



TOWN OF  
**BRECKENRIDGE**

**Planning Commission Meeting Agenda**

Tuesday, February 20, 2018, 5:30 PM

Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

**5:30pm - Call to Order of the February 20, 2018 Planning Commission Meeting; 5:30 pm Roll Call**

*Location Map* 2

*Approval of Minutes* 4

*Approval of Agenda*

**5:35pm - Public Comment On Historic Preservation Issues (Non-Agenda Items ONLY; 3-Minute Limit Please)**

**5:40pm - Work Sessions**

1. Lot 45 Highlands Filing 2 Building Envelope Modification (CK), PL-2018-0015, 165 Dyer Tr. 10

2. Ten Mile Room (JL), PL-2018-0023; 505 S. Park Ave. 16

**6:45pm - Consent Calendar**

1. Briar Rose Addition and Accessory Apartment (CL), PL-2018-0021, 213 Briar Rose Lane 26

**6:50pm - Town Council Report**

**7:00pm - Final Hearings**

1. Hilliard House, Restoration, Addition and Landmarking (CK) PL-2017-0297, 110 S. Ridge St. 52

**7:30pm - Combined Hearings**

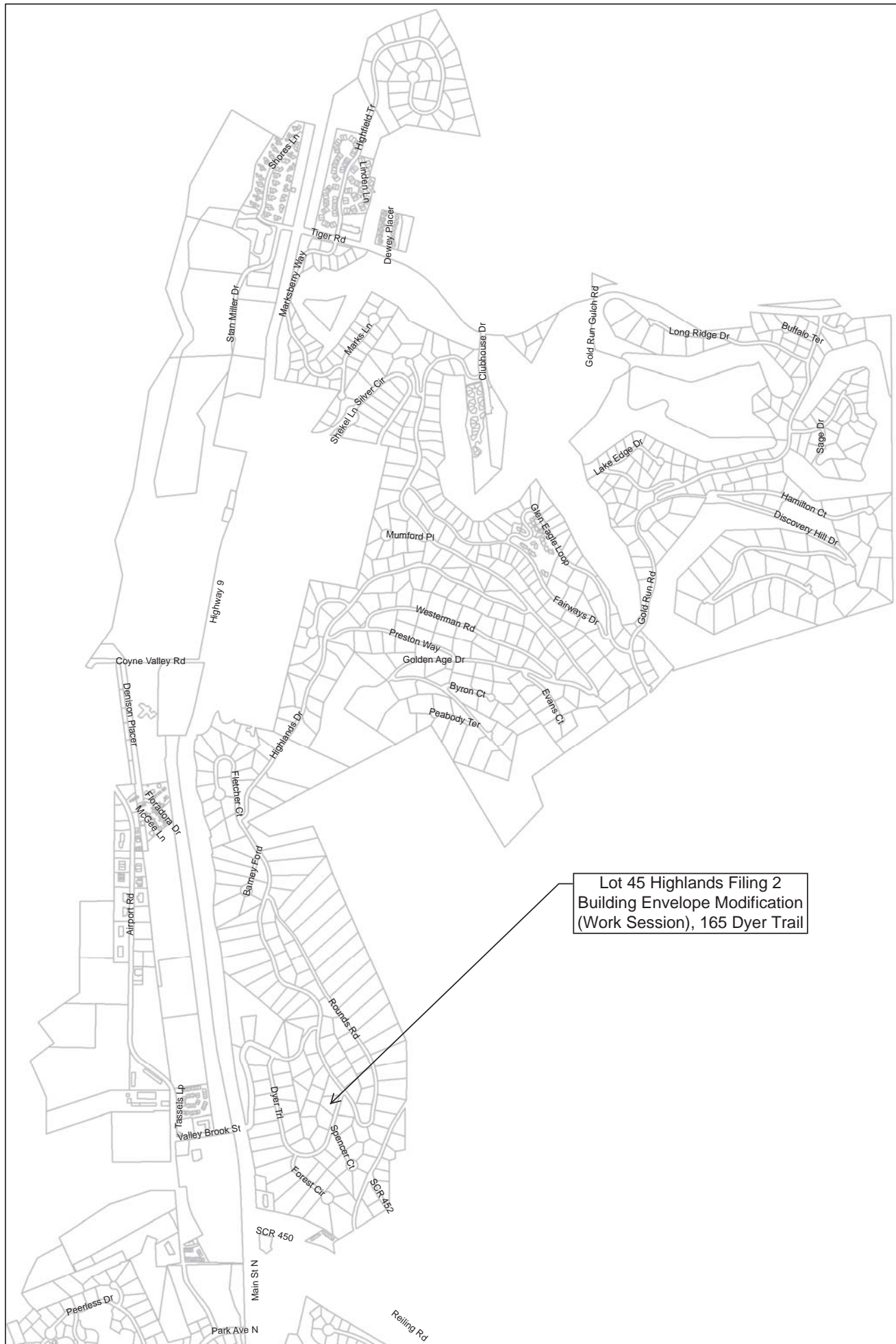
1. Verizon Wireless Communication Facility (CL) PL-2017-0689; 305 S. Ridge St. **(Requested by applicant to be continued to future meeting, date to be determined.)** 86

**Other Matters**

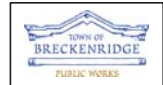
**8:00pm - Adjournment**

**For further information, please contact the Planning Department at (970) 453-3160.**

**The indicated times are intended only to be used as guides. The order of the projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**

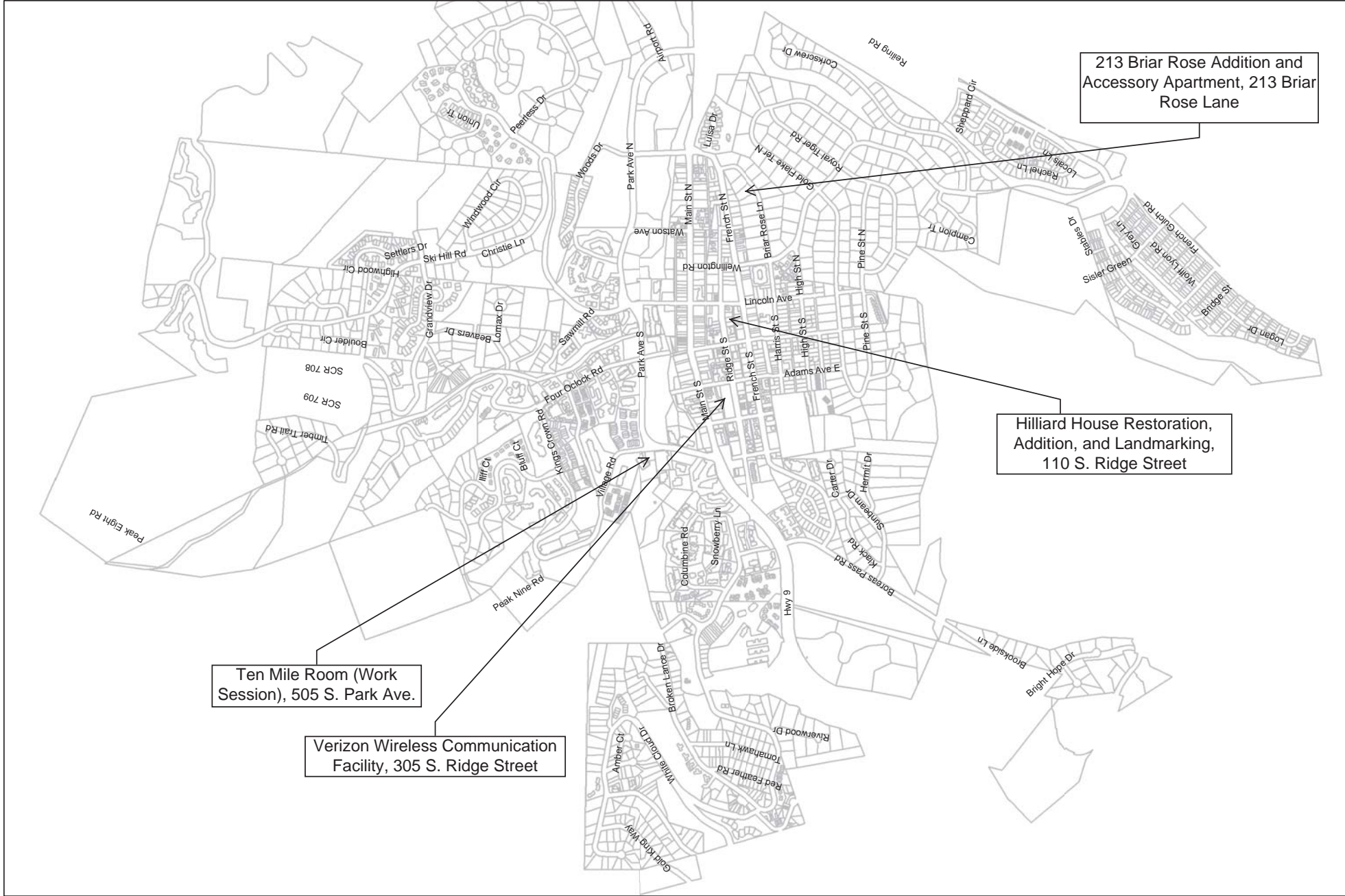


Lot 45 Highlands Filing 2  
 Building Envelope Modification  
 (Work Session), 165 Dyer Trail



Breckenridge North





Ten Mile Room (Work Session), 505 S. Park Ave.

Verizon Wireless Communication Facility, 305 S. Ridge Street

Hilliard House Restoration, Addition, and Landmarking, 110 S. Ridge Street

213 Briar Rose Addition and Accessory Apartment, 213 Briar Rose Lane



**Breckenridge South**



## PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 pm by Chair Mathews-Leidal.

### ROLL CALL

Christie Mathews-Leidal	Jim Lamb	Ron Schuman
Mike Giller	Steve Gerard	
Dan Schroder	Gretchen Dudney	

### APPROVAL OF MINUTES

The January 16, 2018 Planning Commission Minutes were approved with the change below.

Mr. Schuman - page 6 item #3 should read: I do not support the parking reduction. The town didn't have regulated parking at that time and the Marriott had a different business model and communication plan with their customers.

### APPROVAL OF AGENDA

With no changes, the January 30, 2018 Planning Commission Agenda was approved.

### PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- No Comments

### CONSENT CALENDAR:

1. McCormick Residence Addition (JL), PL-2018-0002; 121 Royal Tiger Rd. (expiration date corrected)
2. Gold Pan Bar and Restaurant Restoration and Addition Point Analysis Modification (CL), PL-2018-0013; 103 N. Main Street (point spreadsheet line item noted)
3. Cirioli Residence Addition (CL), PL-2017-0687; 82 Sunbeam Drive

With no requests for call up, the Consent Calendar was approved as presented.

### TOWN COUNCIL REPORT:

Mr. Grosshuesch gave a report on the January 23<sup>rd</sup> Town Council Meeting:

- The development agreement for the Lionheart hotel was reviewed. Council continued the request and asked the applicant to come back and provide more information.
- Miller Annexation Agreement Amendment was approved. This would allow for a temporary batch plant (10 years).
- Approved a proposal to conduct a study on bringing broadband to Breckenridge. The broadband upgrade would improve the current speed tremendously and allow for unlimited service providers. Installation would include a combination of micro trenching and boring.
- Reviewed the Block 11 housing project next phase which includes both rental and for sale units. The Council supported an additional (3<sup>rd</sup> phase) concept which included both residential and commercial space although more details need to be provided to determine if feasible.
- Short-term rentals were briefly discussed and will come back as a full discussion topic at the Town Council Spring retreat.
- An MOU with Xcel Energy was approved. This establishes a working partnership between the Town and Xcel to work toward the Town's recently adopted 2025 and 2035 100% renewable energy goals.
- Council denied a request to amend or grant a waiver to a historic structure in the 300 block of North Main Street within the Downtown Overlay Commercial Use District. Request was for a change from commercial to residential within the first 40 feet of the property, District still in tact.
- Changes to the resale calculations for Lincoln Park were approved.

- Council will consider a resolution increasing TDR prices for the Upper Blue Planning Basin at their meeting next week, supported an increase.

**COMBINED HEARINGS:**

1. Verizon Wireless Communication Facility (CL), PL-2017-0689; 305 S. Ridge Street

Mr. LaChance presented a proposal to install a wireless communication facility, which includes screened antennas on the existing building's roof, equipment in the existing parking garage, and associated cables and conduit.

*Commissioner Questions / Comments:*

- Ms. Leidal: Informed Commissioners that she was contacted via email by a concerned citizen regarding this application. Since this is a pending application before the Planning Commission, and thus concerns about ex parte contact with the Planning Commission members, she referred the citizen to Chapin LaChance, the staff planner, to obtain the staff report that provides details on the application, and to ask him questions about the project, and that he would also let them know how to provide formal public comment for the project. Did not discuss the citizens concerns with them and do not know what they are. (No Commissioners were concerned with the email)
- Ms. Leidal: Regarding the two parking spaces, will they be accessible? (Mr. LaChance: Yes. The parking will be available.)
- Mr. Giller: Did the applicant consider a micro tower? (Mr. LaChance: I will let the applicant address that.) Regarding collocation with other facilities, what does that mean? (Mr. LaChance: Future proposals would be reviewed on a case by case basis by the Commission.) What does Policy 50 say about towers in the historic district? (Mr. LaChance: Referred to Policy 50. Wall mounted are preferred. Should be on existing building and structures, collocated, must demonstrate they don't have coverage. Meet four criteria: significant gap, least visually intrusive to enclose the gap, no feasible alternative exists to close gap, the provider's existing WCFs lack the capacity to service the wireless users except by the installation of one or more WCF sites in the otherwise restricted locations.)
- Ms. Puester: In regards to collocation, we would prefer the location to be available for collocation in the future so there would be less facility locations in town. Also, in the conservation district, wall mounted is the preference. We asked applicant to discuss this in their presentation.
- Mr. Schuman: Some people in the audience might feel this has been pushed through. Can you explain the timing that we have to abide by? (Mr. LaChance: We have until early May to approve or deny the project, per federal requirements-the "shot clock" timing.) Is this Verizon's 3<sup>rd</sup> facility in town? (Mr. LaChance: I believe so.)

Applicant, Kristen Cowen with Black and Veatch, on behalf of Verizon: The location was chosen after exhausting other options to close the gap. Collocating with existing facility would interfere with the Cucumber Gulch facility (rec center ball field). Meets town requirements and property owner was willing to work with us. More carriers can collocate at this location. In the future, if another provider wanted to collocate here, they could expand screened area to include other carriers. The increase would depend on what the other carrier wanted, they all have different requirements. Possible making the screened area twice as long.

Bryan Eicens, Verizon Wireless Radio Frequency (RF) Engineer: We looked at small cells as an option. At Snowberry location (the Village), we are maxed out. This site would off load. Small cells would not work for this application to offload Snowberry. (Mr. Schuman: Can they [other providers] collocate in the mechanical room with you here within the existing the garage?) Mr. Eicens: They would do a study because we have distance requirements to meet so that there is no interference, just depends on the specifics of their future application. (Ms. Puester: Can you speak to the wall mounting preference?) Mr. Eicens: If wall mounted, we would lose height. We need to skew the antenna on the wall to make the asmuths work and it will stand out at an

odd angle. It would not be the best design. The wall mounted and roof edge mounts that we previously proposed were not preferred by staff because of appearances and don't blame that, not best design. (Ms. Puester: Can you talk about the 1,500 foot distance requirement?) This new site would pick up capacity. This site maintains line of site with Snowberry location, which is needed. All the traffic is in downtown and we need to solve that.

