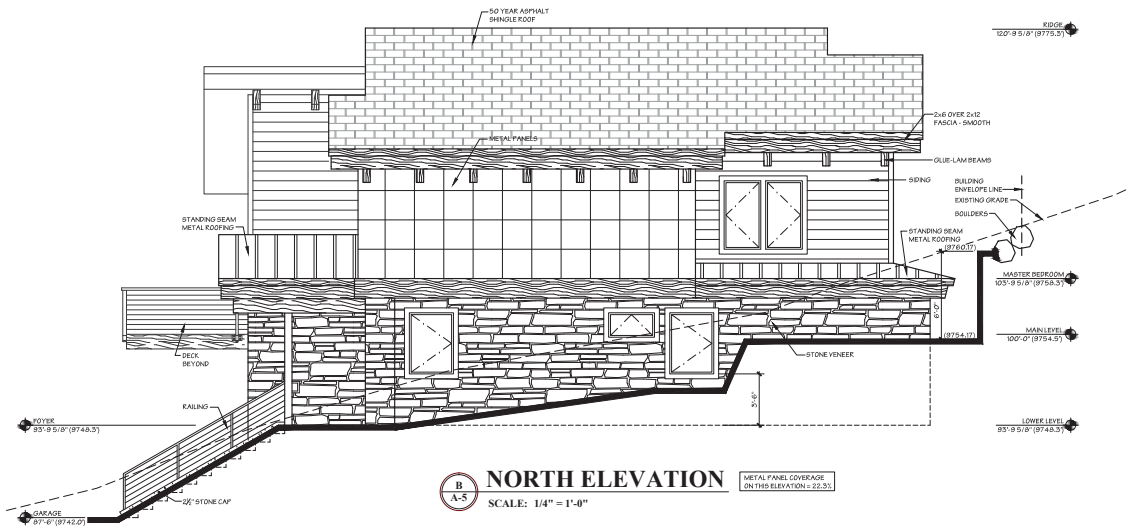
DEVELOPMENT PERMIT SET

A-4



A
A-5
EAST ELEVATION
SCALE: 1/4" = 1'-0"

METAL PANEL COVERAGE
ON THIS ELEVATION = 6.83



B
A-5
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

METAL PANEL COVERAGE
ON THIS ELEVATION = 23.33

NEELY ARCHITECTURE

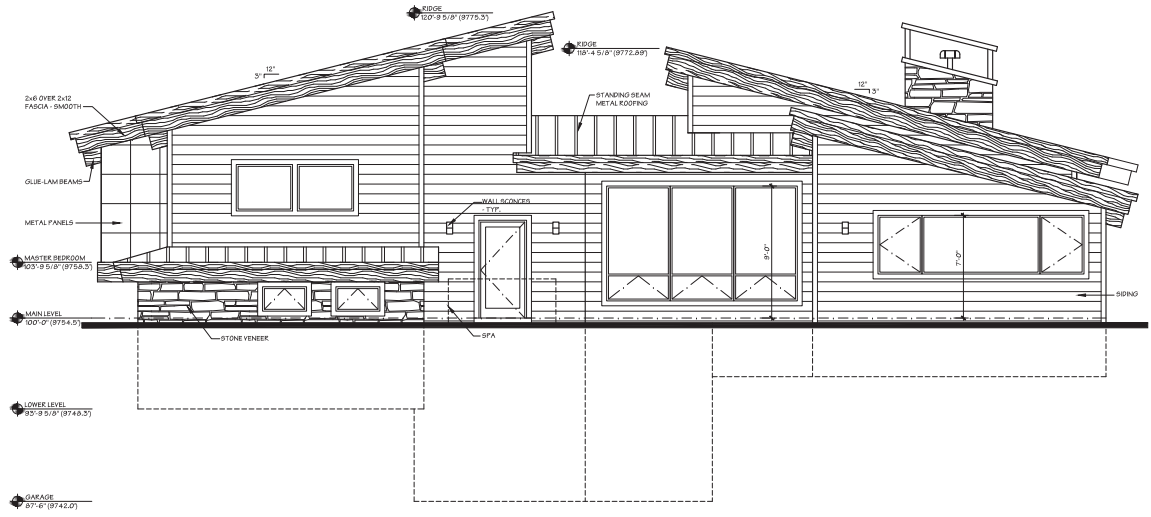
J. LEE NEELY · ARCHITECT
970-547-0854
1705 Airport Road, Unit 5
Breckenridge, Colorado 80424
jne@neelyarch.com

COVE RESIDENCE

107 VICTORY LANE
BRECKENRIDGE, CO 80424

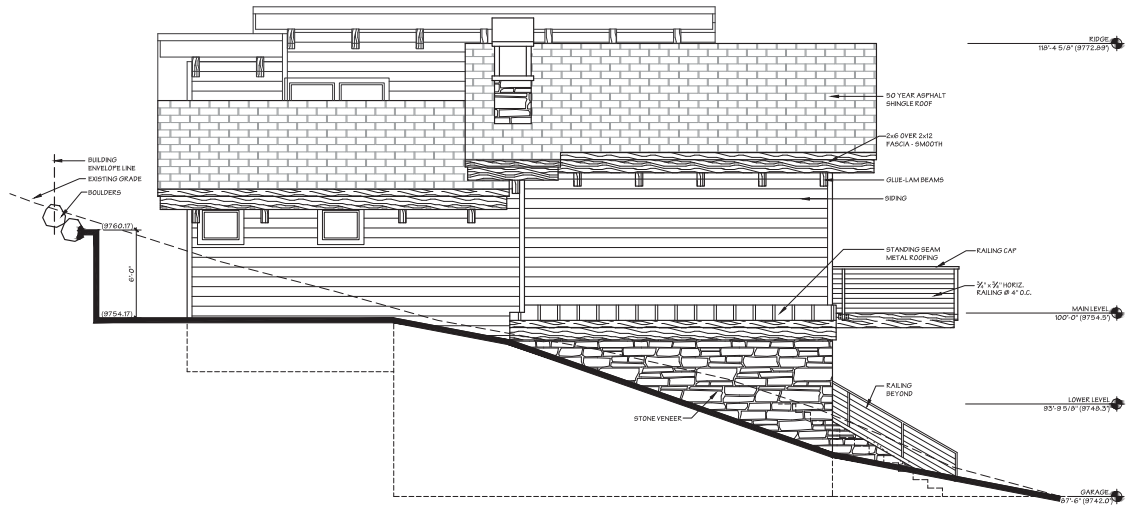
JOB NUMBER:	#2292
DATE:	07/06/2018
DEVELOPMENT PERMIT SET	

A-5



WEST ELEVATION
SCALE: 1/4" = 1'-0"

METAL PANEL COVERAGE
ON THIS ELEVATION = 3.33



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

METAL PANEL COVERAGE
ON THIS ELEVATION = 0.91

NEELY ARCHITECTURE

J. LEE NEELY · ARCHITECT
P.O. Box 3687
1705 Airport Road, Unit 5
Breckenridge, Colorado 80424
jne@neelyarch.com
970-547-0854
Fax 970-547-0854

COVE RESIDENCE

107 VICTORY LANE
BRECKENRIDGE, CO 80424

JOB NUMBER:	#2292
DATE:	07/06/2018
DEVELOPMENT PERMIT SET	

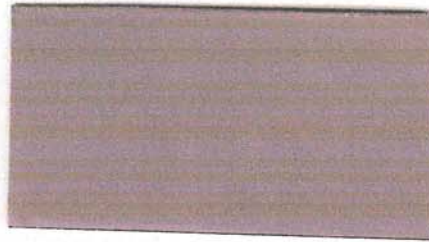
A-6

Cove Residence
Lot 8, 107 Victory Lane
Breckenridge, Colorado

Siding - Horizontal Shiplap



Siding – Metal panels



Fascia boards



Railings/chimney shroud



Roofing – 50 Yr. Asphalt Shingles



Roofing- Bronze standing seam



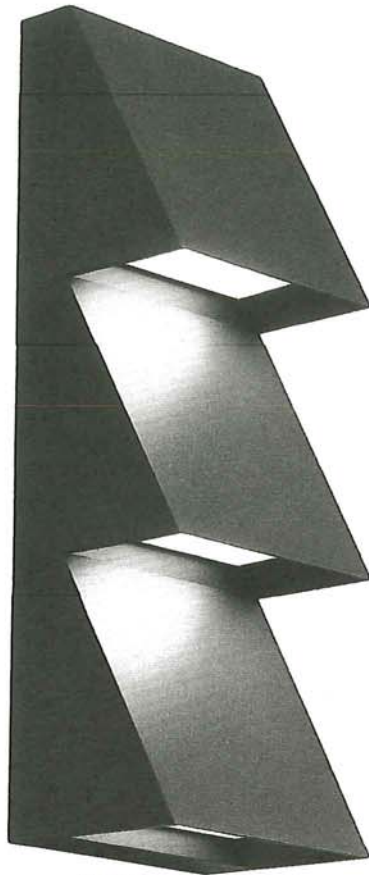
Cladding- Chestnut Bronze



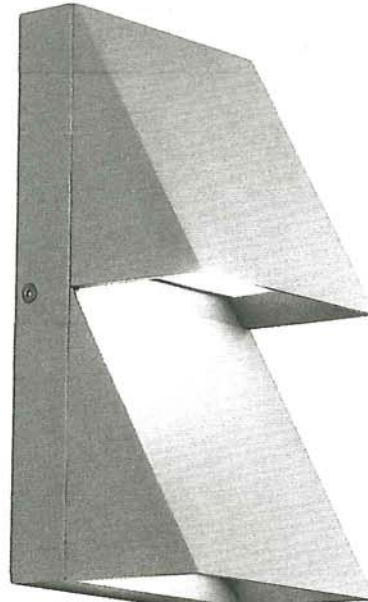
Stone Veneer



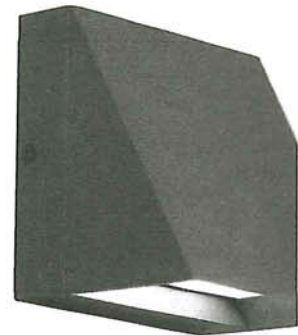
PITCH WALL



BRONZE TRIPLE



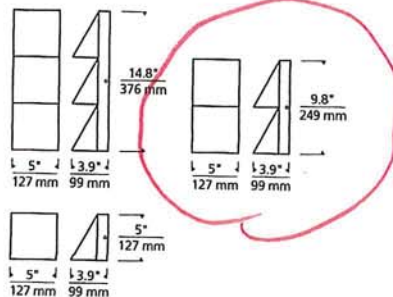
SILVER DOUBLE



CHARCOAL SINGLE

*Bronze double
(5) locations East Elevation
West Elevation*

Architectural design and significant light output define this modern LED wall fixture suitable for both indoor and outdoor applications. A die-cast metal body available in three sizes houses powerful LED light sources that create visual appeal as light cascades from one tier to the next.