Ms. Dudney: When would this facility be up and running?

Ms. Cowan, Applicant: Zoning approvals, building permits, federal permits will take a couple months. Looking at early summer.

#### Public Comment

Maureen Nichols, 302 S. Ridge St. & 304 S. Ridge St.: Years ago I fell in love with Breckenridge. I first lived on Ridge Street, then across from the post office. The first heartbreaker was the construction of the post office. There was a recycle center there and it was quite progressive at the time, mid 1970's. We have dealt with the post office parking and traffic. I don't want to deal with radiation, property value decrease, and other problems the antennas can cause. It can be quite a lot of radiation. In my studies, I read that you don't want a cell phone tower near you. This is near the grocery store, the post office, the elementary school. Now I am a Ridge Street rowdy I guess. I spend a lot of town outside and the radiation will blow my way with the typical wind direction. Property values will also go down in the neighborhood. We have a wonderful historic district and I worked hard with the historical society and planning commission and have done lots of work to preserve the history here, all the photos I have. I hope that the planning commission does not accept this proposal tonight. There are a lot of articles about radiation that you should read. Please preserve our town. Other places around the country don't even allow for wireless facilities.

Ms. Puester: Planning Commissioners, I need to remind you that any regulation regarding radiation is outside of town staff and Planning Commission jurisdiction. That is FCC regulated and the applicant will have to follow and meet the federal requirements. Stick to code issues.

Cornelius Milmo, 84 Broken Lance Drive: I am not representing anyone here tonight but speaking for hundreds of people who did not know this project was being reviewed. There was limited notice about the project. Disappointed the community did not know more about this. I have a lot of questions about the criteria and regulations for the project. I understand the importance of the historic district and am here to urge you to slow down a bit and make sure you get it right. I understand that application came in mid to end of December and its before you already. Let's make sure this is the best site for the facilities. I urge you to take your time and satisfy yourself that this is the right part of town. Collocation will grow the impact. Once you approve here, hard to deny another provider here. I don't understand the technicalities but I want to know that you do understand and agree that this is the best site. The Telecommunications Act does not forbid you from doing your job. In regard to health and safety, you can't base a decision on radiofrequency but you don't have to ignore them. There is nothing wrong with you thinking about this when deciding on the location. What would the alternative locations be?

Mr. Schuman: Can the applicant talk a little more about the radiation?

Mr. LaChance: The Town Attorney advised that the Planning Commission cannot talk about radiation.

Applicant Kristen Cowen with Black and Veatch, Verizon representative: Here are handouts from Verizon on health and safety and property values. 52% of household use wireless. Wireless is a major factor for home buyer. Residences rely on wireless to reach 911. We find that cellular facilities do not decrease home values. Verizon meets all FCC regulation for safety and monitoring.

Mr. Lamb: I know there are people who think we are rushing this. I don't think we are. The towers are all

- over town already. It is sorely needed. I support.
- Mr. Giller: I support Policy 50 and wireless service. But this doesn't meet criteria three, regarding "no feasible alternative exists to close the significant gap." There are other areas outside of Conservation District that this could go. This is an erosion of the Historic District. It is a convenience to Verizon to find a willing renter.
- Mr. Gerard: Concerned about 1,500 foot criteria for separation and the precedent that will be established. Collocation is a concern for the area. My preference is to continue this hearing.
- Mr. Schroeder: There is definitely a need for wireless connection in this community and our everyday life. We are a wireless driven society. It is difficult when service is weak and the need is going to grow as our visitors increase; we will never have less visitors. We need to focus on the code and determine if it meets code. I am concerned about this in the historic district. This would could set precedence, another location? I do not support this application tonight.
- Mr. Schuman: The need is justified. The staff report is good and the point analysis is good. I support the application.
- Ms. Dudney: I support the application. I have reviewed 6 – 8 towers while on Commission and I think this is an easy one. Visibility is not an issue. I don't view as a degradation to the Historic District. I support.
- Ms. Leidal: I appreciate the needs for service and sympathize with the neighbor. I don't feel criteria three has been met and would support further review.

Mr. Gerard made a motion to continue the application, seconded by Mr. Giller.

- Ms. Dudney: Steve, what reasons are you looking for a continuance?
- Mr. Gerard: We should not set a precedent on Policy 50 without further review. I didn't review Policy 50 and don't have it in front of me. I don't want to set precedence for the 1,500 foot rule. I don't want to make a decision until I hear more about if the applicants looked at alternative locations and have met the four criteria.
- Mr. Schuman: You should have read the packet to familiarize yourself by now since you got it on Friday. You should have looked at the code.

Roll call to continue the application:

- Ms. Dudney: No  
Mr. Lamb: No  
Mr. Schuman: No  
Ms. Leidal: Yes  
Mr. Giller: Yes  
Mr. Schroder: Yes  
Mr. Gerard: Yes

Motion passes for continuance, of the Verizon Wireless Communications Facility, located at 305 S. Ridge Street, PL-2017-0689, with a vote of 4-3.

2. 7<sup>th</sup> Amendment to Peaks 7&8 Master Plan/Density Transfer (CK), PL-2017-0697, 1599 and 1891 Ski Hill Rd.

Mr. Kulick presented a proposal to amend the Peak 7&8 Master Plan by transferring 3.2 SFEs of Guest Services Facilities density from the Peak 8 Base Area to the Peak 7 Base Area, with the intent of using that density to convert the vacant general common element space on the lower level of the Crystal Peak Lodge into administration offices.

Kevin Hopkins, Vail Resorts Development Company did not have anything to add.

*Commissioner Questions / Comments:*

No Comments and the hearing was closed.

A motion to approve was made by Mr. Gerard, seconded by Mr. Schuman. The motion passed unanimously.

3. Stan Miller Master Plan Fourth Amendment (CK), PL-2018-0014; 13541 CO Hwy 9

Mr. Kulick presented a proposal to modify the existing Amended Miller Master Plan Parcels A, B, & E to allow industrial uses through the year 2027.

*Commissioner Questions / Comments:*

Mr. Schroder: Will the point analysis carry over for the site plan review of the batch plant? Will we start again with +5 points? (Mr. Kulick: No, this point analysis is related to the Master Plan only. The development permit review for a site plan is separate.)

Public Comment:

John Brownson, owner of Breckenridge Building Center (BBC), 13445 Highway 9: Stan Miller are great neighbors with the BBC. We are wondering if there is a general idea of where the plant will be located. (Mr. Kulick: Showed the location on the plans.) Will it interfere with the Stan Miller Drive? (Mr. Kulick: No)

Mr. Schroder: Is there a limited duration? (Mr. Kulick: Yes, industrial uses are limited until December 31, 2027 per the Annexation Agreement modification.)

Ms. Leidal: Will the limited duration be stated in the Master Plan? (Mr. Kulick: Yes.)

Mr. Lamb made a motion to approve, seconded by Mr. Schuman. The motion passed unanimously.

**TOWN PROJECT HEARINGS:**

1. River Park (JL), PL-2018-0012; 470 Floradora Drive

Mr. Lott presented a proposal to construct a new park at 470 Floradora Drive, on Block 11, adjacent to the Blue 52 neighborhood. The proposed park will include a pavilion with restrooms, a variety of recreational amenities, and a connection to the Blue River Recreation Path. Chris McGinnis, Civil Engineer with the Public Works Department, was available to answer questions as well.

*Commissioner Questions / Comments:*

Mr. Schuman: When do you anticipate this being built? (Mr. McGinnis: Phase one would begin in April, phase 2 would be scheduled for 2020.)

Mr. Schroder: Is the pedestrian bridge connection to the Rec Path included in phase 2? (Mr. McGinnis: No, it is phase 1.)

Public Comment:

No Comments and the hearing was closed.

Mr. Giller made a motion to approve, seconded by Mr. Schuman. The motion passed unanimously.

**OTHER MATTERS:**

No other matters.

**ADJOURNMENT:**

The meeting was adjourned at 7:16 pm.



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Christie Mathews-Leidal, Chair



# Memo

To: Planning Commission  
From: Chris Kulick, AICP, Planner III  
Date: 2/6/2018  
Subject: Lot 45, Highlands at Breckenridge, Filing 2, Building Envelope Modification Work Session (165 Dyer Trail; PL-2018-0015)

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## **PROPOSAL:**

The owners requested an increase to the size of their building envelope for their property at 165 Dyer Trail. The applicants have requested this modification because the original building envelope was designed to avoid a wetland delineation created at the time the subdivision was platted in 1995. The wetland delineation was resurveyed in 2016 and now shows a much smaller area which has been approved by the Army Corps of Engineers. The lot is 1.03 acres and has an existing building envelope of 5,728 sq. ft. The proposed building envelope is 8,813 sq. ft.

The purpose of the work session is to get input from the Planning Commission to determine if the Commission is comfortable with increasing the size of the building envelope. The applicants reasoning is that according to the updated wetland delineation, the wetlands have decreased in size on the lot. Further, the size of neighboring building envelopes are much larger than the envelope on this lot and without the large wetlands which previously existed, there is no reason to keep the envelope smaller than the adjacent envelopes in the subdivision.

## **POLICY DISCUSSION:**

### **9-2-4-5: LOT DIMENSIONS, IMPROVEMENTS AND CONFIGURATION:**

#### **C. Lot Dimensions and Standards:**

**Policy:** Below is an excerpt from the *LOT DIMENSIONS, IMPROVEMENTS AND CONFIGURATION* section of the subdivision standards in the Town Code which addresses site disturbance envelopes.

*7. The following standards shall apply to site disturbance envelopes:*

*a. Site disturbance envelopes shall be platted for all residential lots at the time of subdivision.*

*b. Outside of the conservation district, a site disturbance envelope shall be located on a lot in a manner which complies with the following minimum setbacks:*

*(1) Front yard: Twenty five feet (25').*

*(2) Rear yard: Fifteen feet (15').*

*(3) Side yard: Fifteen feet (15'), with combined side yard setbacks on each lot equaling a minimum of fifty feet (50').*

*Site disturbance envelopes shall be located away from significant ridgelines and hillsides.*

*c. In addition to the minimum requirements which will be established through subsection C7b of this section, the location of a site disturbance envelope shall also take into consideration: 1) the topography of the lot; 2) wetlands or water bodies on or adjacent to the lot, if any; 3) the vegetation, geology, hydrology, and/or historic resources of the lot; 4) any ridgelines or hillsides on the lot visible from an area of concern; and 5) significant trees which will effectively screen future development when viewed from an area of concern. Particular attention shall be given to trees on the downhill side of a site disturbance envelope.*

Section 9-2-4-5 of the Town Code requires large lot single-family lots, such as lot 45, to have a platted disturbance envelope that protects significant environmental features and have minimum setbacks. Section 9-2-4-5 does not specifically address modifications to existing envelopes. Previously the Town has modified building and disturbance envelopes at the owner's request when the size envelope size does not increase and there is no increased environmental degradation or vegetative loss on the site. Staff is not aware of any instance where a platted building or disturbance envelope has been allowed to increase in size.

The applicants contend this case is unique because the existing building envelope was platted based on a wetland delineation that has been redrawn and is supported by a jurisdictional determination by the Army Corps of Engineers (please see attached). Staff spoke with Steve Viert of Cedar Creek Associates and questioned why the wetland area decreased. He stated he did not know specifically why this wetland decreased in size but he pointed out the margins of wetlands are affected by wet and dry periods. He stated the Army Corps of Engineers ultimately has the final call on wetland delineation. It is our normal practice to defer to the Corps' rulings regarding wetlands delineations, so staff is comfortable with the recent delineation.

Beyond the redrawn delineation, the applicants further contend their current building envelope is considerably smaller than other building envelopes in the Highlands at Breckenridge, Filing 2. Envelopes in Filing 2 range from 10,250 sq. ft. to 28,860 sq. ft. At 8,813 sq. ft., the proposed envelope would still remain the smallest building envelope in Filing 2 (please see attached).

#### **PLANNING COMMISSION QUESTIONS**

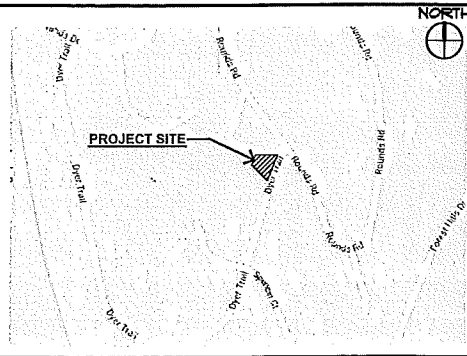
Staff is generally supportive of this request and would like Planning Commission input on the specific policy questions and would also look for any additional code related comments or concerns before this project is reviewed through the Class C Subdivision (staff level) process.

1. Based on the mitigating factors provided, does the Commission support increasing the size of this proposal's building envelope?
2. 3. Does the Commission have any additional comments on the proposal?

**GENERAL NOTES**

- 1) **COPYRIGHT:**  
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, AIA/AP/C, and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) **CODES:**  
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and subcontractors shall be responsible for identifying all applicable codes and obtaining all permits and required approvals.
- 3) **FIELD VERIFICATION:**  
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) **DEVELOPMENT PERMIT:**  
The Town of Breckenridge will provide project approval. A copy of the permit approval may be obtained from the Architect. All conditions outlined in the permit shall be followed.

**VICINITY MAP**



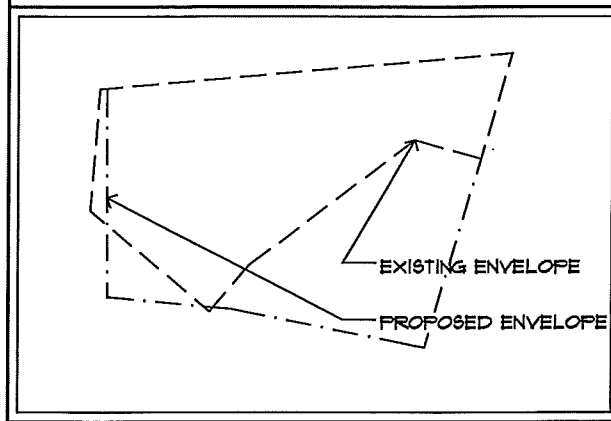
**LEGAL DESCRIPTION**

168 DYER TRAIL  
LOT 45 FILING 2, HIGHLANDS  
BRECKENRIDGE, COLORADO

**SITE NOTES**

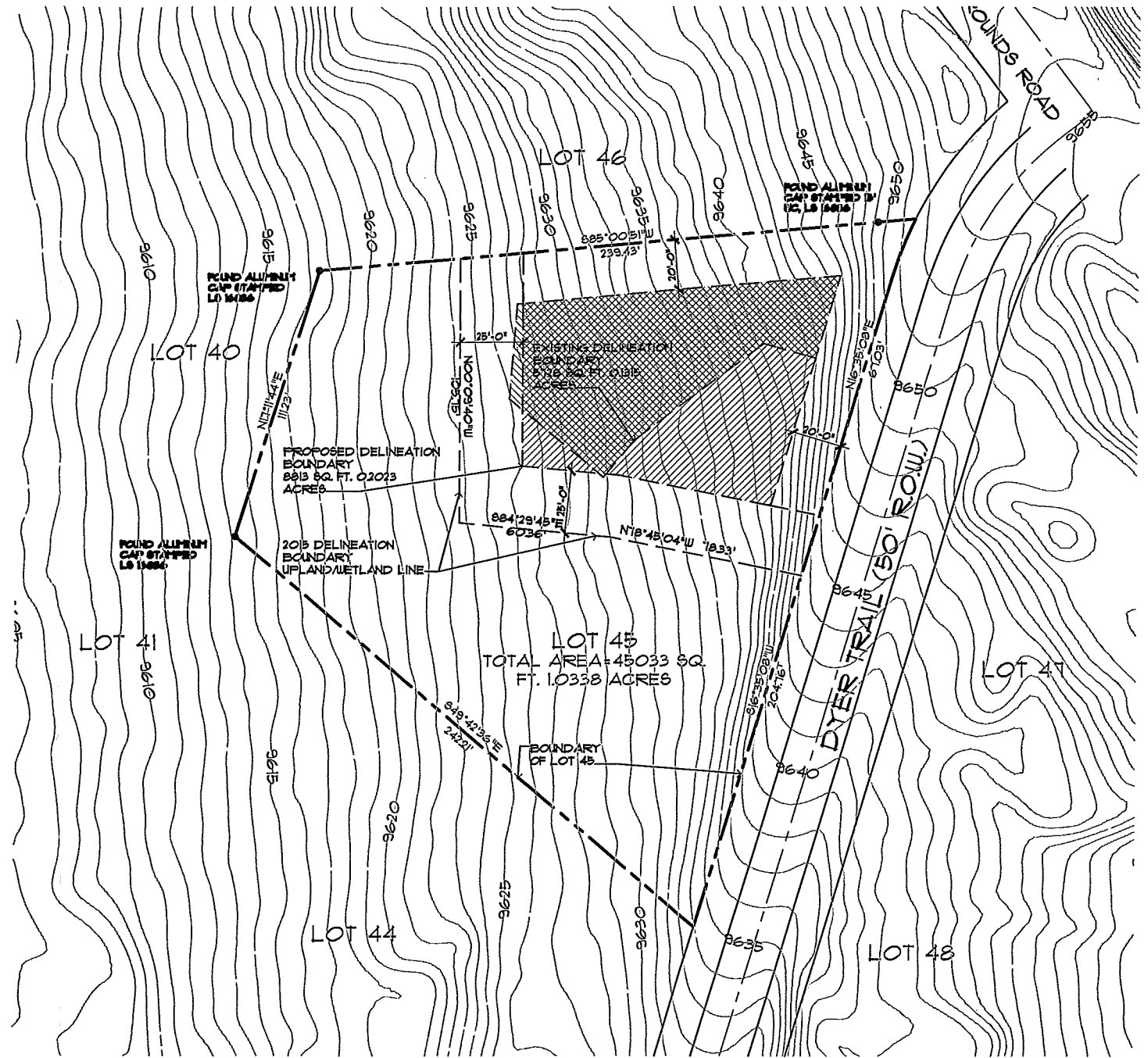
1. TOPOGRAPHIC INFORMATION OBTAINED FROM BASELINE SURVEYS, LLC.
2. CONFORMANCE WITH ALL SUBDIVISION REQUIREMENTS AND CONDITIONS IS REQUIRED. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT.
3. UPLAND/WETLANDS DELINEATION HAS BEEN PROVIDED BY CEDAR CREEK ASSOCIATES, INC. APPROVAL OF THIS DELINEATION HAS BEEN PROVIDED BY DEPARTMENT OF THE ARMY, U.S. ARMY CORPS OF ENGINEERS, SACRAMENTO DISTRICT. SEE LETTER DATED 8-31-16

**ENVELOPE COMPARISON**



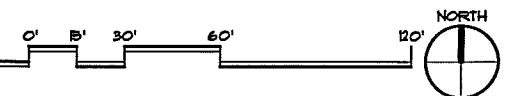
# LOT 45, FILING 2

## PROPOSED BUILDING ENVELOPE MODIFICATION



**SITE PLAN**

SCALE: 1" = 30'-0"



WETLAND CONSULTANT:	SURVEYOR:	ARCHITECT:	OWNER:
STEVE LONG CEDAR CREEK ASSOCIATES, INC. 916 WILLIAMS AVE. FORT COLLINS, CO 80521 (970) 483-4384 slong@centurylink.net	Baseline Surveys, LLC 1841 CO. HWY 9 P. O. BOX 1916 BRECKENRIDGE, CO 80424 (970) 483-1188 baseline@baseline.com	BHH Partners, Planners and Architects 160 EAST ADAMS STREET P. O. BOX 931 BRECKENRIDGE, CO 80424 (970) 483-6880 shogens@bhhpartners.com	Mrs. and Mrs. RICHARD BAUDER P.O. BOX 194 BRECKENRIDGE, CO 80424 (970) 388-0794 paulbauer@coloradonet.net

REVISIONS:  
  
JOB NO:  
DATE:  
DRAWN BY:  
  
CHECKED BY:  
  
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BLDG ENVELOPE:  
12-27-17

**bhh Partners**  
P.O. BOX 931, 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 483-6880

**LOT 45 FILING 2 HIGHLANDS**

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SHEET NUMBER:  
**ONE**  
OF 1



**DEPARTMENT OF THE ARMY**  
U.S. ARMY CORPS OF ENGINEERS, SACRAMENTO DISTRICT  
1325 J STREET  
SACRAMENTO CA 95814-2922

August 31, 2016

Regulatory Division (SPK-2014-00667)

Attn: Richard and Marcia Bauder  
PO Box 194  
Breckenridge, Colorado 80424  
paulwbau@colorado.net

Dear Mr. and Ms. Bauder:

We are responding to your request for a preliminary jurisdictional determination (JD), in accordance with our Regulatory Guidance Letter (RGL) 08-02, for the Lot 45 - The Highlands at Breckenridge site. The approximately 1.05-acre project site is located at 165 Dyer Trail in Breckenridge, Latitude 39.382873°, Longitude -106.068998°, Section 30, Township 6 South, Range 77 West, Summit County, Colorado.

Based on available information, **we concur with the amount and location of wetlands and/or other water bodies on the site as depicted on the enclosed July 16, 2016 Wetland Delineation Loat 45 The Highlands at Breckenridge Filing No. 2, Town of Breckenridge, Summit County, Colorado drawing prepared by Baseline Surveys LLC, and the September 22, 2015 Wetlands Delineation Report prepared by Steve Long of Cedar Creek Associates, Inc.** The approximately 0.76 acre of wetlands present within the survey area are potential waters of the United States regulated under Section 404 of the Clean Water Act and/or Section 10 of the Rivers and Harbors Act.

We have enclosed a copy of the *Preliminary Jurisdictional Determination Form* for this site. Please sign and return a copy of the completed form to this office. Once we receive a copy of the form with your signature we can accept and process a Pre-Construction Notification or permit application for your proposed project.

You should not start any work in potentially jurisdictional waters of the United States unless you have Department of the Army permit authorization for the activity. You may request an approved JD for this site at any time prior to starting work within waters. In certain circumstances, as described in RGL 08-02, an approved JD may later be necessary.

You should provide a copy of this letter and notice to all other affected parties, including any individual who has an identifiable and substantial legal interest in the property.

This preliminary determination has been conducted to identify the potential limits of wetlands and other water bodies which may be subject to Corps of Engineers' jurisdiction for the particular site identified in this request. A Notification of Appeal Process and Request for Appeal form is enclosed to notify you of your options with this determination.

Based on the information you have provided, we have determined that a 0.29 acre upland building envelope exists on the site. Therefore, a Department of the Army Permit is not required for work within the upland building envelope. Measures should be taken to prevent construction materials and/or activities from entering any waters of the United States. Appropriate soil erosion and sediment controls should be implemented onsite to achieve this end.

Our disclaimer of jurisdiction is only for activities within the upland building envelope as it pertains to Section 404 of the Federal Clean Water Act and does not refer to, nor affect jurisdiction over any waters present on site. Other Federal, State, and local laws may apply to your activities. Therefore, in addition to contacting other Federal and local agencies, you should also contact state regulatory authorities to determine whether your activities may require other authorizations or permits.

We appreciate your feedback. At your earliest convenience, please tell us how we are doing by completing the customer survey on our website under *Customer Service Survey*.

Please refer to identification number SPK-2014-00667 in any correspondence concerning this project. If you have any questions, please contact me at our Grand Junction Regulatory Office, 400 Rood Avenue, Room 224, Grand Junction, Colorado 81501, by email at [Matthew.R.Montgomery@usace.army.mil](mailto:Matthew.R.Montgomery@usace.army.mil), or telephone at 970-243-1199 Ext. 1017. For more information regarding our program, please visit our website at [www.spk.usace.army.mil/Missions/Regulatory.aspx](http://www.spk.usace.army.mil/Missions/Regulatory.aspx).

Sincerely,

MONTGOMERY.MA  
TTHEW.RAY.12584  
92168

Digitally signed by  
MONTGOMERY.MATTHEW.RAY.1258492168  
DN: c=US, o=U.S. Government, ou=DoD,  
ou=PKI, ou=USA,  
cn=MONTGOMERY.MATTHEW.RAY.125849216  
8  
Date: 2016.08.31 15:40:13 -06'00'

Matthew Montgomery  
Senior Project Manager, CO West Branch  
Regulatory Division

Enclosures

1. PJD
2. NAP and RFA

cc: (w/o encl)

Ms. Lindsay Hirsh, Summit County Engineering, via email: [LindsayH@co.summit.co.us](mailto:LindsayH@co.summit.co.us)

Ms. Paula Stanton, via email: [stanton@colorado.net](mailto:stanton@colorado.net)

Lot 45 Highlands at Breckenridge Filing No. 2  
Building Envelope Comparisons  
12/27/2017  
Job # 11735.0

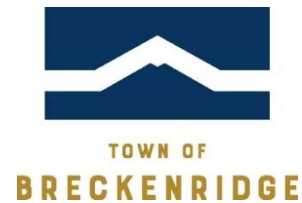
Lot 45 Original Envelope 5728 sq. ft.  
Lot 45 Proposed Envelope 8813 sq. ft.

Neighboring lot building envelopes approximates sizes:

Lot 33- 10,250 (e)	Lot 51- 25,605
Lot 34- 11,660 (e)	Lot 52- 15,101
Lot 35- 15,370 (e)	Lot 53- 16,255
Lot 36- 14,690 (e)	Lot 54- 22,690
Lot 37- 21,800	Lot 55- 21,545
Lot 38- 23,600	Lot 56- 23,688
Lot 39- 22,850	Lot 57- 20,888
Lot 40- 15,300 (e)	Lot 58- 25,686
Lot 41- 15,730 (e)	Lot 59- 23,242
Lot 42- 27,750	Lot 60- 22,688
Lot 43- 28,860	Lot 64- 18,022
Lot 44- 19,760 (e)	Lot 65- 22,400 (e)
Lot 46- 18,700	Lot 66- 25,080
Lot 47- 11,200	Lot 67- 12,155 (e)
Lot 48- 21,950	Lot 68- 13,258
Lot 49- 19,360	Lot 69- 20,005
Lot 50- 21,110	

Average Envelope Size: 19,167 (33 lots)  
See attached Exhibit E- Filing 2 Building Setbacks

e= envelope  
s= setback envelope



# Memo

To: Planning Commission  
From: Jeremy Lott, AICP, Planner II  
Date: February 16, 2018 (for the February 20, 2018 Planning Commission Meeting)  
Subject: Work Session: Ten Mile Conference Room  
(505 South Park Avenue; PL-2018-0023, Class A)

---

## **BACKGROUND:**

The Ten Mile Room was originally constructed as a cinema in 1972. The property is part of the Village at Breckenridge Master Plan, which was approved in 1984. In February of 1990, a Change of Use Development Permit was approved for the conversion of the structure to be repurposed as conference/meeting rooms. In January of 2017, the Ten Mile Conference Room collapsed due to a large amount of snow accumulating on the structure's roof. Patrick Fortner, Zehren and Associates, is designing a new structure at 505 South Park Avenue as a replacement conference room. The site area is the 12,430 sq. ft. vacant parcel between the Liftside and Chateaux Buildings, which are also a part of the Village at Breckenridge Master Plan. The proposal is for the construction of one building with a partial basement, connected to the Liftside Building, containing a total of 8,174 square feet of space to be used as conference event space.

The purpose of the work session is to get input from the Planning Commission on the general direction of the project and determine if you are comfortable with Staff's initial interpretation of policies. Staff has identified key components of the proposal and policies needing direction. The policies to be addressed are Density (3A/R), Height (6A/R), and Access/Circulation (16A/R). Policies related to parking are not being addressed at this time. Staff is still working with the applicant and property owner on this issue and it will be addressed at a future Planning Commission meeting.

## **POLICY DISCUSSION:**

The following policies are needing interpretation from the Planning Commission.

**Density (3/A & 3/R):** The Master Plan does not address a specific density or mass allotment for this property. This property is located within Land Use District (LUD) 23. The LUD 23 guidelines establish a 1:3 Floor Area Ratio (FAR), which would result in a maximum building of 4,143 square feet, based on the lot size of 12,430 square feet. The Ten Mile Conference Room reconstruction is proposed at 8,174 square feet. The previous structure was approximately 9,000 square feet, resulting in an 826 square foot reduction in density. The Town Attorney advised Staff on the proposal and indicated that he believed that the legal



effect of the Town's issuance of the 1990 development permit to change the use of the building was to recognize the density that was on the site at that time. He further suggested that the density proposed for the new building on the site be allowed because the proposed structure is smaller than the previous structure that was approved by the Town.

Staff would like feedback from the Planning Commission on the proposed density.

**Height (6/A & 6R):** The Master Plan does not address a specific allowed height for this property. The Land Use Guideline for this property states that "The determination of acceptable building heights will be made during the development review process, but generally, buildings in excess of two stories are discouraged." The Code defines the height of the first two stories as 13 feet each, which would result in a height of 26 feet for two stories. The tallest point of the proposed structure is 32 feet. The interior of the structure is one level above ground, but contains taller ceilings for the conference space. There is a lower level/basement, mostly underground, which contains a mechanical room, storage, and a hallway. The height of the structure is less than the adjacent Liftside (109.5 feet) and Chateau (50 feet) buildings. Staff has no concerns.

Does the Planning Commission agree that the height meets the intention of the Land Use Guidelines?

**Access/Circulation (16/A & 16/R):** This policy encourages the inclusion of a safe, efficient, and convenient pedestrian circulation system as well as a separation of pedestrians and vehicles. Additionally, Land Use Guideline #23 states under Pedestrian Circulation "An improved and expanded system is desirable to accommodate existing and anticipated pedestrian activity. Specific consideration should be given to the movement of pedestrians from F Lot to both the ski base facilities and to District 19." The Ten Mile Conference Room proposal includes a separated sidewalk for pedestrian access, along the western property line. The pathway crosses the entire lot and connects from Village Road to the southern property line and could eventually connect to the ski base facilities. Recent precedent from Bartlett and Shock, Lot 41 (Lincoln Grill) shows positive three (+3) points for the project providing a mid-block crossing for pedestrians. Staff believes positive three (+3) points are warranted for pedestrian access easement, based on precedent. Does the Planning Commission agree?

## PLANNING COMMISSION QUESTIONS

Staff would like Planning Commission input on the specific policy questions and would also look for any additional code related comments or concerns before this project moves forward.

1. Does the Commission agree with staff's interpretation of the amount of density?
2. Does the Commission agree that the proposed building height meets the intention of the Land Use Guidelines?
3. Does the Commission believe that the project qualifies for positive three (+3) points under Policy 16 by providing an access easement and sidewalk for pedestrians?
4. Does the Commission have any additional comments on the proposed project design?