LAMPING

- LED** Single: 26 watt, 823 delivered lumens, 3000K LED module / Dimmable with low-voltage electronic dimmer
- Double: 48 watt, 1193 delivered lumens, 3000K LED module / Dimmable with low-voltage electronic dimmer
- Triple: 64 watt, 1486 delivered lumens, 3000K LED module / Dimmable with low-voltage electronic dimmer

T24 All lamping versions

SPECIFICATIONS

- +** Mounts up or down indoors / Mounts down only outdoors
- ADA** ADA Compliant
- WET** IP-65 wet rated
- ☾** Downlight Only: Dark Sky Compliant

Complete photometrics available at www.techlighting.com

6/29/18

700WSPIT	SIZE	SHADE FINISH	LAMP
S	SINGLE	B BLACK	-LED830 LED 80 CRI 3000K 120V
D	DOUBLE	Z BRONZE	-LED830-277 LED 80 CRI 3000K 277V
T	TRIPLE	H CHARCOAL	
		I SILVER	



AIRIS LARGE • 307930 • ALUMINUM SCONCE
 33" h x 6.8" w x 4.6" d
 MR16 halogen bulb, 50W max
 SHOWN: DARK SMOKE FINISH / SEEDED GLASS



AIRIS MEDIUM • 307920 • ALUMINUM SCONCE
 24.3" h x 5" w x 5.2" d
 MR16 halogen bulb, 35W max
 photometric data avail
 SHOWN: BURNISHED STEEL FINISH / STAINLESS
 MESH TUBE • US PATENT D608,489

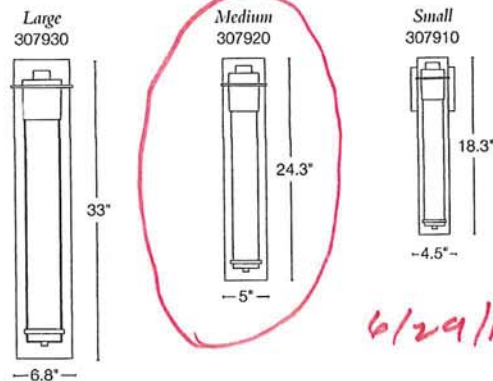
* Front entry
 only
 Airis medium
 w/ this
 design



AIRIS SMALL • 307910 • ALUMINUM SCONCE
 18.3" h x 4.5" w x 4" d • ADA
 MR16 halogen bulb, 35W max
 photometric data avail
 SHOWN: DARK SMOKE FINISH / TEXTURED ALUMINUM PLATE
 US PATENT D608,489

DARK SKY-FRIENDLY AIRIS SCONCES
 ARE AVAILABLE IN THREE SIZES
 AND THREE DIFFERENT DESIGN OPTIONS.

Airis sconce sizes available



6/29/18

TOWN OF BRECKENRIDGE

Cove Residence
Warrior's Preserve, Lot 8
107 Victory Lane
PL-2018-0272

STAFF RECOMMENDATION: Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **July 11, 2018**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **July 17, 2018**, as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **January 24, 2020**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.

7. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
8. Applicant shall field locate utility service lines to avoid existing trees.
9. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
10. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
11. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

12. **Plat note 2 states: *Lots 6-10 shall have a maximum uphill foundation depth of 5'-0"* and shall not contain basement excavations or temporary excavations over 5 feet on the uphill sides of such lots. Depth of the foundation excavations shall be measured from the highest ground elevation immediately adjacent to the proposed foundation excavation. Lots 6, 7, and 9 have been approved, constructed and exceed the 5 foot depth limitation as will this application. Therefore, the applicant shall submit proof of HOA approval of this residence as well as a letter stamped by a Professional Engineer stating that the foundation will not be negatively impacted by natural causes (i.e. water, flooding) due to going beyond the maximum 5 feet. The property owner shall sign an acceptance that this plat note is not being met and accepts the engineer recommendation.**
13. Applicant shall submit proof of ownership of the project site.
14. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
15. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
16. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
17. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
18. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
19. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted

without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

20. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
21. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

22. **Applicant shall provide the Town with a final HERS index energy analysis prepared by a registered design professional confirming a HERS rating of 80 or less.**
23. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
24. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
25. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
26. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
27. **All metal siding and metal roofing shall be non-reflective.**
28. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
29. Applicant shall screen all utilities.
30. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
31. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
32. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's

development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.

33. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
34. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
35. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)

Final Hearing Impact Analysis				
Project:	Cove Residence	Positive Points	+2	
PC#:	PL-2018-0272			
Date:	7/17/2018	Negative Points	- 2	
Staff:	Jeremy Lott, Planner II			
		Total Allocation:	0	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)	- 2	A proposed retaining wall exceeds 4 feet and is 6 feet in height. This wall is completely hidden from public view.
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x (-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		

18/R	Parking - Downtown Service Area	2x(-2+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2	+2	Staff recommends positive two (+2) points for a HERS Index of 61-80.
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		

37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

Planning Commission Staff Report

Subject: Breckenridge Transit Bus Storage
(Town Project Hearing – PL-2018-0211)

Proposal: To construct a 5,000 sq. ft. structure with six bay bus storage and additional equipment storage.

Date: July 17, 2018

Project Manager: Jeremy Lott, AICP, Planner II

Applicant/Owner: Town of Breckenridge-Shannon Smith, Town Engineer

Address: 1095 Airport Road

Legal Description: Block 1, Breckenridge Airport Subdivision Amended Replat

Land Use District: 31: Commercial, Industrial, Public Open Space
1:4 FAR/20 UPA Residential

Site Area: Approximately 2.93 acres (127,630 square feet)

Site Conditions: The proposed building is on the site of the existing public works facility. It will be between two existing buildings, towards the northern end of the property. The site is generally flat with the exception of a large, landscaped berm, which runs along Airport Road and helps to screen the property from the Right-of-Way. There is a 10' snowstack easement along Airport Road and various other utility easements across other portions of the property, which are not near the site of the proposed building. Two sheds and a greenhouse are located behind this structure and are to remain.

Adjacent Uses: North: Breckenridge Terrace Apartments
South: Public Works facilities and Valley Brook Cemetery
East: Upper Blue Elementary school and Valley Brook Townhomes
West: Vacant, Town owned property

Setbacks: Required: 1 ft.

North: 25 ft.
West: 85 ft.
East: 47 ft.
South: 260 ft.



Existing landscaping along Airport Road



Item History

The administration building on this site was constructed in 2012 and another transit maintenance and bus storage building was constructed in 2006. There are several other buildings and improvements that have been added throughout the years on the property. As the Transit Fleet is growing, there is a need for an expanded storage area for buses. This facility will house electric buses and has been sized to allow them to be charged when not in use. It will also allow for some additional indoor storage on the site.

Staff Comments

Land Use (Policies 2/A & 2/R): The LUD lists Public Facilities as an allowed use. The proposed use is consistent with the other Public Works Facility buildings of vehicle storage and maintenance. Staff has no concerns.

Site and Environmental Design (7/R): The property is relatively flat and minimal grading will occur as a result of this project. No trees or landscaping are being removed. As this building is internal to the large site on the north side, there will be little visibility of the building from the adjacent properties or right of way.

Architectural Compatibility (5/A & 5/R): The building is proposed to have no natural materials. The façade is all metal with a flat roof and is similar to the other structures on the property. Some of the buildings on-site did not go through the planning process when they were initially constructed so there was no analysis on proposed materials. Many of the buildings are similar in nature to the proposed structure and also have no natural materials. This building is not excessively dissimilar with other structures on the property, but since it has non-natural materials in excess of 25% per elevation, negative six (-6) points are warranted.

Recent past precedent cases for use of non-natural materials include:

- Denison Placer Phase 1, PL-2017-0014, 107 Denison Placer Road, (-6 points) Natural materials not present on each elevation-primary materials cementitious siding.
- Recreation Center Expansion and Tennis Center, PL-2017-004, 857 Airport Road, (-6 points) All non-natural materials.
- Breckenridge Parking Structure, PL-2017-0607, 150 W. Adams Avenue, (-6 points) All non-natural materials.

Colors will match other buildings on the property and include “Buckskin” (a darker beige) for the body color of the building and “Aged Bronze” (brown) for the trim and fascia (see plans for colors). These colors are natural tones and are consistent with other structures on the site The roof will be a dark brown color to match the other flat roofs on the site.

Building Height (Policy 6/A & 6/R): The plans show the structure as being 15’9” in height however the architect has indicated that the structure will be increasing by 1’ to better accommodate the buses. The new height will be 16’9” and is under the height of 35 feet recommended in the LUD. The length of the long, unbroken ridgeline is 100 feet due to the design of the building. The building is designed to accommodate large electric buses for storage and charging – so the building is utilitarian in nature and does not need to be architecturally unique. Buildings are encouraged to provide broken, interesting roof forms that step down at the edges. Since long, unbroken ridgelines, fifty feet (50’) or longer are discouraged, staff has allocated negative one (-1) point.

Social Community (Policy 24/A & 24/R): Social Community (24/A & 24/R):

3 (0/+2)	x	B. Community Needs: Developments which address specific needs of the community which have been identified in the yearly goals and objectives reports within the three (3) year period preceding the date of the application are encouraged. Positive points shall be awarded under this subsection only for development activities which occur on the applicant's property. (Ord. 1, Series 2014)
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The 2018 Council Goals include:

GOAL: Establish a plan for adding electric buses to the FreeRide Fleet.

This project helps to further the goal of providing additional electric buses to the transit fleet and recommends positive six (+6) points under this policy for achieving this goal.

Transit (25/R): This project is providing storage and serves as the charging station for 6 new electric FreeRide buses. This policy encourages the *inclusion of or the contribution to a permanent non-auto transit system, designed to facilitate the movement of persons to and from Breckenridge or within the town. Nonauto transit system elements include buses and bus stops, both public and private, for the*

purpose of providing access to all parts of town. Positive points shall be awarded under this policy only for the inclusion of or the contribution to non-auto transit system elements.

Staff recommends positive four (+4) points for the contribution to non-auto transit system elements as the proposed facility is allowing for the Transit Department to increase the number and frequency of public transit utilized throughout Town.

Drainage (27/A & 27/R): Drainage will be directed towards the southwest corner of the building and will be accommodated using a new drywell, the details of which will be determined with final engineering plans.

Access / Circulation (16/A & 16/R; 17/A & 17/R): The proposed building does not interfere with or change access for the property and has been sited to allow for safe bus access and egress. Vehicles will still be able to navigate through the site. The building is situated to allow access to the sheds and greenhouse behind it. Staff has no concerns.

Parking (18/A & 18/R): This facility will allow the Town to provide six additional electric buses for public transportation. No parking is being removed from the site. There is existing parking on site for employees.

Landscaping (22/A & 22/R): There is an existing berm on the property, along Airport Road. This berm has several large trees and provides screening from the right-of-way. No additional trees or landscaping is proposed. Staff has no concerns.

External Lighting (Section 9-12): All lighting fixtures are to be compliant with the Town lighting standards.

Point Analysis (Section: 9-1-17-3): All Absolute policies are being met. Staff recommends negative six (-6) points under Policy 5A – Architectural Compatibility, negative one (-1) point under Policy 6R – Building Height, positive six (+6) points under Policy 24R – Social Community, and positive four (+4) points under Policy 25R – Transit for a passing point analysis of positive three (+3) points.

Staff Recommendation

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013). As a result, the Planning Commission is asked to identify any concerns with this project, and any code issues and make a recommendation to the Town Council.

Staff recommends that the Planning Commission recommend approval of the Breckenridge Transit Bus Storage to the Town Council, PL-2018-0211, located at 1905 Airport Road with a passing point analysis of positive three (+3) points and the Findings and Conditions provided.

Town Project Hearing Impact Analysis				
Project:	Breckenridge Transit Bus Storage	Positive	Points	+10
PL:	PL-2018-0211			
Date:	7/17/2018	Negative	Points	- 7
Staff:	Jeremy Lott			
		Total	Allocation:	+3
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		Compatible use for Public Works Facility
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)	- 6	100% non-natural materials
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		Building is 15'9"
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)	- 1	Roof Ridge over 50 feet in length
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		Screening from right-of-way
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		Meets minimum
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		

19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)	+6	Meets Council Goal of expanding the Town's electric bus fleet
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)	+4	Facility built to accommodate the Town's expanding public transportation (Contribution to nonauto transit system)
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation			
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		

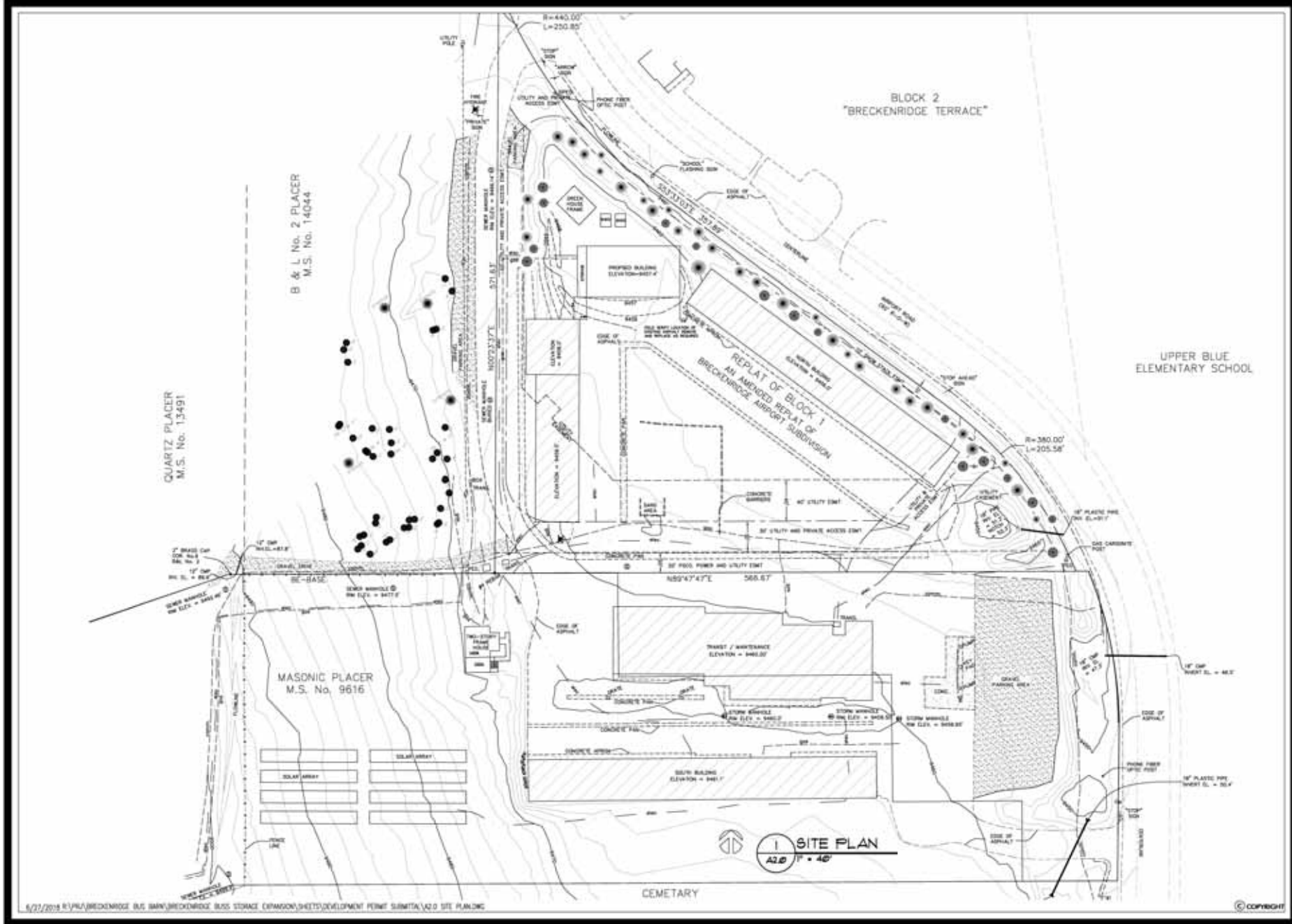
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

TOWN OF BRECKENRIDGE

**Breckenridge Transit Bus Storage
Block 1, Breckenridge Airport Subdivision Amended Replat
1095 Airport Road
PL-2018-0211**

FINDINGS

1. This project is “Town Project” as defined in Section 9-4-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. The Planning Commission reviewed and considered this Town Project on July 17, 2018. In connection with its review of this Town Project, the Planning Commission scheduled and held a public hearing on July 17, 2018, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4(2) of the Breckenridge Town Code. At the conclusion of its public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on July 24, 2018. This Town Project was listed on the Town Council’s agenda for the July 24, 2018 agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project the Town Council received from the Director of the Department of Community Development, and gave due consideration to, a point analysis for the Town Project in the same manner as a point analysis is prepared for a final hearing on a Class A development permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.



O'BRYAN PARTNERSHIP, INC.
ARCHITECTS - AIA

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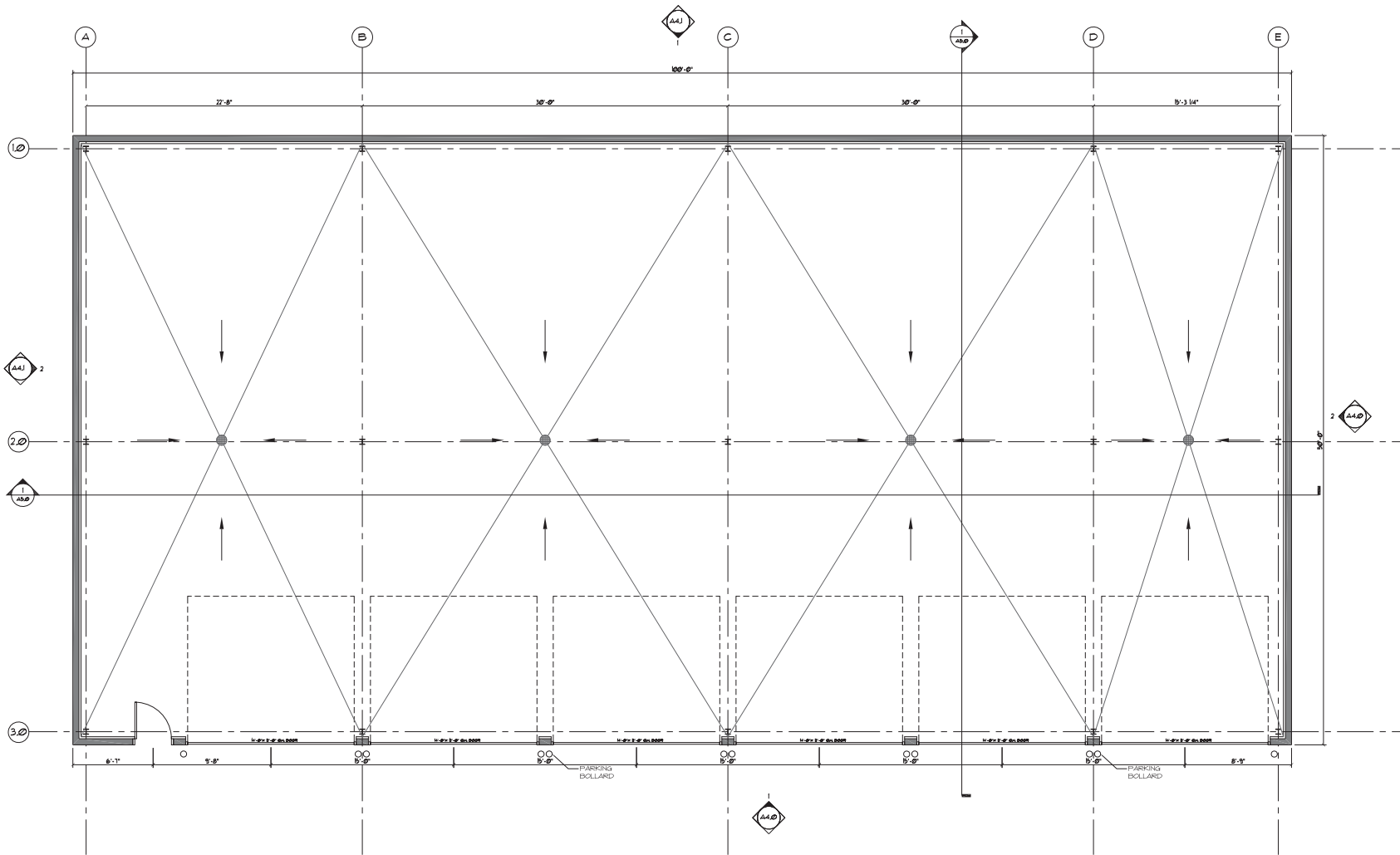
BRECKENRIDGE TRANSIT BUS STORAGE
1095 AIRPORT ROAD
BRECKENRIDGE, COLORADO 80424