**SYMBOL LEGEND:**

- EXISTING TREE HOLE
- EXISTING TREE PRESERVE
- METAL EDGING - 201 LF
- BUILDING ENTRANCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- SLOPE PERCENT
- BOULDER WALL
- ANGULAR LANDSCAPE BOULDER - 1' X 1' X 1' - Approx. 30 ROCKS
- 
- WOOD MULCH/LANDSCAPE - PLANTING AREA - 201 SF
- NATIVE SEED RE-VEGETATION - 150 SF
- HEATED CONCRETE FINISH - 150 SF
- 
- LIMIT OF WORK
- FIRE ZONE 1
- PROPERTY LINE

**PLANTING NOTES AND SPECIFICATIONS:**

1. ALL PLANT MATERIALS SHALL BE NURSERY GROWN. PLANTS SHALL BE HEALTHY AND FREE OF DISEASE AND PESTS. ALL PLANT MATERIALS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. LAYOUT AND LOCATION OF ALL PLANTS AND TREES TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. LANDSCAPE CONTRACTOR SHALL SUPPLY PHOTOS AND LOCATION OF THE SOURCE OF ALL TREES AND SHRUBS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT SITE.
4. ALL CONTAINER PLANTS SHALL HAVE BEEN GROWN IN THE CONTAINERS IN WHICH THEY ARE DELIVERED FOR A MINIMUM OF THREE MONTHS, BUT NOT MORE THAN TWO YEARS FOR SHRUBS AND GRASSES AND ONE YEAR FOR PERENNIALS AND GROUND COVERS.
5. PLANTING BACKFILL IS TO BE CLEAN AND WELL SCREENED. IT SHALL CONSIST OF 80% NATIVE TOPSOIL AND 20% COMPOST, TO A DEPTH OF 2\"/>
6. ALL TREE AND SHRUB PLANTING AREAS ARE TO BE MULCHED WITH 2\"/>
7. ALL PERENNIAL AND ANNUAL SEEDS SHALL BE COVERED WITH A TOP COAT OF 2\"/>
8. ALL SPECIES REFER TO THE BRECKENRIDGE LANDSCAPING CODE/SECTION 1.
9. TREES SHALL HAVE ALL BRACING MATERIAL REMOVED AROUND THE BASE ON THE TRUNK AND BURLAP MATERIALS REMOVED AT LEAST HALFWAY TO THE MIDDLE OF THE ROOT BALL PRIOR TO BACKFILLING AND PLANTING.
10. ALL PERENNIAL AREAS SHALL BE SEPARATED FROM ADJACENT PLANTING BEDS WITH EDGING. THE PREFERRED PRODUCT IS PRECAST METAL EDGING OR EQUAL. EDGING SHALL BE 1/2\"/>
11. THE PLANT LIST IS PROVIDED FOR REFERENCE ONLY, AND THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT CODES AND IF A DISCREPANCY EXISTS, THE PLAN SHALL GOVERN.
12. EXCESSIVE TREES GREATER THAN 4\"/>
13. LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT REGARDING ITS POLICY OF PLANT WARRANTY FOR PLANTS PROVIDED BY CONTRACTOR. EACH WARRANTY SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIALS INCLUDING LABOR, DUE TO THE DEATH OR DISEASE OF A PLANT FOR A PERIOD OF TWO YEARS FOLLOWING THE PLANTS INSTALLATION AND ACCEPTANCE OF THE PROJECT.
14. ALL EXCESS NATIVE SOIL, RESULTING FROM SOIL PREP SHALL BE DISPOSED OF AND REMOVED FROM THE SITE.
15. ALL PLANTING MATERIALS PROPOSED IN AREA ALSO DESIGNATED AS SNOW STORAGE AREAS OR ANTICIPATED SNOW BLEEDING SHALL BE OF A SIZE AND TYPE THAT WILL NOT BE ADVERSELY AFFECTED BY THE PROPOSED SNOW STORAGE. TO THE EXTENT POSSIBLE, NEWLY PLANTED AREAS SHALL NOT BE LOCATED IN AREAS THAT WILL BE USED FOR SNOW STORAGE OR SNOW BLEEDING.
16. ALL SURFACE AREAS OF THE APPROVED LANDSCAPING PLAN THAT WILL NOT BE HARD SURFACE SHALL BE PLANTED WITH ADAPTIVE NATIVE OR HIGH ALTITUDE GROUND COVER AS APPROVED BY THE TOWN, AND SHALL BE TOP DRESSED WITH A MINIMUM OF TWO INCHES (2\")/>
17. REVEGETATION MEASURES, INCLUDING, BUT NOT LIMITED, SEEDING WITH NATIVE OR HIGH ALTITUDE SEED MIXTURES, BIODEGRADABLE MATTING, STRAW, MULCHING, AND IRRIGATION TO ESTABLISH PLANTING ON CUTSLOPES, ARE AS REQUIRED. CUT-FILL SLOPES INTENDED FOR PLANTING SHALL NOT EXCEED A TWO TO ONE (2:1) GRADE. RETAINING WALLS SHALL BE REQUIRED FOR ALL GRADINGS GREATER THAN 2:1.
18. FOR DETAILED LANDSCAPE AND FIRE WISE NOTES REFER TO BRECKENRIDGE DEVELOPER CODE SECTION 9-19-02A; POLICY 23 (ABSOLUTE) LANDSCAPING & 9-19-02B; POLICY 23 (RELATIVE) LANDSCAPING.



**PLANT LIST**

Code	Species	Quantity	Size	Notes	Planting Location
T-01	Rocky Mountain Columbine	20	1 gal	in ground	Class 1
T-02	Mountain Yarrow	20	1 gal	in ground	Class 1
T-03	Star Maidwort	15	1 gal	in ground	Class 2
T-04	Starburst Blue	20	1 gal	in ground	Class 1
T-05	Shiny Lights	15	1 gal	in ground	Class 1
T-06	Yellow Cone	20	1 gal	in ground	Class 2
T-07	White Daisy	40	1 gal	in ground	Class 2
T-08	Princess Poppy	20	1 gal	in ground	Class 1
T-09	Black-eyed Susan	20	1 gal	in ground	Class 2
G-01	Perennial Grass	20	1 gal	12" OC	Class 1
G-02	Creeping Mahonia	10	1 gal	12" OC	Class 1
G-03	Woolly Thyme	10	1 gal	12" OC	Class 1
D-01	Flowering Dogwood	40	1 gal	in ground	
D-02	Flowering Quince	40	1 gal	in ground	

**ZEHREN AND ASSOCIATES, INC.**  
 ARCHITECTURE - PLANNING - INTERIORS  
 LANDSCAPE ARCHITECTURE  
 48 East Beaver Creek Blvd, Suite 300  
 P.O. Box 19761 - Avon, Colorado 81629  
 (970) 949-4100 FAX (970) 949-4102

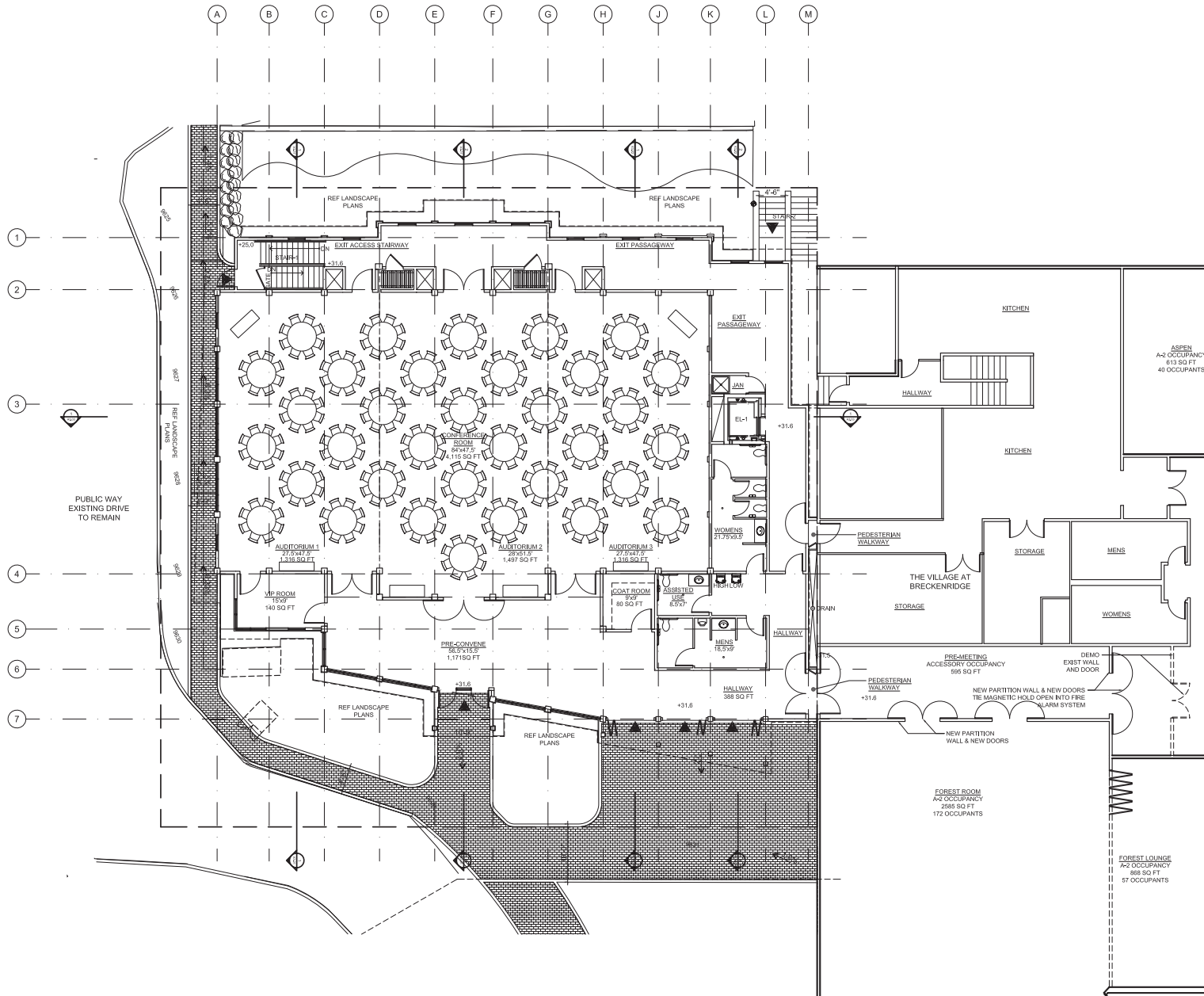
**MECHANICAL**  
 ELECTRICAL  
 PLUMBING  
 AND BUILDING WORKS  
 (970) 949-4007  
 (970) 949-4100  
 (970) 949-4108

**BRECKENRIDGE 10 MILE  
 CONFERENCE ROOM**  
 505 S PARK ST; BRECKENRIDGE, CO 80424

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**PLANTING PLAN**

PROJECT No. 20172558.00 DATE 10/11/2017  
 DRAWN BY SC CHECKED BY TRW  
 SHEET No. L2.01  
 SCALE AS SHOWN



**1 MAIN LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**ZEHREN AND ASSOCIATES, INC.**  
ARCHITECTURE - PLANNING - INTERIORS  
LANDSCAPE ARCHITECTURE  
10011 E. Harvard Avenue, Suite 303  
Sara Bahara, California 93101  
(805) 963-6997 FAX (805) 963-6102

**MARTIN & MARTIN**  
MECHANICAL  
BC BUILDING WORKS  
MCORSE AND NEWELL  
(970) 949-6007 (970) 949-7768  
(970) 949-6108 (970) 949-6108

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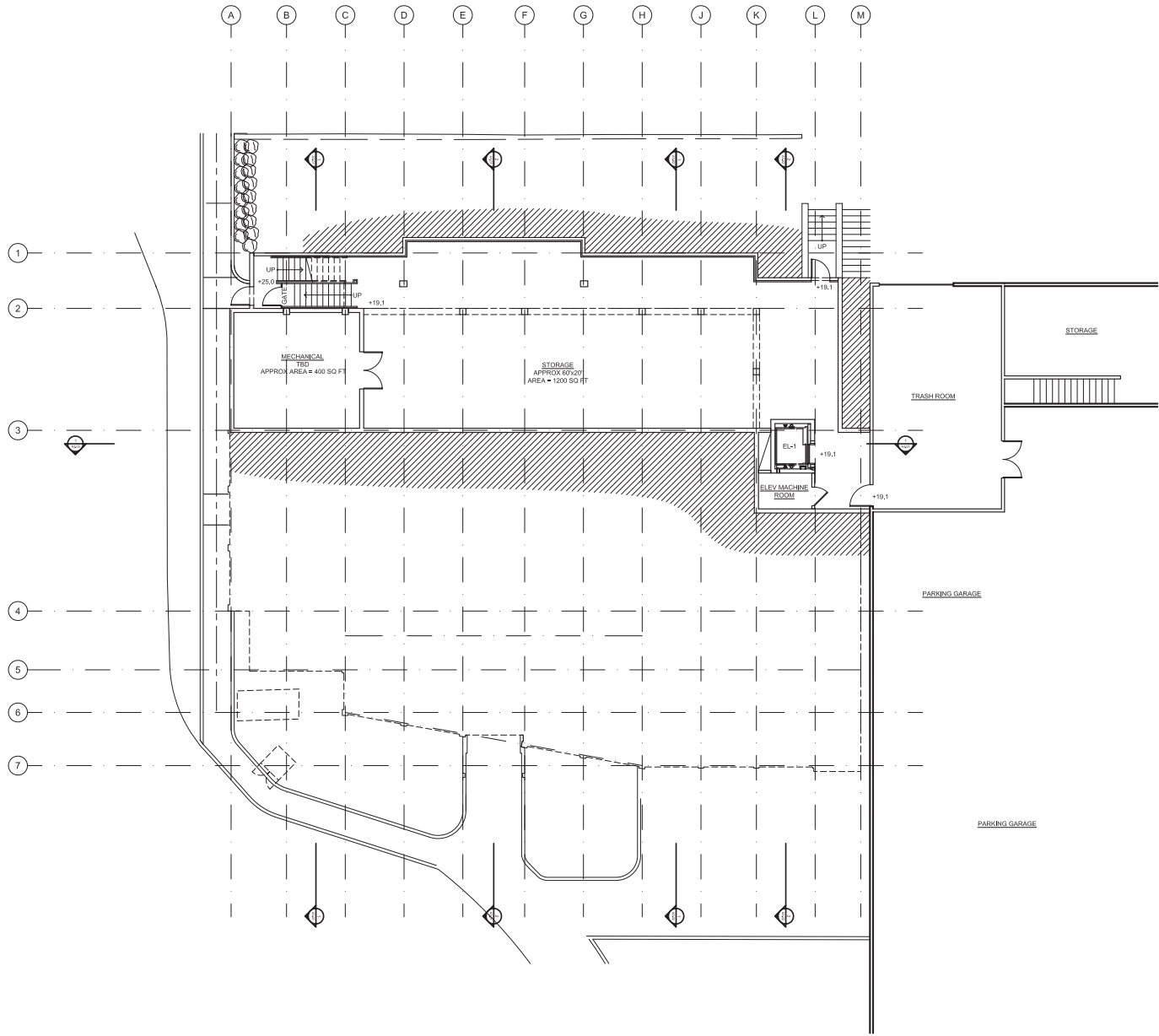
**RELIED FOR:**

No.	DATE	COMMENT
A	10/11/2017	FOR DEVELOP. REVIEW

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**PROJECT No.** 20172558.00  
**DATE** 10/11/2017  
**DRAWN BY** PF  
**CHEK BY** TBY  
**REV BY**

**SHEET No.** **A1.02**  
**SCALE** AS SHOWN



1 LOWER LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**ZEHREN AND ASSOCIATES, INC.**  
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SCAPE ARCHITECTURE  
101 E. 18th  
Sarasota, Florida 93101  
(813) 943-6997 FAX (813) 943-6102