Revisions:

PROGRESS SET	122.11	9.29.18
	9.29.18	6.4.18
	6.27.18	

Date: 11/9/17
Project No: 277160
Drawn by: CRH
Checked by: KAO

A2.0
SITE PLAN



1 PROPOSED LEVEL PLAN
A3.0 1/4" = 1'-0"



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BRECKENRIDGE TRANSIT BUS STORAGE
1095 AIRPORT ROAD
BRECKENRIDGE, COLORADO 80424

Revisions:

PROGRESS SET	
11/22/17	5/25/18
5/29/18	6/4/18

Date: 11/9/17

Project No: 269100

Drawn by: CRH

Checked by: KAO

A3.0
FLOOR PLAN

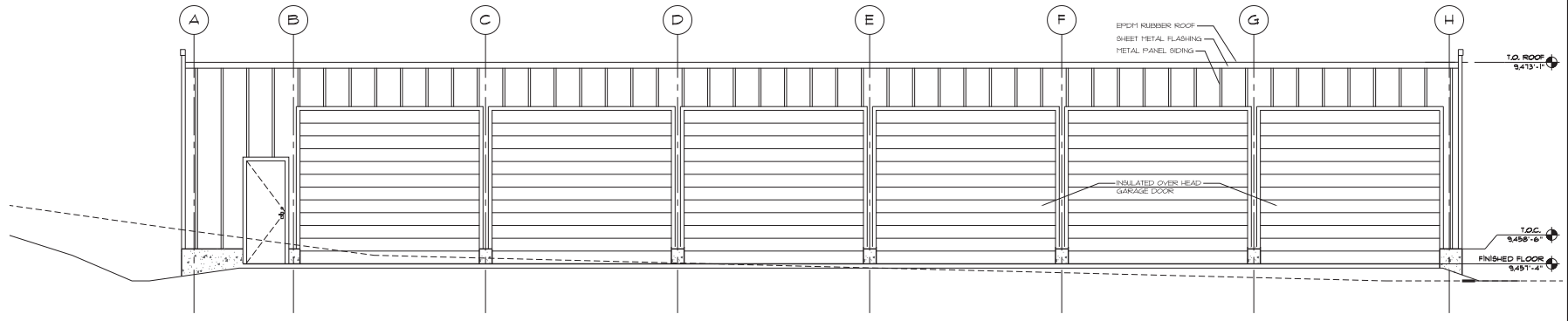


Revisions:

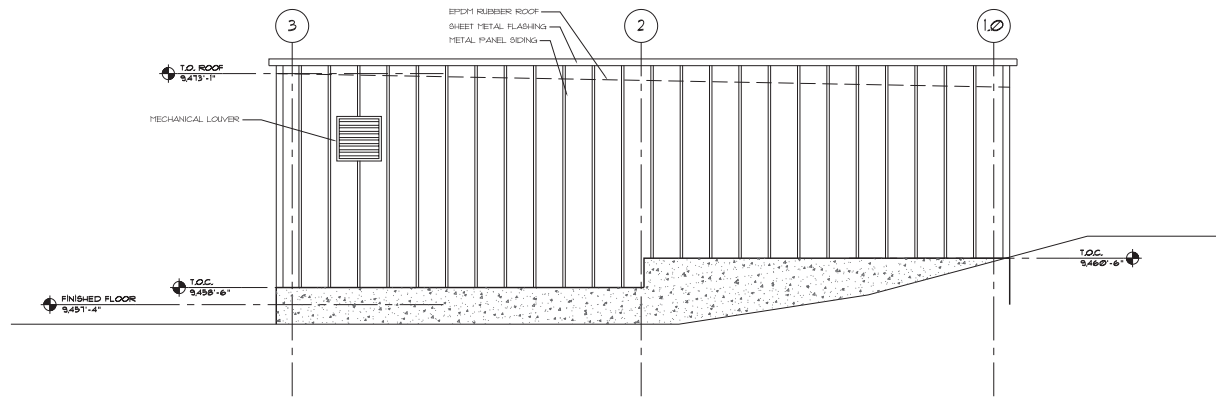
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11/22/17	5/25/18
5/29/18	6/1/18

Date:	11/9/17
Project No:	269100
Drawn by:	CRH
Checked by:	KAO

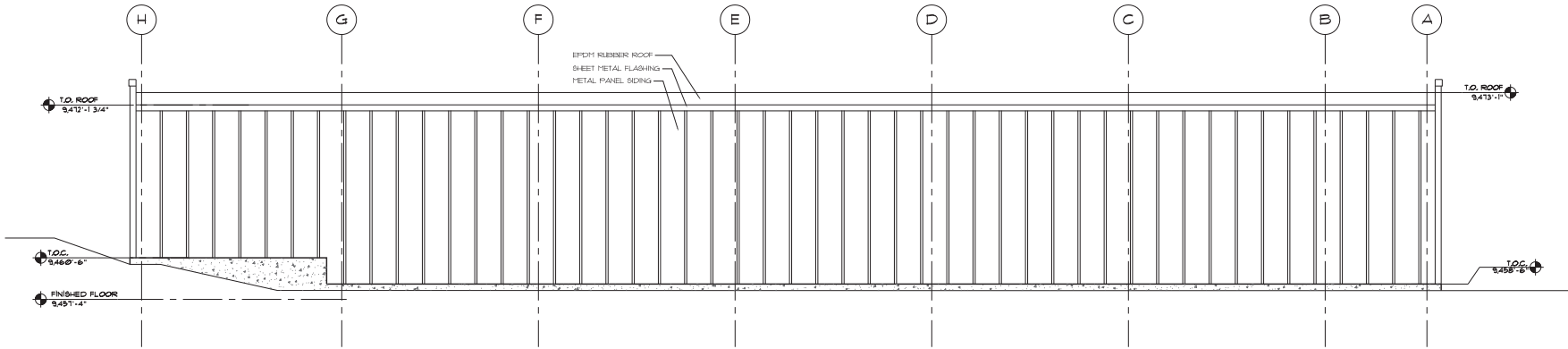
A4.0
ELEVATIONS



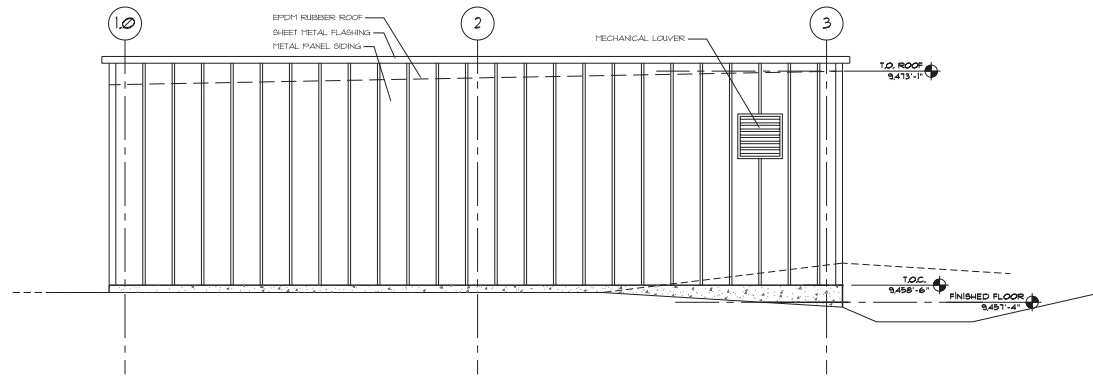
1 PROPOSED SOUTH ELEVATION
A4.0 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
A4.0 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
A4.1 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
A4.1 1/4" = 1'-0"

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BRECKENRIDGE TRANSIT BUS STORAGE
1095 AIRPORT ROAD
BRECKENRIDGE, COLORADO 80424

Revisions:

PROGRESS SET	11/22/17	5/25/18
	5/29/18	6/4/18

Date: 11/9/17

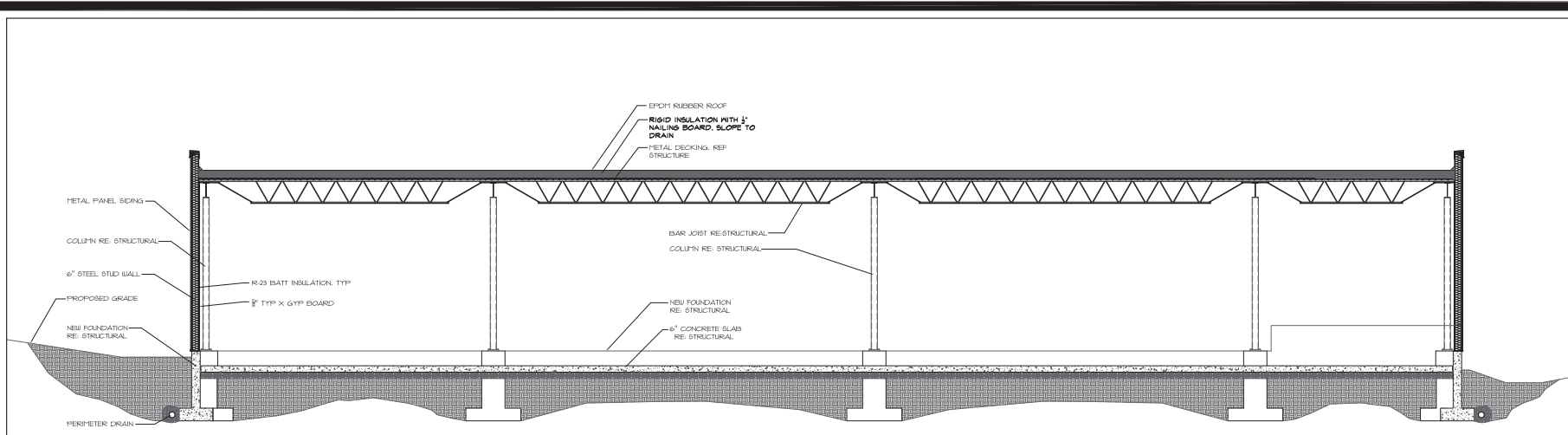
Project No: 269100

Drawn by: CRH

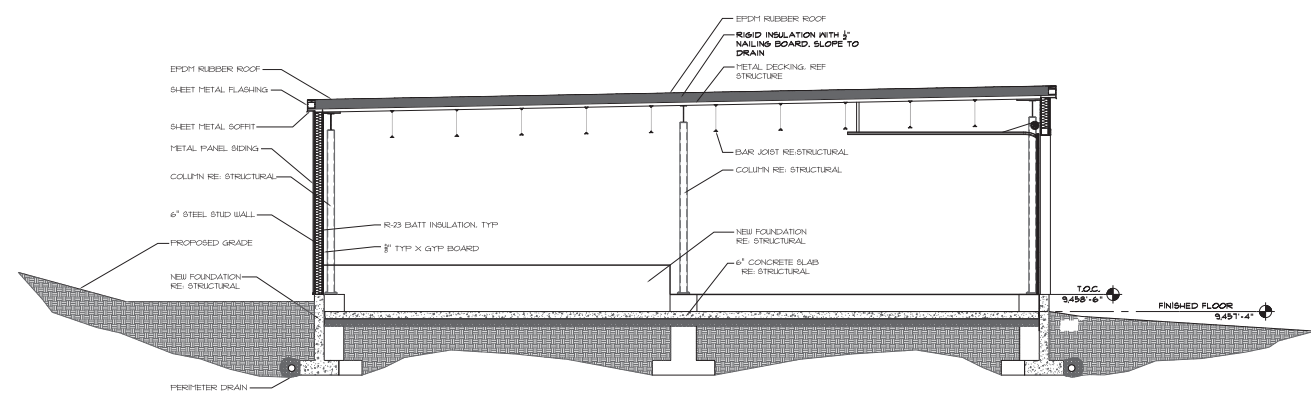
Checked by: KAO

A4.1

ELEVATIONS



1 BUILDING SECTION
A5.0 1/4" = 1'-0"



2 BUILDING SECTION
A5.0 1/4" = 1'-0"



Revisions:

PROGRESS SET	DATE
1/22/17	5.25.18
5.23.18	6.4.18

Date:	11/9/17
Project No:	2117.00
Drawn by:	CRH
Checked by:	KAO

Standard Colors



BODY COLOR

TRIM
&
FACIA

Premium Colors

Berridge premium colors require a special surcharge.



Natural White



Award Blue



Champagne



Copper-Cote™



Antiqua Copper-Cote

Metallic Colors

Berridge metallic colors are premium finishes which require a nominal surcharge.

Natural Metal Finish

Berridge Acrylic Coated Galvalume® is a coated sheet product that combines the corrosion resistance of Galvalume® steel sheet with a clear organic resin applied to the top side and bottom side of Galvalume® substrate.

Acrylic-Coated Galvalume®



Zinc-Cote™



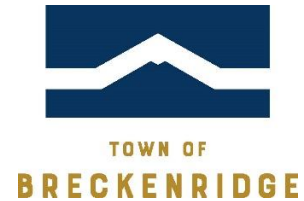
Lead-Cote™



Pawweathered Galvalume®

Please consult the BVC Technical department at Technical@berridge.com for LEED and Energy Star compliance information. Due to limitations in the printing process, please request actual color chips for accurate color viewing.

Energy Star is only valid in the United States.



Memo

To: Breckenridge Planning Commission
From: Julia Puester, AICP, Planning Manager
Date: 7/12/2018
Subject: Administrative Rules and Regulations for the Town of Breckenridge Development Code and Subdivision Standards

The Administrative Rules and Regulations of the Development Code and Subdivision Standards (Rules) are utilized daily by the Community Development Department for the purpose of project management and reviews.

The last update to the Rules was approved in 2013. Since then, a new Class D major classification and Development Agreement ordinance have been adopted which is reflected in the changes proposed as well as some additional clarification throughout the document.

This memo is to serve as informational to the Planning Commission. Staff believes that it is beneficial for the Planning Commission to know the internal application review processes undertaken by the planning staff. The Rules have been reviewed by staff and the Town Attorney. No Planning Commission action is needed.

The attached Administrative Rules and Regulations are required to be approved by the Town Council which has been scheduled for their July 24th work session. If approved, the revised Rules will go into effect two weeks on August 7th, after approval.

preceding the Planning Commission meeting at which such application is to be reviewed. If a complete application, including all required submittal materials, is not received by the Director by such date and time, the application shall not be scheduled for the Planning Commission meeting.

5.2 For good cause shown, the Director may shorten or lengthen the normal fifty (50) day review schedule for the initial review of any development permit application. ~~If the normal fifty (50) day review schedule is lengthened, the Director shall promptly notify the applicant in writing of the reasons for such action.~~ **If the normal review schedule is altered for a particular application, the Director shall notify the applicant of the revised review schedule which will apply to the applicant's project.**

5.3 The initial submission of a development permit application shall be processed by the staff substantially in accordance with the applicable chart set forth in Rule 6.

5.4 The second and each subsequent development permit application which is submitted for the same project shall be processed by the staff in accordance with the applicable chart set forth in Rule 6. However, the review schedule for such applications may be shortened by the Director to a time period less than fifty (50) days if Director determines that a shorter review schedule is appropriate for such application taking into consideration all relevant factors, including, without limitation: (i) the nature and complexity of the project which is the subject of the application; (ii) the nature and extent of the previous Planning Commission comments concerning the project which is the subject of the application; and (iii) the nature and extent of any revisions to the application and related submittal materials requested by the Planning Commission at any prior hearing(s) on the application. If the normal review schedule is altered for a particular application, the Director shall notify the applicant of the revised review schedule which will apply to the applicant's project.

5.5 Applicants should be aware that the establishment of a review schedule for a development permit application does not necessarily mean that the application will be heard by the Planning Commission on day "zero" of the chart which is contained in Rule 6. Development permit applications are scheduled for presentation to the Planning Commission based on the availability of adequate time on the Planning Commission's agenda. A completed development permit application will be scheduled for presentation to the Planning Commission at the first available Planning Commission meeting. **A scheduled presentation may be continued or postponed by the Director if determined to be necessary.**

5.6 This Rule applies to development permit applications submitted under both the Development Code and the Subdivision Standards.

6. Chart of Critical Dates and Events for Class A and B Applications Under the Development Code and Class A and B Applications Under the Subdivision Standards:

The following chart describes the events and deadlines that would typically apply to the processing of Class A and Class B development permit application under the Development Code, and Class A and Class B subdivision permit application under the Subdivision Standards. The

chart reflects events and deadlines that would generally apply each time an application is to be reviewed by the Planning Commission. However, applicants should note that the review schedule for an application may be shortened for the second and each subsequent submittal of the same development permit application (see Rule 5.4).

50M	<ul style="list-style-type: none"> • Applicant submits application (by 9:00 A.M.)* • Staff checks application for completeness; staff advises applicant that application is complete and has been accepted for processing • Staff schedules application for Planning Commission meeting • Staff routes application to referral agencies
49T	Staff reviews application/plans
48W	Staff reviews application/plans
47 th Th	Staff reviews application/plans
46F	Staff reviews application/plans
--	
--	
43M	Staff reviews application/plans and writes comments
42T	Staff reviews application/plans and write comments
41W	Staff reviews application/plans and write comments
40 Th	Staff reviews application/plans and write comments
39F	Staff reviews application/plans and write comments
--	
--	
36M	Staff meets with applicant to review comments
35T	Applicant makes revisions to application
34W	Applicant makes revisions to application

33 Th	Applicant makes revisions to application
32F	Applicant makes revisions to application
--	
--	
29M	<ul style="list-style-type: none"> • Applicant's revisions due • Route to referral agencies • Staff reviews applicant's revisions
28T	Staff reviews applicant's revisions
27W	Staff reviews applicant's revisions
26 Th	Staff reviews applicant's revisions
25F	<ul style="list-style-type: none"> • Staff reviews applicant's revisions • <u>Comments</u> of <u>referral</u> agencies due
--	
--	
22M	Staff prepares draft staff report
21T	Staff prepares draft staff report
20W	Staff prepares draft staff report
19Th	Staff prepares draft staff report
18F	Staff prepares draft staff report
--	
--	
15M	Staff prepares draft staff report
14T	Staff prepares draft staff report

13W	Staff prepares draft staff report
12Th	<ul style="list-style-type: none"> • Public Notice for Planning Commission meeting (mailings sent, property posted and information to newspaper) • Staff prepares draft staff report
11F	<ul style="list-style-type: none"> • Staff prepares draft staff report • <u>Public Notice for Planning Commission meeting (mailings sent, property posted and information to newspaper)</u>
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8M	Staff prepares draft staff report
7Tu	<u>Staff reviews their own draft staff report</u>
6W	<u>Draft staff report due by 9 am</u>
5Th	<ul style="list-style-type: none"> • <u>Copy of draft staff report provided to applicant after having been reviewed by the key members of the staff</u> • Revise draft staff report; staff <u>reviews</u>/accepts applicant comments on draft staff report
4F	<ul style="list-style-type: none"> • Final staff report <u>due-complete</u> • Agenda packets printed and distributed
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1M	
0T	Planning Commission meeting

* All Preliminary Applications must be preceded by a Pre Application meeting with Town Planning Staff. (Ord. 7, Series 1993)

MANDATORY STEPS

POTENTIAL ADDITIONAL STEPS

T.C. CONSENT CALENDAR:

After the Planning Commission has made a decision on the application, the application shall be forwarded to the Town Council for its review and final action. If the Town Council does not call up the Planning Commission's action, the Planning Commission's decision on the application is final.

T.C. CALL UP VOTE:

The Town Council may vote to call up the action of the Planning Commission and hold its own de novo hearing on the application.

T.C. HEARING:

If the Planning Commission decision is called up by the Town Council, the Council must hold its hearing and make a decision on the application within 45 days from the date of the call up. The decision of the Council shall be final.

DEVELOPMENT PERMIT ISSUANCE:

Within ~~21~~ 22 days of approval of an application by the Planning Commission or Town Council, the Town shall issue a development permit for the project.

7. Chart of Class C Subdivision Permit Process. The following chart describes the events and deadlines that would typically apply to the processing of a Class C Development Permit application under the Subdivision Chapter of the Development Code:

MANDATORY STEPS

POTENTIAL ADDITIONAL STEPS

PRE-APPLICATION CONFERENCE:

The purpose of this conference is to acquaint the Town with the applicant's intentions, to acquaint the applicant with the requirements of the Development Code Subdivision Standards, and to identify those policies which are relevant to the project.