CIVIL  
MARTIN & MARTIN  
48 East Beaver Creek Blvd., Suite 303  
P.O. Box 1976 - Avon, Colorado 81620  
(970) 949-0257 FAX (970) 949-1000

MECHANICAL  
BC BUILDING WORKS  
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Sarasota, Florida 93101  
(813) 943-6997 FAX (813) 943-6102

(970) 949-6108  
(970) 949-6108  
(970) 949-6108

(970) 926-6007  
(970) 949-7766

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REVISION FOR:		
No.	DATE	COMMENT
A		SUBMITTED FOR DEVELOPER REVIEW

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**LOWER LEVEL  
FLOOR PLAN**

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PROJECT No.	DATE	
20172558.00	10/11/2017	
DRAWN BY	CHEK BY	TRV BY
PF		

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SHEET No.	<b>A1.01</b>
SCALE	AS SHOWN

Trim and Fascia:  
Olympic - Light Mocha, Semi-Transparent



Storefront Doors / Windows:  
Marvin Liberty Bronze



Fiber Cement Siding:  
Olympic - Pine Ponds



Stucco Panels:  
PPG - Almond Cream #1086-3



Realstone:  
Greystone Gold



Grey Cast Stone Panel



Western Rib Roofing:  
Cool Charcoal

1 ELEVATION - NORTH  
2017 1/1/17

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ARCHITECTURE - PLANNING - INTERIORS  
LANDSCAPE ARCHITECTURE  
101 E. Pearce, Colorado 81420  
Savo Barrios, California 91301  
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**CIVIL  
STRUCTURAL  
MECHANICAL  
MECHANICAL  
MECHANICAL  
MECHANICAL**

**DAVID A. ZEHREN**  
ARCHITECT  
(870) 226-6007 (870) 948-7148 (870) 948-6108 (870) 948-6108

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NO.	DATE	COMMENT
A		ISSUED FOR PERMIT

**EXTERIOR  
ELEVATIONS**

PROJECT No.	20172558.00	DATE	10/1/2017
DRAWN BY	PP	CHECK BY	PP

Sheet No. **A2.06**  
R/S/R AS SHOWN

Trim and Fascia:  
Olympic - Light Mocha, Semi-Transparent



Storefront Doors / Windows:  
Marvin Liberty Bronze



Fiber Cement Siding:  
Olympic - Pine Ponds



Stucco Panels:  
PPG - Almond Cream #1086-3



Realstone:  
Greystone Gold



Grey Cast Stone Panel



Western Rib Roofing:  
Cool Charcoal

**1** ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"

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LANDSCAPE ARCHITECTURE  
101 B BUCKINGHAM  
Santa Barbara, California 93101  
805/963-8890 FAX 805/963-8103

**MECHANICAL**  
AC BUILDING WORKS 805/946-4106  
AC BUILDING WORKS 805/946-4108

**CIVIL**  
DREW B. MARTIN 805/936-6007  
STRUCTURAL 805/946-7768  
MURPHY AND NEWELL 805/946-7768

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NO.	DATE	REVISION
1	10/11/2017	FOR DESIGN REVIEW

**EXTERIOR  
ELEVATIONS**

PROJECT No.	DATE	
20172558.00	10/11/2017	
DESIGN BY	DATE BY	REV BY
PP		

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Title **AS SHOWN**

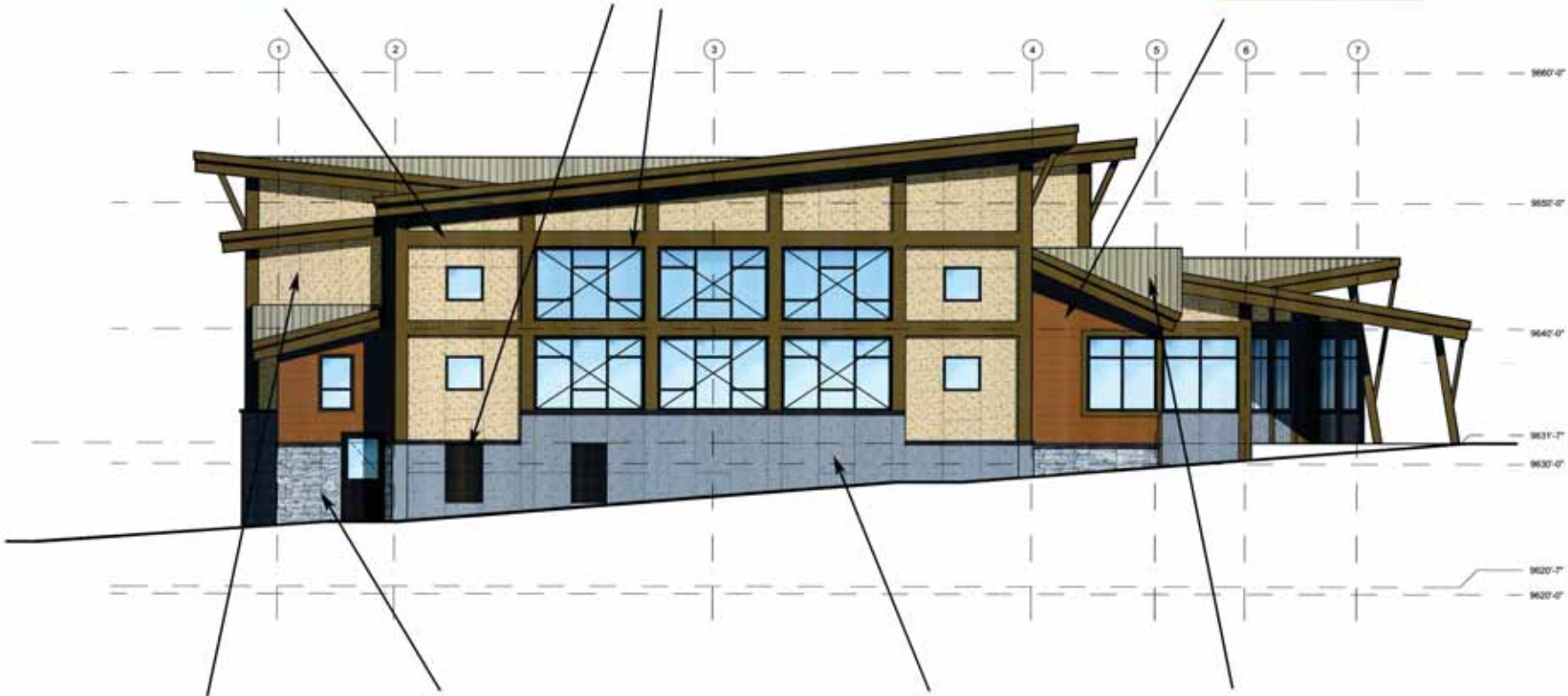
Trim and Fascia:  
Olympic - Light Mocha, Semi-Transparent



Storefront Doors / Windows:  
Marvin Liberty Bronze



Fiber Cement Siding:  
Olympic - Pine Ponds



Stucco Panels:  
PPG - Almond Cream #1086-3



Realstone:  
Greystone Gold



Grey Cast Stone Panel



Western Rib Roofing:  
Cool Charcoal

1 ELEVATION - WEST  
2/22 1/4" = 1'-0"

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LANDSCAPE ARCHITECTURE  
151 E. Pease  
Suite 200, Fort Collins, Colorado 80501  
970.225.5227 FAX 970.225.5280

**MECHANICAL** 970.949.6100  
**ELECTRICAL** 970.949.6100  
**PLUMBING WORKS** 970.949.6100  
**STRUCTURAL** 970.949.6100  
**MOCKING AND NEWELL** 970.949.6100

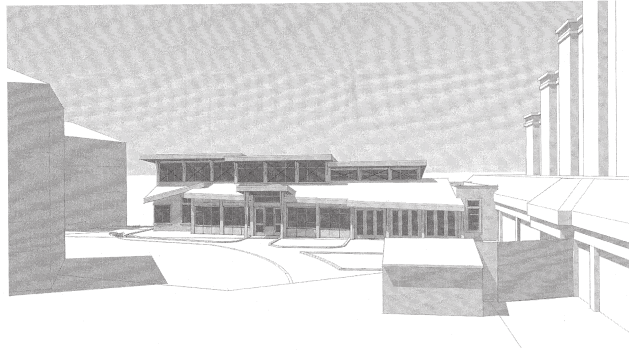
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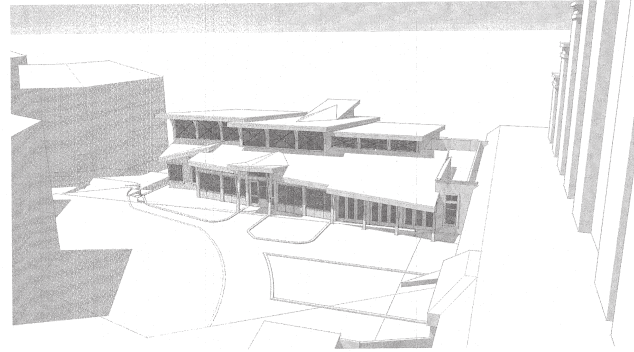
**EXTERIOR  
ELEVATIONS**

PROJECT NO. 20172358.00	DATE 10/11/2017
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SHEET NO. **A2.07**  
SCALE AS SHOWN



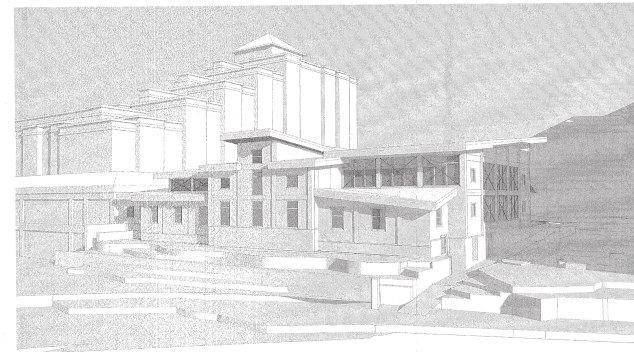
1 MODEL VIEW  
A2.11 NOT TO SCALE



2 MODEL VIEW  
A2.11 NOT TO SCALE



3 MODEL VIEW  
A2.11 NOT TO SCALE



4 MODEL VIEW  
A2.11 NOT TO SCALE

**ZEHREN AND ASSOCIATES, INC.**  
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LANDSCAPE ARCHITECTURE  
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ELECTRICAL  
STRUCTURAL**

**MONROE AND NEVELL**  
(970) 926-6007  
(970) 948-7768

**ZEHREN**

**MECHANICAL  
ELECTRICAL  
STRUCTURAL**

**BC BUILDING WORKS**  
(970) 948-6108  
(970) 948-6108

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CONFERENCE ROOM**  
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SEAL

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ISSUED FOR:	
No.	DATE
A	10/11/2017 FOR DEVELOP. REVIEW

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PROJECT No.		DATE	
20172558.00		10/11/2017	
DRAWN BY		CHK BY	
CH		TRV BY	

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SHEET No.	<b>A2.11</b>
SCALE	AS SHOWN



## 10 Mile Conference - Zoning Review

	Required	Previous (If known)	Proposed	%
Lot Area (SQ FT)	-	12,430	12,430	
FAR (Zone District #23)	1:3	-	< 1:1	
Area (SQ FT)				
Upper Level		-	7859	
Lower Level		-	315	
Total		9000	8174	
Site Coverage Incl Hallway (SQ FT)		8007	7859	
Conference Area (SQ FT)		6889	5130	
Landscape Area	15%	-	2072	16.7%
Snow Storage (SQ FT)	25%	-	125	25%
Non-Snowmelt Driveway (SQ FT)		-	492	
Snowmelt				
On Site		-	1878	
Off Site (ext to exist walkway)		-	1156	



**2017 - Class C Single Family Development Staff Report**

<b>Project Title:</b>	Briar Rose Addition and Accessory Apartment	
<b>Proposal:</b>	Construct a 769 sq. ft. addition to an existing 4,284 sq. ft. single family residence, as well as a 1,174 sq. ft. accessory apartment.	
<b>PC#:</b>	PL-2018-0021	
<b>Project Manager:</b>	Chapin LaChance, Planner II	
<b>Date of Report:</b>	February 14, 2018	
<b>Property Owner:</b>	RACLALULU LLC (Denise and Andres Galperin)	
<b>Agent:</b>	Brett Confer, Architect	
<b>Proposed Use:</b>	Single Family Residence	
<b>Address:</b>	213 Briar Rose Lane	
<b>Legal Description:</b>	Weisshorn Subdivision, Filing #1, Block 1, Lot 7	
<b>Area of Site in Square Feet:</b>	25,003 sq. ft.	0.57 acres
<b>Existing Site Conditions:</b>	<p>This lot was platted in 1961 as a 130.00' x 232.33' rectangular lot, and currently contains an existing 4,284 sq. ft. single family residence constructed in 1967. The residence is accessible from Briar Rose Lane, and legally conforms to all current setback requirements, except for the existing shed abutting the southern property boundary. There is a "30' Drainage Easement" and a "10' Utility Easement" on the westernmost portion of the property. A nonconforming fence encloses the western half of the lot. The existing residence contains vertical wood siding, with simple gable roof forms and asphalt shingle roofing.</p> <p>The lot contains approximately 30 healthy Lodgepole Pine, Spruce, and Aspen of varying maturity. The existing residence is well buffered from Briar Rose Lane by a stand of evergreen and deciduous trees along the right-of-way, and is also lightly buffered from the neighboring lots with mature evergreen vegetation. There is approximately 14 ft. of elevation change between Briar Rose Lane and the 30' Drainage Easement, as the site slopes downward from Briar Rose Lane towards the west at an approximate grade of 7%. All of the surrounding lots have been developed with single family residences.</p>	
<b>Areas of building:</b>	Existing Square Footage	Proposed Square Footage
Lower Level:	1,786 sq. ft.	1,801 sq. ft.
Main Level:	1,441 sq. ft.	2,338 sq. ft.
Upper Level:	571 sq. ft.	571 sq. ft.
Accessory Apartment:		1,174 sq. ft.
Total Density:	3,798 sq. ft.	5,884 sq. ft.
Garage:	426 sq. ft.	534 sq. ft.
Mechanical:	60 sq. ft.	60 sq. ft.
Total:	4,284 sq. ft.	6,478 sq. ft.
<b>Code Policies (Policy #)</b>		
<b>Land Use District (2A/2R):</b>	LUD 12	
<b>Density (3A/3R):</b>	Unlimited	Proposed: 5,884 sq. ft.
<b>Mass (4R):</b>	1:4.00 FAR or 8,000 sq. ft., whichever is less	Proposed: 6,478 sq. ft.
<b>F.A.R.:</b>	1:0.26 FAR	
<b>No. of Main Residence Bedrooms:</b>	5 bedrooms	
<b>No. of Main Residence Bathrooms:</b>	4.5 bathrooms	
<b>Height (6A/6R):*</b>	29.3 feet overall	
*Max height of 35' for single family outside Conservation District unless otherwise stated on the recorded plat		
<b>Platted Building/Disturbance /Footprint Envelope?</b>	No Envelope	
<b>Setbacks (9A/9R):</b>		
<b>Front:</b>	Relative: 25' Absolute: 15'	Proposed: 33.8'
<b>Side:</b>	Relative: 50' (Combined) Absolute: 40' Combined, 15' minimum	Proposed: 55.5'
<b>Rear:</b>	Relative: 15' Absolute: 15'	Proposed: 60'
<b>Site and Environmental Design (7R):</b>	Staff finds that the length of the additional driveway creates excessive site disturbance, and has assigned negative four (-4) points under Policy 7 (Relative).	
<b>Lot Coverage/Open Space (21R):</b>		
<b>Drip line of Building/Non-Permeable Sq. Ft.:</b>	3,168 sq. ft.	12.67%
<b>Hard Surface/Non-Permeable Sq. Ft.:</b>	4,566 sq. ft.	18.26%