APPLICATION:

The application can be filed at any time, but will not be scheduled for the next Planning Commission meeting unless filed by 9 A.M. twenty two days prior to the Planning Commission meeting.

PUBLIC NOTICE:

Public notice shall be sent out at least eleven days prior to the Director's decision date.

DECISION:

The Director shall make a decision within twenty two days of receipt of a complete application. The decision may be to approve, approve with conditions, or deny the application and placed on the Planning Commission meeting agenda as a consent item.

P.C. CALL UP & HEARING:

If the decision of the Director is called up by the Planning Commission, the Commission shall then review the project in greater detail, and make the final decision. The Planning Commission may review the application at the meeting in which it was presented, or may continue it for up to 21 days.

T.C. CONSENT CALENDAR:

After the Planning Commission has finished with the application (either by taking no action or calling the Director's decision up and making the decision on the application itself), the application shall be forwarded to the Town Council for its review and final action. If the Town Council does not call up the Planning Commission's action, the Planning Commission's decision on the application is final.

T.C. CALL UP VOTE:

The Town Council may vote to call up the action of the Planning Commission and hold its own de novo hearing on the application.

T.C. HEARING:

If the Planning Commission or Director's decision is called up by the Town Council, the Council must hold its hearing and make a decision on the application within 45 days from the date of the call up. The decision of the Council shall be final.

DEVELOPMENT PERMIT ISSUANCE:

Within ~~21~~ 22 days of approval of an application by the Town Council, the Town shall issue a development permit for the project.

Because the review for Class C Subdivision Permit applications are staff level, the staff report concerning such application may not have a written staff report.

8. **Chart of Class C Development Permit Process.** The following chart describes the events and deadlines that would typically apply to the processing of a Class C Development Permit application under the Development Code:

MANDATORY STEPS

POTENTIAL ADDITIONAL STEPS

PRE-APPLICATION CONFERENCE:

The purpose of this conference is to acquaint the Town with the applicant's intentions, to acquaint the applicant with the requirements of the Development Code, and to identify those policies which are relevant to the project.

APPLICATION:

The application can be filed at any time, but will not be scheduled for the next Planning Commission meeting unless filed by 9 A.M. fourteen twenty two days prior to the Planning Commission meeting.

DECISION:

The Director shall make a decision within ~~14~~ **twenty two** days of receipt of a complete application. The decision may be to approve, approve with conditions, or deny the application.

P.C. CONSENT CALENDAR:

The Director shall forward the decision on the application to the Planning Commission at its next regularly scheduled meeting. If not called up by the Planning Commission, the Director's decision shall stand.

P.C. CALL UP & HEARING:

If the decision of the Director is called up by the Planning Commission, the Commission shall then review the project in greater detail, and make the final decision. The ~~P.C.~~ **Planning Commission** may review the application at the meeting in which it was presented, or may continue it for up to **212** days.

T.C. CONSENT CALENDAR:

After the Planning Commission has finished with the application (either by taking no action or calling the Director's decision up and making the decision on the application itself), the application shall be forwarded to the Town Council for its review and final action. If the Town Council does not call up the Planning Commission's action, the Planning Commission's decision on the application is final.

T.C. CALL UP VOTE:

The Town Council may vote to call up the action of the Planning Commission and hold its own de novo hearing on the application.

T.C. HEARING:

If the Planning Commission or Director's decision is called up by the Town Council, the Council must hold its hearing and make a decision on the application within 45 days from the date of the call up. The decision of the Council shall be final.

DEVELOPMENT PERMIT ISSUANCE:

Within ~~24~~ 22 days of approval of an application by the Town Council the Town shall issue a development permit for the project.

Because of the shortened review schedule for Class C Development Permit applications, the staff report concerning such application may not be provided to the applicant until the Friday preceding the Planning Commission or Town Council hearing at which the application will be discussed.

9. Chart of Class D Major Development Permit Process. The following chart describes the events and deadlines that would typically apply to the processing of a Class D Major Development Permit application under the Development Code:

MANDATORY STEPS

POTENTIAL ADDITIONAL STEPS

PRE-APPLICATION CONFERENCE:

The purpose of this conference is to acquaint the Town with the applicant's intentions, to acquaint the applicant with the requirements of the Development Code, and to identify those policies which are relevant to the project.

APPLICATION:

The application can be filed at any time.

DECISION:

The Director shall make a decision within 22 days of receipt of a complete application. The decision may be to approve, approve with conditions, or deny the application. The Director shall indicate the decision on the application and return it to the applicant.

DEVELOPMENT PERMIT ISSUANCE:

Within 7 days of approval of an application by the Director, the Town shall issue a development permit for the project.

10. **Chart of Class D Minor Development Permit Process.** The following chart describes the events and deadlines that would typically apply to the processing of a Class D **Minor** Development Permit application under the Development Code:

MANDATORY STEPS

ADDITIONAL STEPS – IF APPEALED

PRE-APPLICATION CONFERENCE:

A pre-application conference may be required by staff for some applications. The purpose of this conference is to acquaint the Town with the applicant's intentions, to acquaint the applicant with the requirements of the Development Code, and to identify those policies which are relevant to the project.

APPLICATION:

The application can be filed at any time.

DECISION:

The Director shall make a decision within 7 days of receipt of a complete application. The decision may be to approve, approve with conditions, or deny the application. The Director shall indicate the decision on the application and return it to the applicant. ~~The Director shall forward the decision on the application to the Planning Commission for the Commission's information only.~~

APPEAL:

The applicant may appeal the decision of the Director within 5 days of the decision. If appealed, the applicant shall pay the appropriate fee and the application shall then be processed as a Class C. If not appealed, the decision of the Director is final.

P.C. APPEAL HEARING

If the decision of the Director is appealed, it automatically is treated as a Class C application and is reviewed by the Planning Commission using the Class C process (see chart in Rule 7).

Because Class D Minor Development Permit applications are initially processed by staff only, there is no staff report prepared with respect to such applications. However, if a Class D Minor application is called up and heard as a Class C application by the Planning Commission, staff will provide the applicant with a copy of any draft staff report concerning the application not later than the Friday preceding the Planning Commission hearing at which the application will be discussed.

11. Chart of Development Agreement Process. The following chart describes the events and deadlines that would typically apply to the processing of a Development Agreement application under Chapter 9, Title 9 of the Town Code:

MANDATORY STEPS

POTENTIAL ADDITIONAL STEPS

PRE-APPLICATION CONFERENCE:

The purpose of this conference is to acquaint the Town with the applicant's intentions, to acquaint the applicant with the requirements of the Development Code, and to identify those policies which are relevant to the application.

APPLICATION:

The application can be filed at any time.

WORK SESSION:

The application will be scheduled for a work session a minimum of 30 days after a complete submittal and no later than 60 days.

PLANNING COMMISSION FIT TEST:

At any time during the review process, the Town Council may direct the Planning Commission to review the application.

FIRST READING:

Town Council shall hold a first reading, if supported at work session.

PUBLIC NOTICE:

Public notice shall be sent out at least eleven days prior to the second reading at the Town Council meeting.

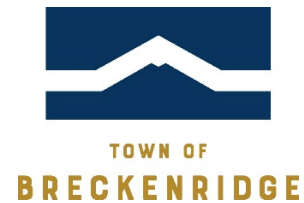
SECOND READING:

Town Council shall hold a second reading, if supported at first reading. If approved on second reading, the ordinance becomes effective approximately thirty six days after

adoption on second reading. .

12. **Conflict Between Charts and Text of Ordinances.** The charts set forth above are presented as a brief summary of the applicable procedures which are to be followed under the Development Code or the Subdivision Standards. **The charts are only a summary of the applicable process and there may be other additional steps required or taken for a particular application.** If there is any conflict between a chart and the text of either the Development Code or the Subdivision Standards, the text of the ordinance shall control.

Peter Grosshuesch, Director
Department of Community Development
Town of Breckenridge, Colorado



Memo

To: Breckenridge Planning Commission
 From: Julia Puester, Planning Manager
 Date: 7/10/2018 (For July 17, 2018 Meeting)
 Subject: Approved Class D Majors Quarterly Report (Q2 2018)

BACKGROUND

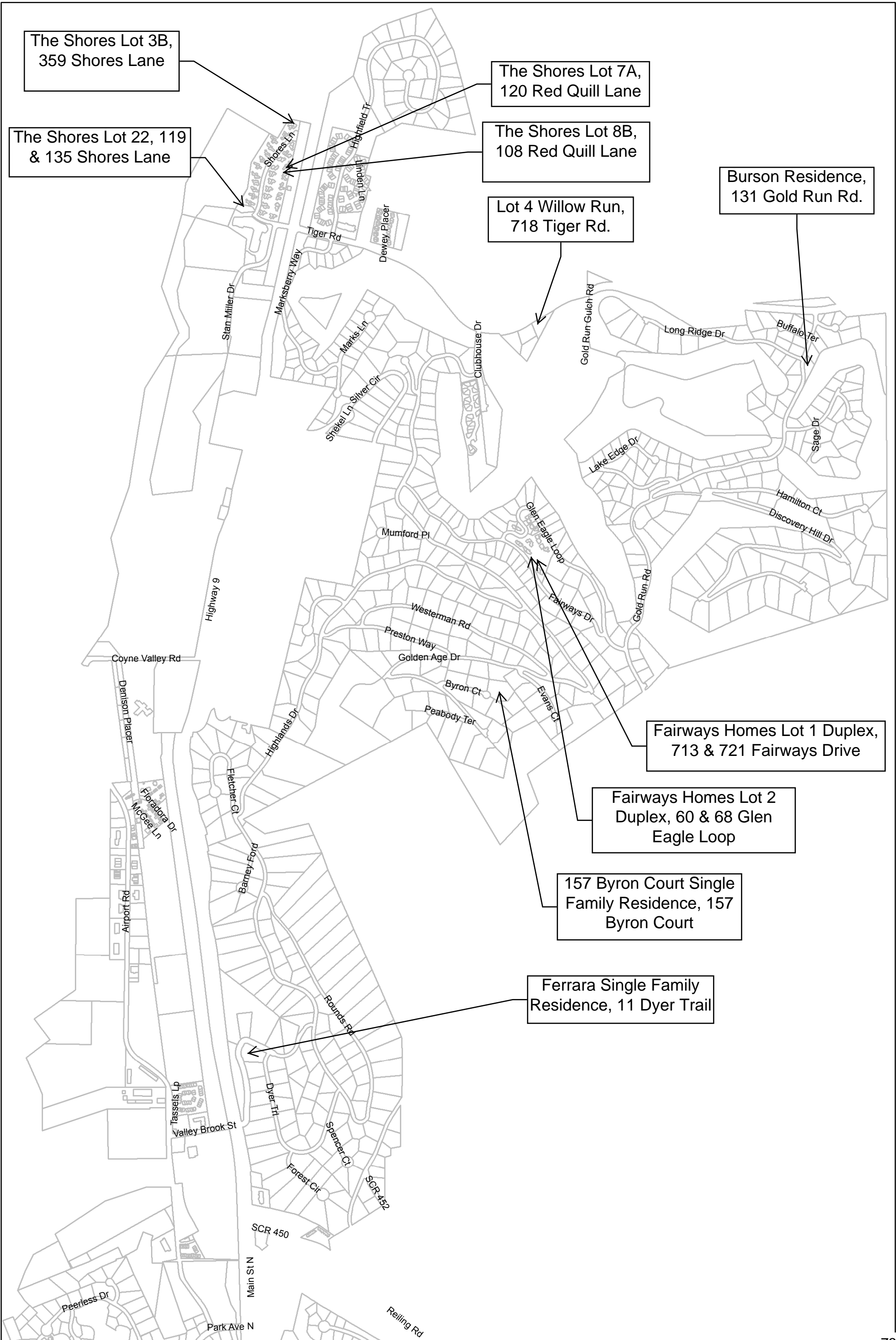
Effective January 1, 2014, Section 9-1-18-4-1 of the Breckenridge Development Code authorized the Director to review and approve Class D Major applications for single family or duplex structures outside of the Conservation District administratively without Planning Commission review. For an application to be classified as a Class D Major development permit, the property must have a platted building or disturbance envelope and warrant no negative points under Section 9-1-19 Development Policies. Staff regularly reports recently approved Class D Major development permits to the Planning Commission.