Open Space / Permeable:	17,269 sq. ft.	69.07%												
<b>Snowstack (13A/13R):</b>														
Required Square Footage:	1,142 sq. ft.	25% of paved surfaces is required												
Proposed Square Footage:	1,168 sq. ft.	(25.58% of paved surfaces)												
<b>Energy Conservation (33A/33R):</b>														
Outdoor heated space:	NO	<b>The applicant has agreed to provide a preliminary and final HERS Index Report confirming a 10-29% improvement in a HERS Index. Staff has awarded positive two (+2) points under Policy 33 (Relative).</b>												
<b>Parking (18A/18R):</b>														
Required:	3 spaces													
Proposed:	6 spaces													
<b>Fireplaces (30A/30R):</b>														
Number of Gas Fired:	1 Gas Fired													
No. of EPA Phase II Wood Burning:														
<b>Architectural Compatibility (5A &amp; 5R):</b>														
The main residence currently contains vertical wood siding, with simple gable roof forms and asphalt shingle roofing. In regards to architecture, the proposal includes an addition to the southwest corner and north elevation of the house, a flat roof wrapping the southern half of the house and creating a covered front porch, new rear deck, relocation of the garage doors to the western elevation so that the garage doors face towards Briar Rose Lane, new roofing shingles on the north, west, and south elevation, all new windows, new metal and lap siding, stone veneer, as well as interior remodel. The detached accessory apartment is proposed to use a combination of gable and shed roof forms, with a flat-roofed porch element. The exterior materials are proposed to match those of the main residence. The east elevation of the accessory apartment would feature a two-story vertically oriented window. The proposed is neither excessively dissimilar or excessively similar to other residences in the surrounding area. Staff does not have any concerns.														
Exterior Materials and Colors:	Shingle roofing (color: "Weathered Wood"), standing seam metal roofing and flat roof fascia (color: grey), wood clad windows and doors (color: black), metal accents, columns, and rails (color: grey), wood fascia and soffit (color: "Blue Shadow" transparent stain, and "Crossroads" transparent stain at flat roof soffit), 7/8" corrugated metal siding, 1x4 horizontal wood siding, stone veneer													
<b>Landscaping (22A/22R):</b>														
Staff has awarded positive two (+2) points under this policy, finding that the combination of the existing and proposed landscaping provides some public benefit, and is sufficient to effectively enhance the natural aesthetic of the property and to provide screening/buffering between the proposed development, Briar Rose Lane, and the adjacent lots.														
<table border="1"> <thead> <tr> <th>Planting Type</th> <th>Quantity</th> <th>Size</th> </tr> </thead> <tbody> <tr> <td>Quaking Aspen</td> <td>20</td> <td>3" caliper 50% multistem</td> </tr> <tr> <td>Colorado Spruce</td> <td>20</td> <td>(10) 6' to 8' tall (10) 8' to 10' tall</td> </tr> <tr> <td>Assorted Shrubs</td> <td>30</td> <td>5 gallon</td> </tr> </tbody> </table>			Planting Type	Quantity	Size	Quaking Aspen	20	3" caliper 50% multistem	Colorado Spruce	20	(10) 6' to 8' tall (10) 8' to 10' tall	Assorted Shrubs	30	5 gallon
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<b>Defensible Space (22A):</b>														
Complies														
<b>Drainage (27A/27R):</b>														
Positive drainage away from building														
<b>Driveway Slope:</b>														
8.00%														
<b>Point Analysis (Sec. 9-1-17-3):</b>														
This application has met all Absolute Policies. Staff has awarded positive two (+2) points under Policy 22/R for a landscape plan that provides some public benefit, positive two (+2) points under Policy 33/R for obtaining a 10-29% improvement in a HERS Index, and negative four (-4) points under Policy 7/R for a driveway that creates excessive site disturbance.														
<b>Staff Action:</b>														
Staff has approved the Briar Rose Addition and Accessory Apartment PL-2018-0021 showing a passing score of zero (0) points and with the attached Findings and Conditions.														
<b>Conditions:</b>														
2. Legal title to the accessory apartment and single-family unit must be held in the same name. Said property, including both real property and the improvements thereon, shall not hereafter be subdivided.														
<b>Prior to Issuance of a Building Permit:</b>														
13. Applicant shall submit to the Town a preliminary HERS Index report, showing a 10-29% improvement in a HERS Index compared to the existing conditions.														
<b>Prior to Issuance of a Certificate of Occupancy:</b>														
25. The existing fence is non-conforming to Policy 46 (Absolute) and shall be removed or brought into conformity.														
26. The existing shed along the southern property line does not comply with the side yard requirements of Policy 9 (Absolute) and Policy 9 (Relative), and shall be removed or brought into conformity.														
<b>Additional Conditions of Approval:</b>														
27. Applicant shall execute and record with the Summit County Clerk and Recorder a Restrictive Covenant running with the land, in a form acceptable to the Town Attorney, requiring that said property, including both real property and the improvements thereon, shall not hereafter be subdivided (as that term is now or hereafter defined by the ordinances of the Town of Breckenridge) except in strict compliance with the applicable ordinances of the Town of Breckenridge. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.														
28. Applicant shall submit to the Town a final HERS Index report, confirming a 10-29% improvement in a HERS Index compared to the existing conditions.														
33. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.														

## TOWN OF BRECKENRIDGE

**Briar Rose Addition and Accessory Apartment  
Weisshorn Subdivision, Filing #1, Block 1, Lot 7  
213 Briar Rose Lane  
PL-2018-0021**

**STAFF RECOMMENDATION:** Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **February 14, 2018** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **February 20, 2018** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. **Legal title to the accessory apartment and single-family unit must be held in the same name. Said property, including both real property and the improvements thereon, shall not hereafter be subdivided.**
3. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
4. This permit expires eighteen (18) months from date of issuance, on **August 27, 2019**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
5. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
6. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

7. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.
8. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
9. Applicant shall field locate utility service lines to avoid existing trees.
10. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
11. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
12. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

- 13. Applicant shall submit to the Town a preliminary HERS Index report, showing a 10-29% improvement in a HERS Index compared to the existing conditions.**
14. Applicant shall submit proof of ownership of the project site.
15. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
16. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
17. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
18. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
19. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
20. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

21. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town's water system, including hydrants, prior to any construction with wood. In the event the water system is installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.
22. Applicant shall install construction fencing and erosion control measures at the 25-foot no-disturbance setback to streams and wetlands in a manner acceptable to the Town Engineer.
23. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
24. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

**PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

- 25. The existing fence is non-conforming to Policy 46 (Absolute) and shall be removed or brought into conformity.**
- 26. The existing shed along the southern property line does not comply with the side yard requirements of Policy 9 (Absolute) and Policy 9 (Relative), and shall be removed or brought into conformity.**
- 27. Applicant shall execute and record with the Summit County Clerk and Recorder a Restrictive Covenant running with the land, in a form acceptable to the Town Attorney, requiring that said property, including both real property and the improvements thereon, shall not hereafter be subdivided (as that term is now or hereafter defined by the ordinances of the Town of Breckenridge) except in strict compliance with the applicable ordinances of the Town of Breckenridge. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.**
- 28. Applicant shall submit to the Town a final HERS Index report, confirming a 10-29% improvement in a HERS Index compared to the existing conditions.**
29. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
30. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
31. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
32. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
- 33. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.**
34. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color. **All exterior metal, including metal siding and roofing, shall be non-reflective.**

35. Applicant shall screen all utilities.
36. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
37. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
38. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
39. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
40. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
41. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)

<b>Combined Hearing Impact Analysis</b>				
Project:	Briar Rose Addition and Accessory Apartment	<b>Positive</b>	<b>Points</b>	<b>+4</b>
Plan #	PL-2018-0021			
Date:	2/14/2018	<b>Negative</b>	<b>Points</b>	<b>- 4</b>
Staff:	Chapin LaChance, Planner II			
		<b>Total</b>	<b>Allocation:</b>	<b>0</b>
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions For all structures except Single Family and Duplex Units outside the Historic District	1X(-2,+2)		
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges For all Single Family and Duplex Units outside the Conservation District	1x(+1/-1)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)	- 4	Staff finds that the length of the additional driveway creates excessive site disturbance, and has assigned negative four (-4) points under Policy 7 (Relative).
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		



15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
	<b>Landscaping</b>	Complies	+2	Staff has awarded positive two (+2) points under this policy, finding that the combination of the existing and proposed landscaping provides some public benefit, and is sufficient to effectively enhance the natural aesthetic of the property and to provide screening/buffering between the proposed development, Briar Rose Lane, and the adjacent lots.
22/A				
22/R	Landscaping	2x(-1/+3)		
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	N/A		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	N/A		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80 ( <b>For existing residential, 10-29% improvement beyond existing HERS Index</b> )	+2	+2	The applicant has agreed to provide a preliminary and final HERS Index Report confirming a 10-29% improvement in a HERS Index. Staff has awarded positive two (+2) points under Policy 33 (Relative).
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		

33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		
50/A	<b>Wireless Communication Facilities</b>	Complies		

- 1) ALL DRAWN AND WRITTEN DESIGNS SHOWN IN THESE DRAWINGS SHALL NOT BE USED, DUPLICATED, OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.
- 2) THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, AS ADOPTED BY THE TOWN OF BRECKENRIDGE, COLORADO. IN ADDITION, A SUMMIT COUNTY SUSTAINABLE BUILDING CODE CHECKLIST IS TO BE PROVIDED. CODE COMPLIANCE IS MANDATORY. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS.
- 3) WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD TUBING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- 4) THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW THE WORK AND NOTIFY THE ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOUND IN THESE DRAWINGS FOR INTERPRETATION AND/OR CLARIFICATION.

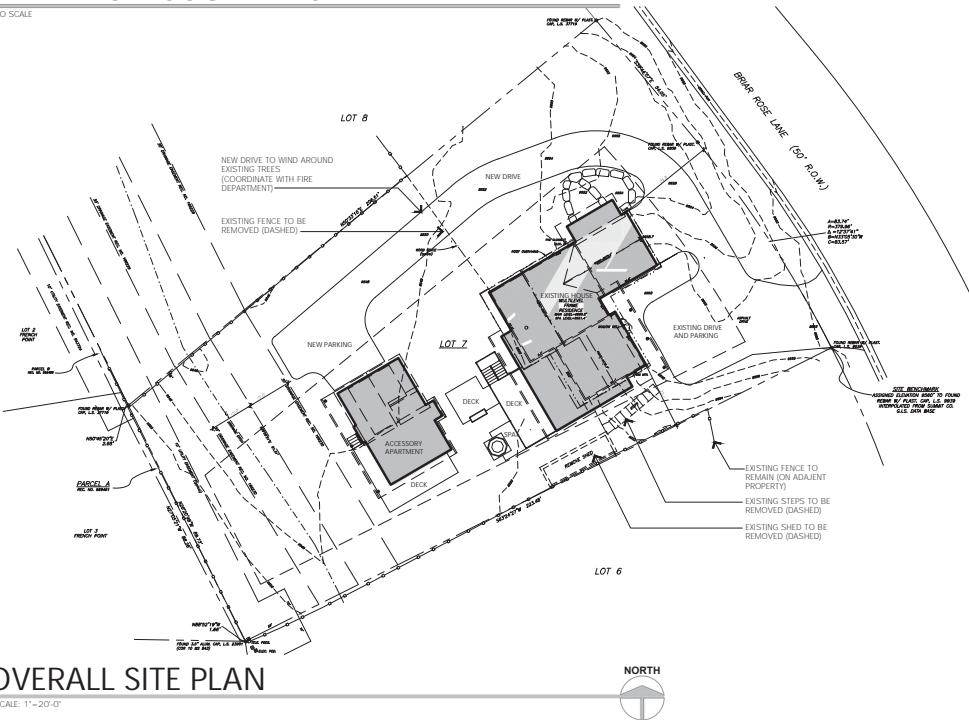
- 5) CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES. ANY ITEMS DESCRIBED THAT IMPACT PROJECT BUDGET OR THE SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER.
- 6) THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.
- 7) SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.
- 8) THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

- 9) THE GENERAL CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOLE ENGINEER FOR EXCAVATION AND INSPECTION OF THE SUBSURFACE CONDITIONS.
- 10) THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ARCHITECT/ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- 11) DUE TO THE HIGH ALPINE ENVIRONMENT HARSH WINTER CONDITIONS EXIST. ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO AVOID MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER, PRIOR TO PROCEEDING WITH ANY WORK.
- 12) THIS PROJECT INCLUDES REMODELING OF CONDITIONS THAT ARE DIFFICULT TO DETERMINE WITHOUT UNDUE DAMAGE TO THE EXISTING STRUCTURE AND BUILDING FABRIC. THE OWNER IS ADVISED THAT ADJUSTMENTS TO THE CONTRACT DOCUMENTS AND CONTRACT SUM MAY BE REQUIRED.



VIEW FROM SOUTHWEST

NO SCALE



OVERALL SITE PLAN

SCALE: 1"=20'-0"



GENERAL NOTES:

REVISIONS:



SEAL:

INDEX:

OWNER:

RACALOUSI  
ANDRES AND DENISE GAUPRIN  
PO BOX 439  
BRECKENRIDGE, CO 80424

ARCHITECT:

b.c.confer@bckdn.com  
BRIET A. CONNER  
238 EAST HARBET COURT  
SILVERTHORNE, CO 80498  
970.398.7981 CELL  
bconner@comcast.net

CONTRACTOR:

CALVIN CONSTRUCTION  
838 COLVIE  
100 S GOLD FLAKE TERRACE  
BRECKENRIDGE, CO 80424  
970.470.2640-CELL  
970.453.9373-OFFICE

AREA CALCULATIONS:

EXISTING HOUSE	FINISHED	UNFINISHED	TOTAL
LOWER	1786'	60	1846
MAIN	1441	426	1867
UPPER	571	0	571
TOTAL	3798'	486	4284

STRUCT'L ENGINEER:

tsd

PROPOSED ADDITION HOUSE	FINISHED	UNFINISHED	TOTAL
LOWER	298'	0'	298'
MAIN	363'	108'	471'
UPPER			
TOTAL	661'	0'	769'

INTERIOR DESIGNER:

tsd

GROSS SF HOUSE	FINISHED	UNFINISHED	TOTAL
LOWER	1443+298=1741' (2046 SQ. FEET)	60	1801'
MAIN	1804'	534'	2338'
UPPER	571'	0'	571'
TOTAL	4076'	594'	4670'

SURVEYOR:

SUMMIT LAND SURVEYING, INC.  
MATT WENTZ  
PO BOX 2472  
SILVERTHORNE, CO 80497  
970.513.0756

CARTRAKER COTTAGE	FINISHED	UNFINISHED	TOTAL
MAIN	864'	18'	882'
UPPER	292'	0'	292'
TOTAL	1156'	0'	1174'

LEGAL DESCRIPTION:

LOT 7, BLOCK 1, WINDSHORN SUBDIVISION, PLAT NO. 1, PARCELS A, A PART OF LOT 30, OWNER'S ADDITION T.O.B. LOCATED IN SECTION 31, TOWNSHIP 6 SOUTH, RANGE 77 WEST OF THE 66th PA. TOWN OF BRECKENRIDGE COUNTY OF SUMMIT, STATE OF COLORADO