We have included a list of the Class D Major development permits that have been approved for the second quarter of 2018 since we last reported to you in April of 2018.

If you have any questions about these applications, the reporting, or the review process, we would be happy to answer. Otherwise, no discussion on this matter is required.

Permit #	Address	Project Name	Description	Approval Date	Planner
PL-2018-0063	149 Bridge Street	Lincoln Park Block 4 Lot 11	Single family residence with 3 bedrooms and 2.5 bathrooms	April 2, 2018	Chapin LaChance
PL-2018-0064	141 Bridge Street	Lincoln Park Block 4 Lot 12	Single family residence with 4 bedrooms and 3 bathrooms	April 2, 2018	Chapin LaChance
PL-2018-0075	108 Red Quill Lane	The Shores Lot 8B	Single family residence with 3 bedrooms and 3.5 bathrooms	April 10, 2018	Chris Kulick
PL-2018-0061	713 & 721 Fairways Drive	Fairways Homes Lot 1 Duplex	New duplex, Unit A to have 3 bedrooms and 2.5 bathrooms; Unit B to have 3 bedrooms and 2.5 bathrooms	April 16, 2018	Chapin LaChance
PL-2018-0076	359 Shores Lane	The Shores Lot 3B	Single family residence to have 3 bedrooms and 3.5 bathrooms	April 30, 2018	Chris Kulick
PL-2018-0133	120 Red Quill Lane	The Shores Lot 7A	Single family residence to have 3 bedrooms and 3.5 bathrooms	May 8, 2018	Chris Kulick

PL-2018-0132	119 & 135 Shores Lane	The Shores Lot 22	New duplex, Unit A to have 3 bedrooms and 3.5 bathrooms, Unit B to have 3 bedrooms and 3.5 bathrooms	May 8, 2018	Chris Kulick
PL-2018-0107	29 Fair Fountain Green	Gudlewski 2 Car Garage	New 2 car garage with no bonus room at existing single family residence	May 10, 2018	Jeremy Lott
PL-2018-0089	15 Silver Green	Gallagher 2 Car Garage	New 2 car garage with no bonus room at existing single family residence	May 11, 2018	Jeremy Lott
PL-2018-0100	11 Dyer Trail	Ferrara Single Family Residence	New 5,814 sq. ft. single family residence with 5 bedrooms and 6 bathrooms	May 21, 2018	Chapin LaChance
PL-2018-0115	18 Logan Rd.	Ramirez Residence Carriage House	Addition of a 1 bedroom Carriage House to an existing 2 car garage, with a deck patio and stairs; to an existing market rate home.	May 22, 2018	Chapin LaChance
PL-2018-0150	157 Byron Court	157 Byron Court Single Family Residence	New 5,853 sq. ft. single family residence with 5 bedrooms and 6 bathrooms	June 8, 2018	Jeremy Lott
PL-2018-0183	131 Gold Run Rd.	Burson Residence	New 5,484 sq. ft. single family residence with 4 bedrooms and 4.5 bathrooms	June 14, 2018	Jeremy Lott
PL-2018-0151	718 Tiger Rd.	Lot 4 Willow Run	New 8,413 sq. ft. single family residence with 5 bedrooms and 6 bathrooms	June 15, 2018	Jeremy Lott
PL-2018-0158	60 & 68 Glen Eagle Loop	Fairways Homes Lot 2 Duplex	New 6,339 sq. ft. duplex, Unit A to have 3 bedrooms and 4 bathrooms; Unit B to have 3 bedrooms and 4 bathrooms	June 19, 2018	Chapin LaChance



The Shores Lot 3B,
359 Shores Lane

The Shores Lot 7A,
120 Red Quill Lane

The Shores Lot 22, 119
& 135 Shores Lane

The Shores Lot 8B,
108 Red Quill Lane

Lot 4 Willow Run,
718 Tiger Rd.

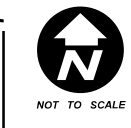
Burson Residence,
131 Gold Run Rd.

Fairways Homes Lot 1 Duplex,
713 & 721 Fairways Drive

Fairways Homes Lot 2
Duplex, 60 & 68 Glen
Eagle Loop

157 Byron Court Single
Family Residence, 157
Byron Court

Ferrara Single Family
Residence, 11 Dyer Trail



Gallagher 2 Car Garage,
15 Silver Green

Ramirez Residence Carriage
House, 18 Logan Rd.

Gudlewski 2 Car
Garage, 29 Fair
Fountain Green

Lincoln Park Block 4 Lot
11, 149 Bridge Street

Lincoln Park Block 4 Lot
12, 141 Bridge Street

Breckenridge South





Memo

To: Breckenridge Planning Commission
 From: Julia Puester, Planning Manager
 Date: 7/10/2018 (For July 17, 2018 Meeting)
 Subject: Approved Class C Subdivision Quarterly Report (Q2 2018)

Section 9-2-3-3 of the Breckenridge Subdivision Code authorizes the Director to review and approve Class C subdivisions administratively without Planning Commission review. “Administrative Review: The processing of a class C subdivision application shall be an administrative review conducted by the director. No public hearing shall be required”. (Section 9-2-3-3 B)

Class C Subdivisions are defined as follows:

“CLASS C SUBDIVISION: A subdivision of structure(s) into separate units of interest, including, but not limited to, condominiums, timeshare interests, cooperatives, townhouses, footprint lots in conjunction with an approved master plan, and duplexes when done in accordance with a previously approved subdivision plan, site plan, development permit or site specific development plan; the modification or deletion of existing property lines resulting in the creation of no additional lots (lot line adjustment); an amendment to a subdivision plat or plan which does not result in the creation of any new lots, tracts or parcels; or the platting or modification of easements, building envelopes or site disturbance envelopes. A class C subdivision application may be reclassified by the director as either a class A or class B subdivision application within five (5) days following the submission of the completed application if the director determines that the application involves issues which make it inappropriate for the application to be processed administratively as a class C application”.

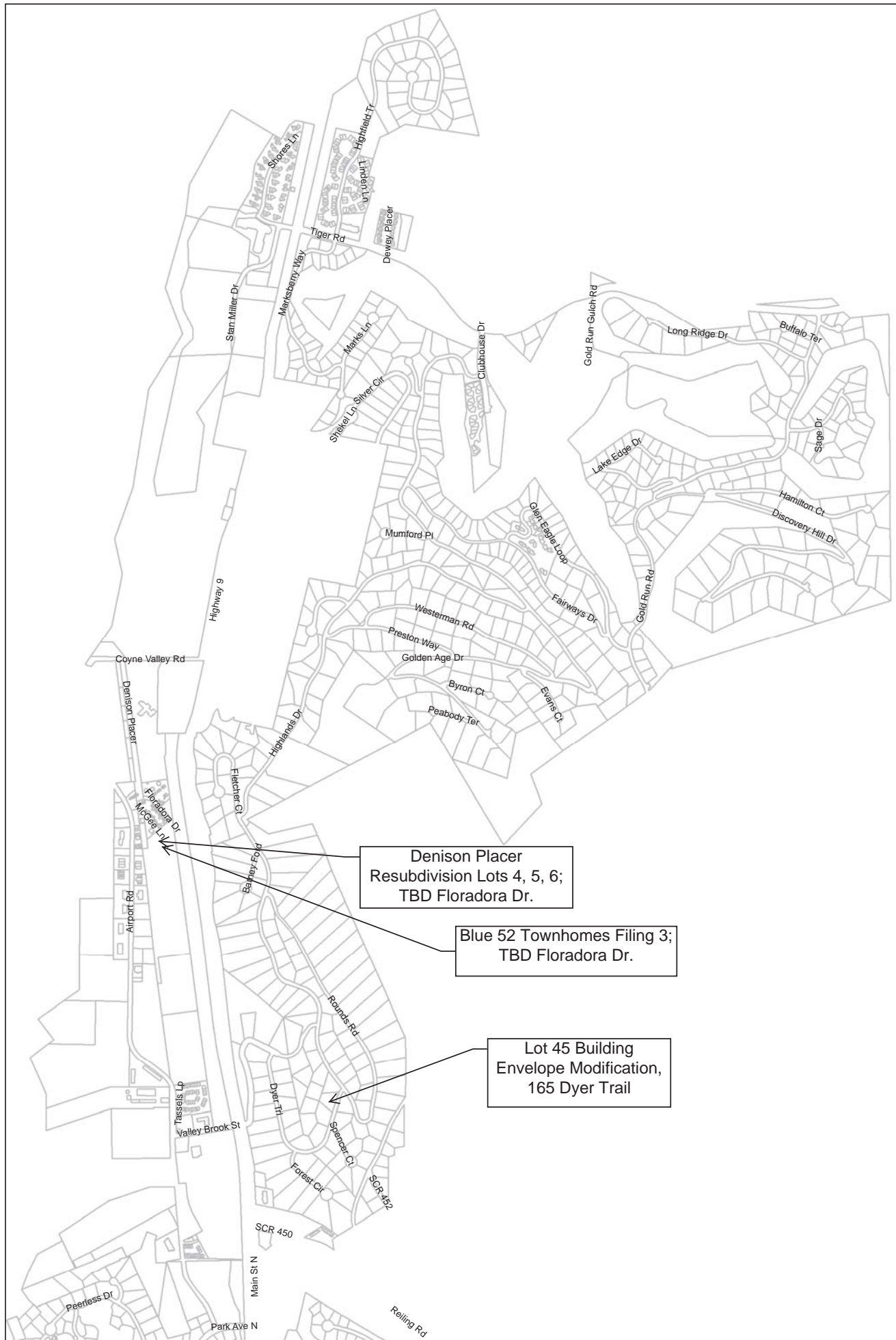
The Subdivision Code indicates that the decision of the Director on Class C Subdivisions shall be forwarded to the Planning Commission:

“D4. Decision Forwarded to Planning Commission: All of the director's decisions on class C subdivision applications which are not appealed shall be forwarded to the planning commission for its information only”.