SHEET INDEX:

T1.0	GENERAL NOTES/IMAGE
SP1.0	SITE/LANDSCAPE PLAN
A1.0	EXISTING FLOOR PLANS
A1.1	PROPOSED LOWER LEVEL FLOOR PLAN
A1.2	PROPOSED MAIN LEVEL FLOOR PLAN
A1.3	PROPOSED UPPER LEVEL FLOOR PLAN
A1.4	PROPOSED ACCESSORY FLOOR PLANS
A1.5	PROPOSED ROOF PLAN
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS
A2.2	PROPOSED ELEVATIONS
A2.3	PROPOSED ELEVATIONS
A2.4	IMAGES
A1.0	SECTIONS

NOTE: SQUARE FOOTAGES ARE CALCULATED TO OUTSIDE OF WALL FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

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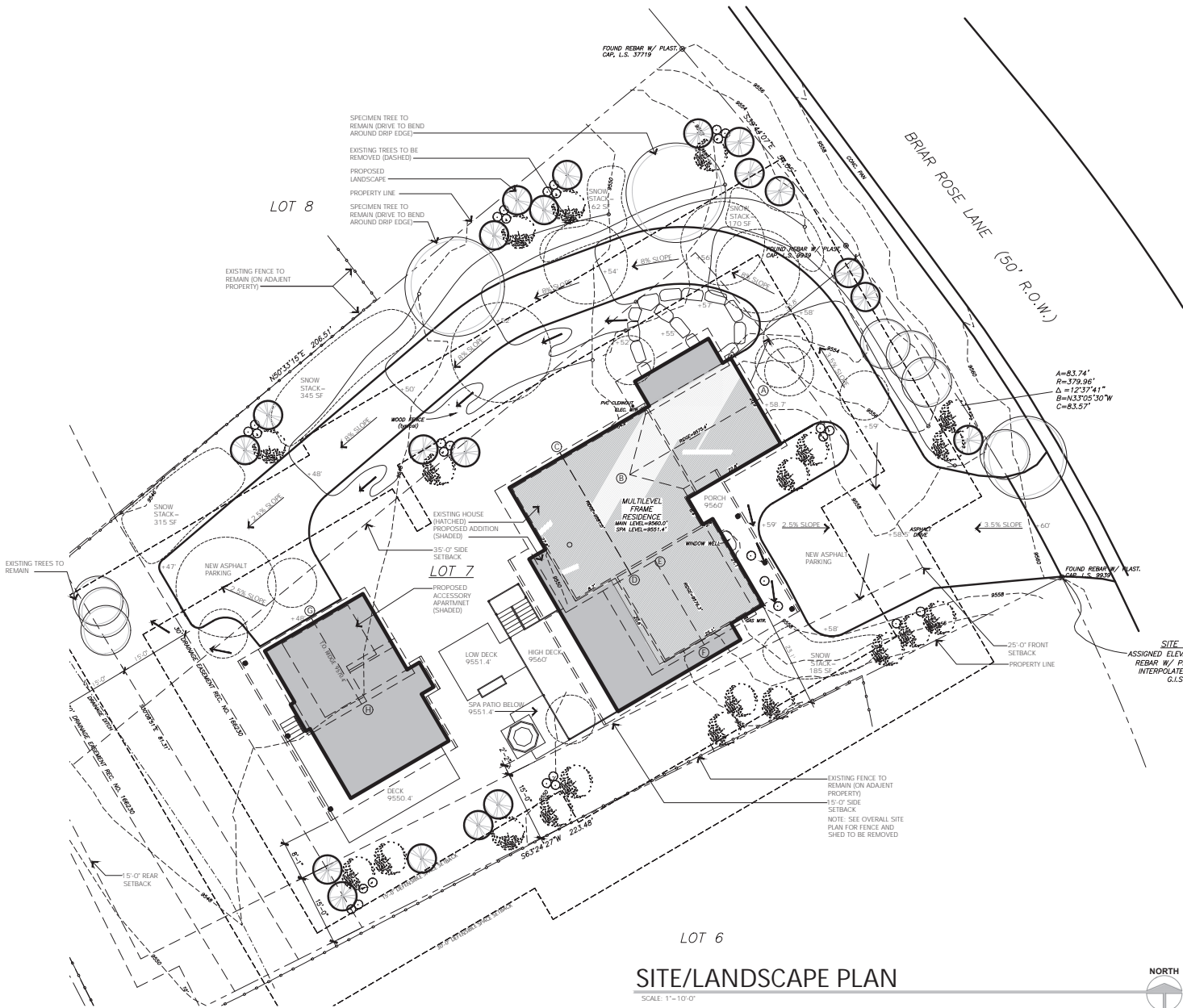
JOB NUMBER: 1402  
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b.c.conferarchitecture  
238 EAST HARBET COURT SILVERTHORNE, COLORADO 80498  
970.398.7981

BRIAR ROSE ADDITION  
273 BRIAR ROSE, BRECKENRIDGE, COLORADO

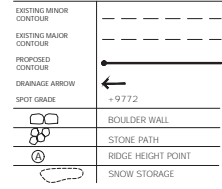


**SITE/LANDSCAPE PLAN**  
SCALE: 1"=10'-0"

**GENERAL DEMOLITION NOTES:**

1. THE EXISTING HOUSE TO REMAIN. SEE ADDITIONAL DRAWINGS FOR EXTENT OF DEMOLITION.
2. ALL EXISTING UTILITIES TO BE LOCATED AND APPROPRIATE ENTITIES NOTIFIED PRIOR TO DEMOLITION.

**PLAN LEGEND:**



**BUILDING HEIGHT:**

POINT	NAT. GRADE ELEVATION	RIDGE HEIGHT (RIDGE-DATUM)	ROOF HEIGHT ABOVE DATUM	MEASURED FROM	CALCULATIONS (RIDGE GRADE)	HEIGHT
A	9558'	9575.4'	23.2'	EXIST'G GRADE	9575.4'-9558'	17.4'
B	9554'	9575.4'	23.2'	FIN. GRADE	9575.4'-9554'	21.4'
C	9549'	9581.0'	29.9'	EXIST'G GRADE	9581.0'-9549'	32.0'
D	9552'	9581.0'	29.9'	FIN. GRADE	9581.0'-9552'	29.0'
E	9552'	9577.71'	26.31'	FIN. GRADE	9577.71'-9552'	25.71'
F	9553'	9577.71'	26.31'	EXIST'G GRADE	9577.71'-9553'	24.71'
G	9547'	9572.42'	21.02'	EXIST'G GRADE	9572.42'-9547'	25.42'
H	9548'	9572.42'	21.02'	EXIST'G GRADE	9572.42'-9548'	24.42'

BASE DATUM (ARCHITECTURAL 100'-0"=9551.4')

- 9552.4' (PROPOSED CARE TAKER)
- 9551.4' (EXISTING LONES)
- 9558.7' (EXISTING GARAGE)
- 9549.0' (EXISTING MARI)

MAXIMUM ALLOWED BUILDING HEIGHT IS 30'-0" PER THE TOWN OF BRECKENRIDGE. BUILDING HEIGHT WILL BE 30'-0" AS MEASURED FROM THE EXISTING GRADE TO THE HIGHEST ROOF DIRECTLY ABOVE. THE ROOF HEIGHT IS DESIGNATED AS FOLLOWS:  
(NOTE: ITEMS IN BOLD ARE EXISTING RIDGE HEIGHTS)

MEASUREMENTS ARE DERIVED FROM NATURAL GRADE DIRECTLY BELOW RIDGE POINT PER SITE PLAN WHICH IS MORE RESTRICTIVE THAN THE FINISHED GRADE.

PROJECT IS ZONED R-2

FLOOD ZONE-AE AND FLOOD HAZARD PER FEMA MAPPING

FIRE HAZARD MITIGATION: CONTRACTOR TO SCHEDULE AN ON-SITE REVIEW OF DEFENSIBLE SPACE WITH LOCAL FIRE DEPARTMENT

**LOT COVERAGE:**

LOT SIZE:	574 ACRES	25,003 SF	100%
LOT COVERAGE		2,298 SF	
HOUSE (EXISTING)-(PROPOSED)		870 SF	30%
DRIVE (EXISTING)-(PROPOSED)		4,564 SF	
TOTAL		7,734 SF	
TOTAL OPEN SPACE		17,269 SF	70%

**SNOW STACK:**

HARDSCAPE (PAVING-GRAVEL DRIVE) EXISTING	4,466 SF
REQUIRED SNOWSTACK	8256-1141 SF
TOTAL SNOWSTACK PROVIDED	1168 SF

**SITE/LANDSCAPE NOTES:**

1. CONTRACTOR AND SURVEYOR ARE TO CONFIRM ALL PROPERTY BOUNDARIES AND SETBACKS FROM TO CONSTRUCTION AND TO STAKE HOUSE AND DRIVE FOR OWNER, ARCHITECT AND DESIGN REVIEW PRIOR TO ANY WORK.
  2. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND COORDINATE ROUTING AND METERS WITH UTILITY COMPANIES. ALL UTILITIES TO BE UNDERGROUND WITH ELECTRIC, GAS, PHONE AND T.V. IN A COMMON TRENCH.
  3. PROVIDE DRAINAGE SWALES AS REQUIRED TO ALLOW POSITIVE DRAINAGE AWAY FROM BUILDING FORMALITY. SLOPE MINIMUM 1:20. REFER TO BUILDING ELEVATIONS FOR FINISH GRADES.
  4. PROTECT ALL TREES AS NOTED. FLAG ALL TREES TO BE CUT AND STACK CUT TREES IN 8 FOOT LENGTHS. REMOVE ALL SLASH AND STUMPS.
  5. ALL LANDSCAPE TO BE INSTALLED PER SUMMIT COUNTY GUIDELINES. OWNER TO CONSULT WITH A QUALIFIED LANDSCAPE PROFESSIONAL PRIOR TO INSTALLATION.
  6. PROVIDE VEGETATION PER SUMMIT COUNTY REQUIREMENTS. OWNER TO CONSULT WITH A QUALIFIED LANDSCAPE PROFESSIONAL PRIOR TO CONSTRUCTION.
- NOTE: MINIMUM COUNTY LANDSCAPE REQUIREMENTS-(1) TREES, (2) SHRUBS PER LOT

**PLANTING LIST:**

KEY	COMMON	BOTANICAL	NO.	SIZE
<b>EXISTING TREES</b>				
⊞	EXISTING	VARIES	+30	SEE SITE PLAN
⊞	EXISTING TREES TO BE REMOVED	AND/OR TRANSPLANT	11	SEE SITE PLAN
⊞	VARIABLES	NONE	14	SEE SITE PLAN
<b>PROPOSED TREES</b>				
⊞	BLUE SPRUCE	PICEA PUGNENS OR PICEA ENGLERMANNI	10	6" TO 8" TALL
⊞	BLUE SPRUCE	PICEA PUGNENS OR PICEA ENGLERMANNI	10	8" TO 10" TALL
⊞	ASPEN	POPULUS TREMULOIDES	20	3" CAL (GROUPS OF 3) 50% MULTI-STEM
<b>PROPOSED SHRUBS</b>				
⊞	YELLOW CURRANT	RIBES AUREUM	15	5 GAL.
⊞	HONEYBUCKLE	LONICERA INVOLUCRATA	15	5 GAL.
⊞	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	-	VEGETATE ALL DISTURBED AREAS

**REVISIONS:**



SEAL:

**b.Conferarchitecture**  
235 EAST HERRING COURT, SUITE 1000, COLO SPRING, CO 80901  
**BRIAR ROSE ADDITION**  
271 BRIAR ROSE, BRECKENRIDGE, CO 80424

ISSUE DATES:  
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NOTES:

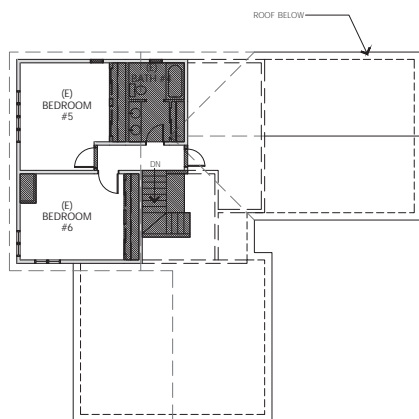
GENERAL DEMOLITION NOTES:

1. HATCHING INDICATES EXTENT OF WALLS, DOORS, COUNTERTOPS, PLUMBING, ETC. TO BE REMOVED. ANY ELECTRICAL OR PLUMBING @ THESE AREAS TO BE REMOVED. CARPET MARKED AND/OR RELICATED AS REQUIRED.
2. ALL EXISTING LIGHTS TO BE REMOVED AND REUSED OR REPLACED COORDINATE WITH OWNER.
3. ALL EXISTING J-BOXES @ CEILING TO REMAIN. ANY THAT ARE NOT PRESENTLY OR PROPOSED FOR USE TO BE COVERED WITH A BLANK PLATE.
4. ALL EXISTING ELECTRICAL OUTLETS TO REMAIN UNLESS NOTED OTHERWISE, VERIFY W/ OWNER.
5. ALL EXISTING CEILINGS TO REMAIN. PATCH & REPAIR AS REQUIRED TO RECEIVE NEW FINISH AND PAINT.
6. ALL EXISTING WALL MOUNTED LIGHT SWITCHES TO REMAIN. ANY THAT ARE NOT PRESENTLY OR PROPOSED FOR USE TO BE COVERED WITH A BLANK PLATE. SWITCHES FOR EXISTING LIGHTS MAY BE RELICATED (VERIFY W/ OWNER).
7. PATCH & REPAIR EXISTING WALLS (INTERIOR & EXTERIOR) TO REMAIN AS REQUIRED TO RECEIVE NEW FINISH.
8. EXTERIOR SIDING AND 2X WALLS TO BE RECYCLED AND REUSED (VERIFY W/ OWNER).
9. ALL EXISTING WINDOWS TO REMAIN AND/OR BE REUSED IN NEW. ADDITIONAL EXISTING WINDOW COVERINGS TO BE REMOVED.
10. ALL EXISTING BASE TRIM ALONG INTERIOR WALLS TO BE REMOVED. WOOD TRIM @ EXTERIOR DOORS & WINDOWS TO BE REMOVED.
11. COORDINATE AND LOCATE EXISTING HEAT ZONES AND CONNECT NEW HEAT ZONE TO EXISTING AS REQUIRED.
12. EXISTING SHINGLE ROOF TO REMAIN.