As a result, we have included a list of the Class C Subdivisions that have been approved since you were last updated in April 2018. If you have any questions about these applications, or the review process, we would be happy to answer. Otherwise, no discussion on this matter is required.

Permit #	Project Name	Address	Description	Approval Date	Planner
PL-2018-0121	Lincoln Park Block 3 Lot 6	11, 15 Placer Green	Resubdivision to create two lots for duplex	May 22, 2018	Chapin LaChance
PL-2018-0122	Lincoln Park Block 3 Lot 7	33, 39 Placer Green	Resubdivision to create two lots for duplex	May 22, 2018	Chapin LaChance
PL-2018-0178	Denison Placer Resubdivision Lots 4, 5, 6	TBD Floradora Dr.	Resubdivide lots 4, 5, and 6 to create 4 new lots.	June 1, 2018	Chapin LaChance

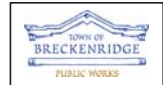
PL-2018-0179	Blue 52 Townhomes Filing 2	TBD Floradora Dr.	Resubdivide Lot 5 into 35 townhome lots and common element.	June 1, 2018	Chapin LaChance
PL-2018-0167	Shock Hill Filing 3	TBD West Point Lode	Subdivide Tract A to identify Lots 1, 2, 9, 10	June 11, 2018	Chris Kulick
PL-2018-0204	Lot 45 Building Envelope Modification	165 Dyer Trail	Change lot lines for a larger disturbance envelope	June 18, 2018	Chris Kulick



Denison Placer
Resubdivision Lots 4, 5, 6;
TBD Floradora Dr.

Blue 52 Townhomes Filing 3;
TBD Floradora Dr.

Lot 45 Building
Envelope Modification,
165 Dyer Trail



Breckenridge North



Shock Hill Filing 3, TBD
West Point Lode



Lincoln Park Block 3 Lot
6; 11, 15 Placer Green

Lincoln Park Block 3 Lot
7; 33, 39 Placer Green



Breckenridge South





TOWN OF BRECKENRIDGE TOWN COUNCIL

Summary of the July 10 Meeting



Coffee Talk & Mountain Bike Ride Friday, July 13

Join the Mayor of Breckenridge, Eric Mamula, members of the Town Council and Town Manager Rick Holman for an informal gathering to talk one-on-one about current town issues and happenings over iced coffee & donuts at the **B&B Trailhead** at 8:00 a.m. Followed by a Mountain Bike Ride with the Mayor at 9:00 a.m.

If you have questions, please call 970-547-3166. There may be three (3) or more Breckenridge Town Council Members at this meeting.

You can help protect Breck by refraining from ALL campfires, outdoor smoking, and fireworks.



Welcome to the Town of Breckenridge's newsletter summarizing our latest Town Council Meeting. Our goal is to get the best information to our citizens about what happens during Town Council. Please provide us with feedback on how we can best serve you. We hope to see you at the meetings.

Manager's Report

Public Projects

- **River Park:** The Phase 1 improvements are scheduled to be completed in fall 2018, while Phase 2 is scheduled for summer 2020 (pending a GOCO grant). Construction is expected to have minimal

impacts to vehicle and pedestrian traffic. The pedestrian bridge across the Blue River has been completed and is currently open to rec path and trail users.

- **Broadband:** Foresite group is preparing for a meeting with staff and Council representatives on July 18. They will update us on the business/implementation plan progress as well as how survey feedback has been incorporated. We are still on track for an August presentation to the entire Council at work session.

Parking and Transportation

- Design is underway on the new bus storage barn to be located at the Public Works campus. The building will provide storage for 6 buses as well as charging stations for new electric buses. Staff is working with Xcel to determine the total number of charging stations that can be accommodated.
- June ridership is up 21.5% over last June with 60,635 passengers. Year to date is up 4.8% compared to 2017. Trolley numbers are up over 2017 due to the addition of a second Trolley route.

Housing & Childcare

- **Town Council Childcare 2017 objectives:** Initiate an update to our needs assessment to study the current and future levels of demand and supply. Maintain and enhance the childcare tuition assistance program by ensuring adequate financial assistance is being provided to families that are cost burdened. Collaborate with childcare centers to identify and implement best practices in the areas of center operations, fiscal management, and quality of care. Coordinate a public education campaign on the benefits of early learning. Expand the capacity at Carriage House to add 8 new infant/toddler spots and remodel the interior of the school. Implement a Teacher Development & Retention Program with minimum starting wages and increase base wages for experienced teachers at our partner schools. Identify a sustainable funding model for child care Centers.

The Town held the lottery for the **Blue52 units** and all 35 units have been placed under contract. Town is working with CMC on the sale of the Denison Commons units.

Other Presentations

Ice Arena Locker Room Addition Feasibility Study

- Staff seeks Council's consideration of a potential 2019 CIP expenditure of \$75,000 to evaluate the need, feasibility, preliminary design, and cost estimate for a locker room addition to the Stephen C.

West Ice Arena. The potential addition would be designed to address two primary needs: new lockers rooms to accommodate the growing use at the Ice Arena and administrative offices for Summit Youth Hockey.

- Council agrees that the locker room addition is necessary and agrees to the additional funds. They would like to move as quickly as possible.

Electric Bus Acquisition

- This past spring Town demoed a 40' electric bus from Proterra with favorable results. Proterra is currently one of the main manufacturers of electric buses in the U.S. Staff additionally partnered with Proterra on a recent federal grant application for two (2) electric buses. Staff anticipates the notification of funding late fall. Due to the competitive nature of these grants, there are limited funds available. Staff wanted to seek Town Council approval to continue our efforts for the purchase or lease of electric buses.
- There is interest in leasing the batteries or charging stations. The completion of the necessary bus burn and the acquisition of electric buses would not happen until Spring 2019. The staff has initiated the grant funding process for support with this project.

5 Year CIP Review

- The projected total reserve balance has decreased to \$1,545,550 so council discussed the timing and reorganization of several projects. Projects can be removed from the CIP, projects can be moved beyond the 3-year horizon to reduce the capital reserve, or projects can be moved to the "B-List" and only be completed if projected revenues exceed budget.

Ironman & Breck Epic Discussions

- Mike McCormack shared a statement with the council that thanked them for the process and shared the conservation concerns of the Town. "This is about where we go from here and what is good for the Town of Breckenridge. I am concerned with whether this is who we are or not. In the meantime, I am going to say no to Ironman and come back with something different in a few weeks. I want to follow my moral north star. Our trail conservation is important, and sometimes limiting growth is a good thing. I think the right thing is to take a pass right now."

Regular Council Meeting

Legislative Review

- **BGV Development Agreement (Second Reading):** The Town Council received a new Development Agreement request for the property located at 1599 Ski Hill Road, known as the Breckenridge Ski Resort Administration Property which is the last development parcel in the Peak 7 & 8 Master Plan. • All approved temporary structures shall be removed not later than the first to occur of: (i) the end of 60 days after the issuance of any final certificate of occupancy for the Proposed Development, or (ii) 7 years after the date of initial substantial construction (as defined in the Town Code) of the Proposed Development. • The applicants are now being credited, as a public benefit, for only the amount of deed-restricted employee housing beyond which the proposed development is gaining positive points under Policy 24/R during the Development Permit review (x SF). • The environmental improvement fund, dedicated to drainage and similar protection improvements in Cucumber Gulch will be funded by a fee of \$2.00 per paid room night of hotel room rentals, for a period of twenty (20) years from the date, a certificate of occupancy is issued for the hotel component of the Proposed Development. **Passed 7-0**
- **TDR Ordinance (Second Reading):** At the June 5 Council work session, the Council agreed to amend the ratio for Transfer of Development Rights (TDR) for affordable housing projects. The new ratio will require that one unit of density owned by the Town be transferred/extinguished for every two units of affordable housing constructed (1:2 ratio). Attached is the first reading ordinance that will amend the Development Code provisions regarding the ratio. **Passed 5-2**
- **2017 National Electrical Code Adoption (First Reading):** The Town is currently operating under the 2014 National Electrical Code (NEC). The 2017 NEC has now been released. Building Division staff have analyzed the 2017 NEC and is suggesting adoption. **Passed 7-0.**
- **Water Efficiency Plan Resolution:** The following water efficiency plans were developed in accordance with the State of Colorado's Municipal Water Efficiency Plan Guidance Document and was funded in part through a CWCB Water Conservation Planning grant. The Town's individual plan was developed in coordination with the Blue River Watershed regional water efficiency plan through a partnership that included two non-profit organizations, four municipal water providers, and more than 30 engaged stakeholders. This water efficiency plan serves to describe the Town's history of water saving activities and future plans. The Town also seeks to leverage regional partnerships to effect change and encourage all residents and visitors to reduce water use. Adoption of these plans will allow the Town of Breckenridge to be eligible for future water efficiency implementation and infrastructure state funding. **Passed 7-0.**

Other Matters

- **Change in Stage 2 Fire Ban:** Please find the [Mayoral declaration declaring that conditions of extreme fire hazard exist within the Town of Breckenridge and imposing temporary restrictions to reduce the chance of wildfire.](#) This includes a declaration of fire hazard emergency as well as an update to the Stage 2 restrictions. The main changes include restrictions on **selling, or offering for sale, any firewood or charcoal and disposing out of doors any burning object, including without limitation cigarettes, cigars, or matches.**
-