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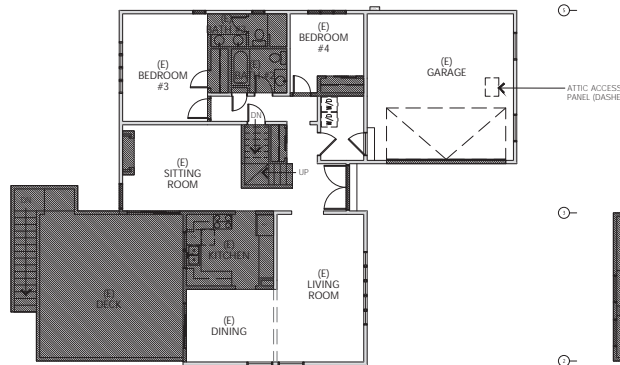
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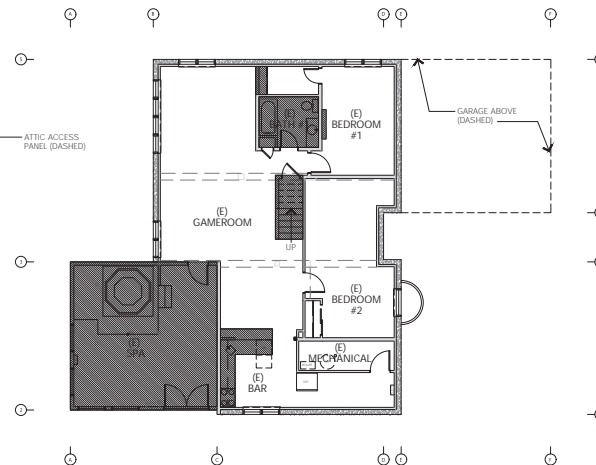
EXISTING UPPER LEVEL PLAN

SCALE: 1/8" = 1'-0"



EXISTING MAIN LEVEL PLAN

SCALE: 1/8" = 1'-0"



EXISTING LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



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230 EAST HERRING COURT, SUITE 1000, COLO SPRING, CO 80901

BRIAR ROSE ADDITION  
273 BRIAR ROSE BRECKENRIDGE, CO 80420

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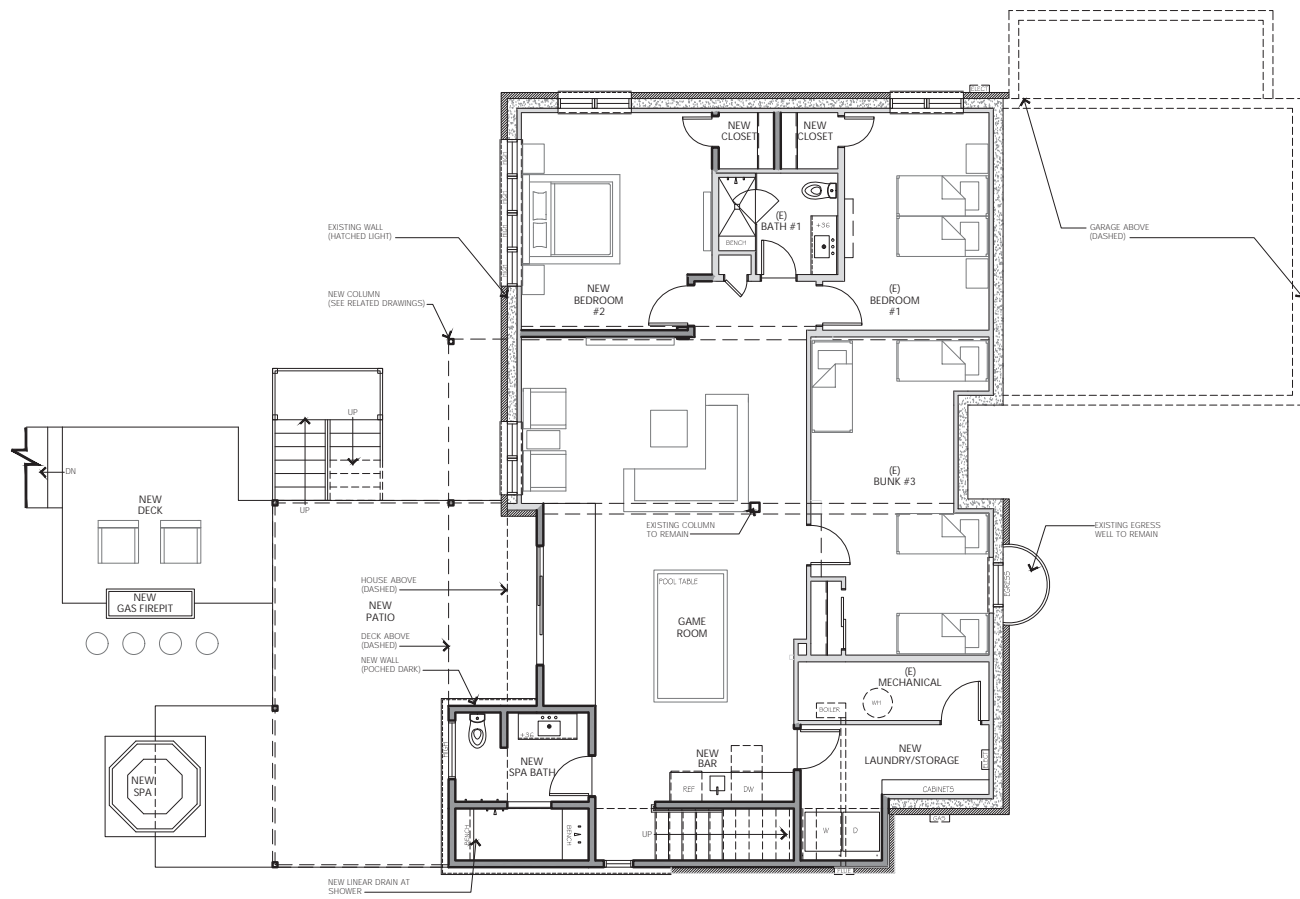
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# PROPOSED LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"



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220 EAST HARBOR COURT, SUITE 1000, COLORADO SPRINGS  
970.339.7800

**BRIAR ROSE ADDITION**  
213 BRIAR ROSE, BRECKENRIDGE, COLORADO

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 970.339.7801

**BRIAR ROSE ADDITION**  
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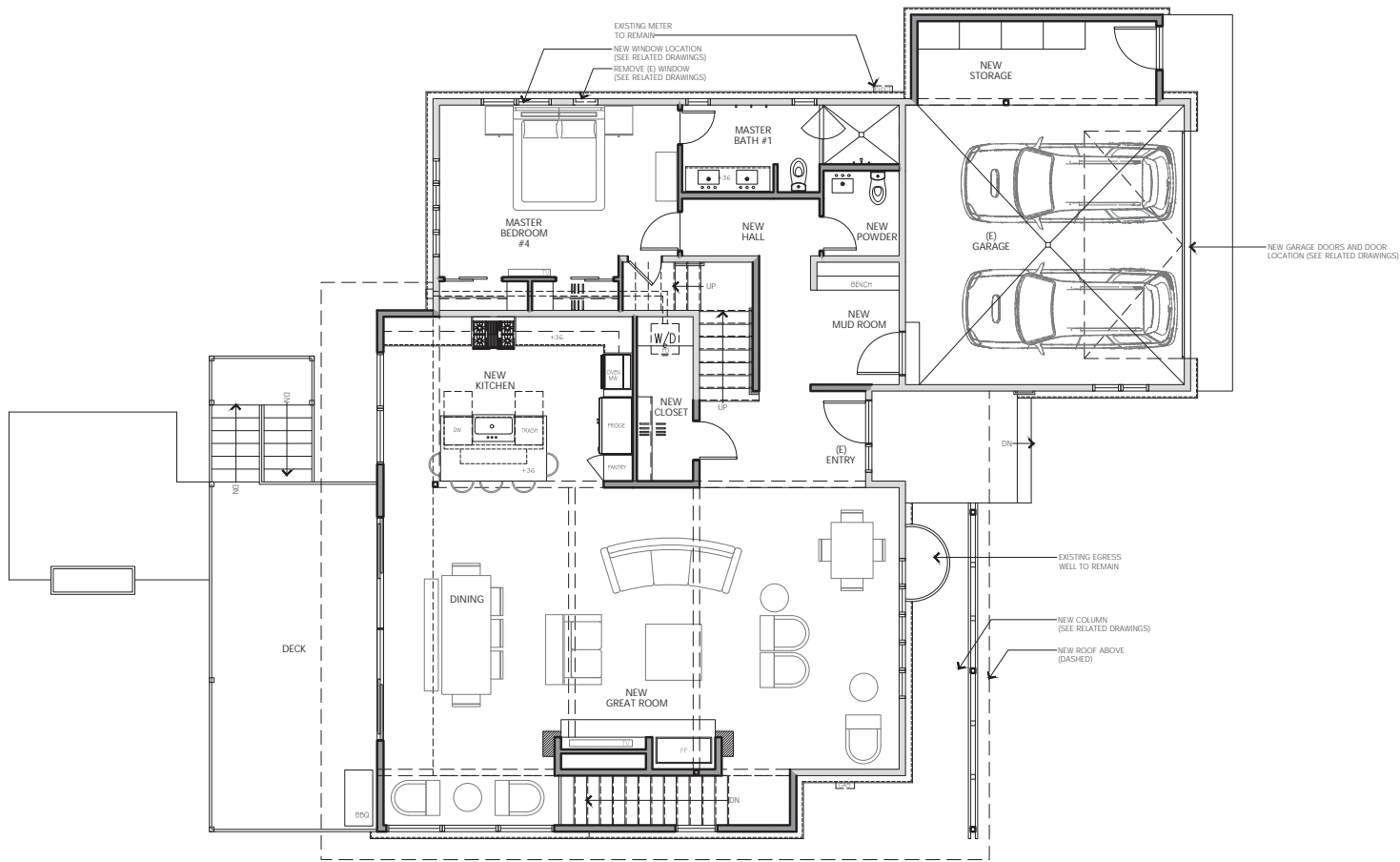
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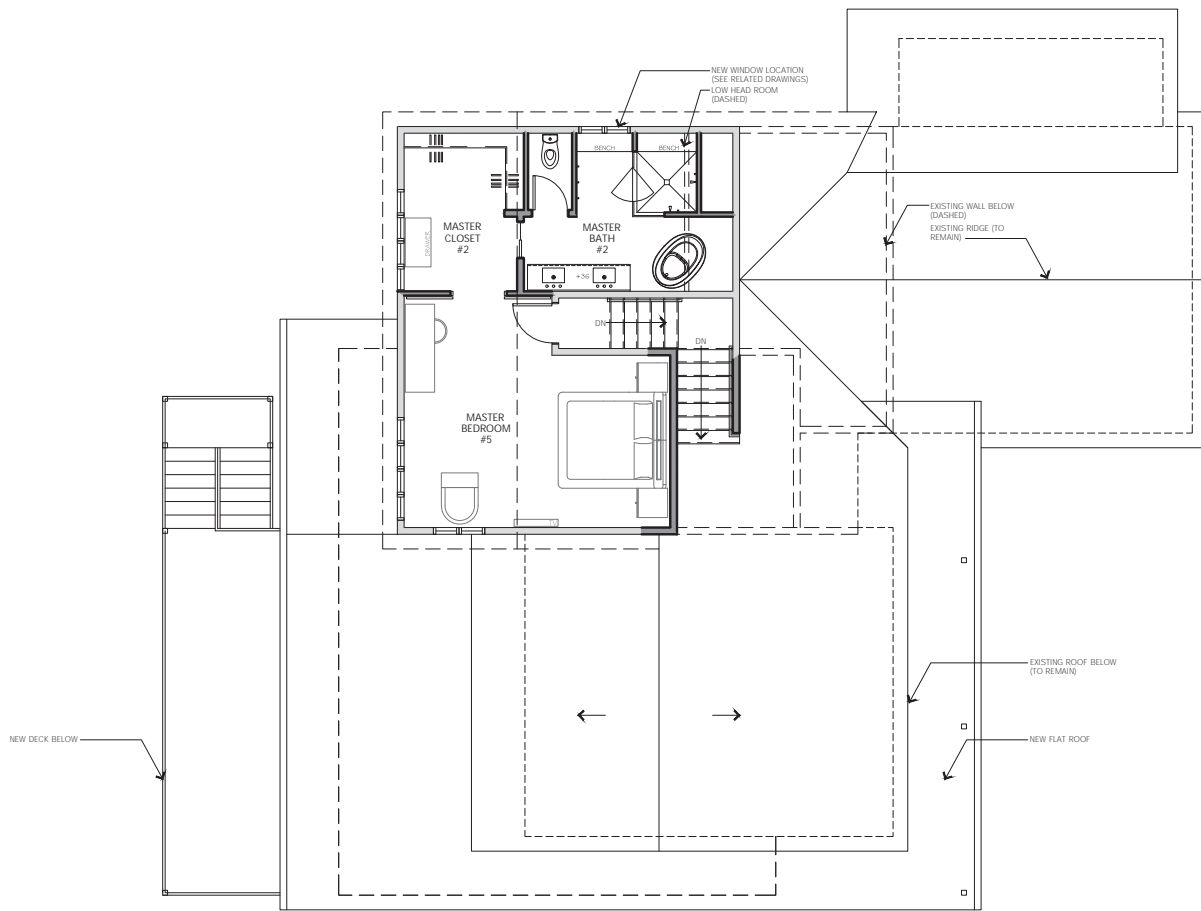
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**PROPOSED MAIN LEVEL PLAN**  
 SCALE: 1/4" = 1'-0"



NOTES:



# PROPOSED UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"



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**BRIAR ROSE ADDITION**  
213 BRIAR ROSE, BRECKENRIDGE, COLORADO

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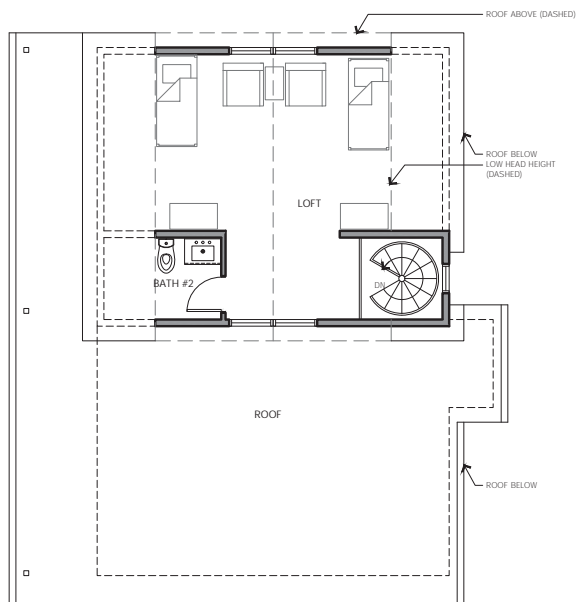


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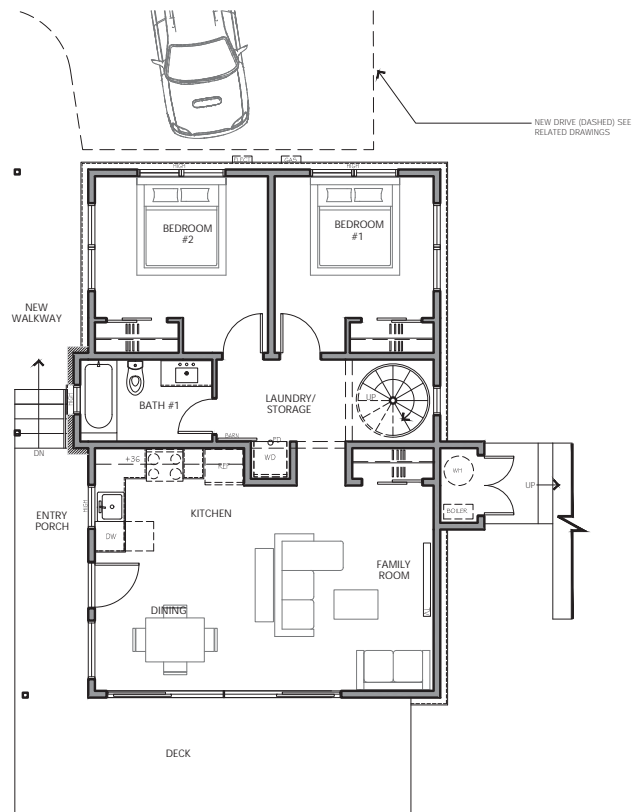
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ACCESSORY LOFT LEVEL PLAN

SCALE: 1/4" = 1'-0"



ACCESSORY MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"



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**BRIAR ROSE ADDITION**  
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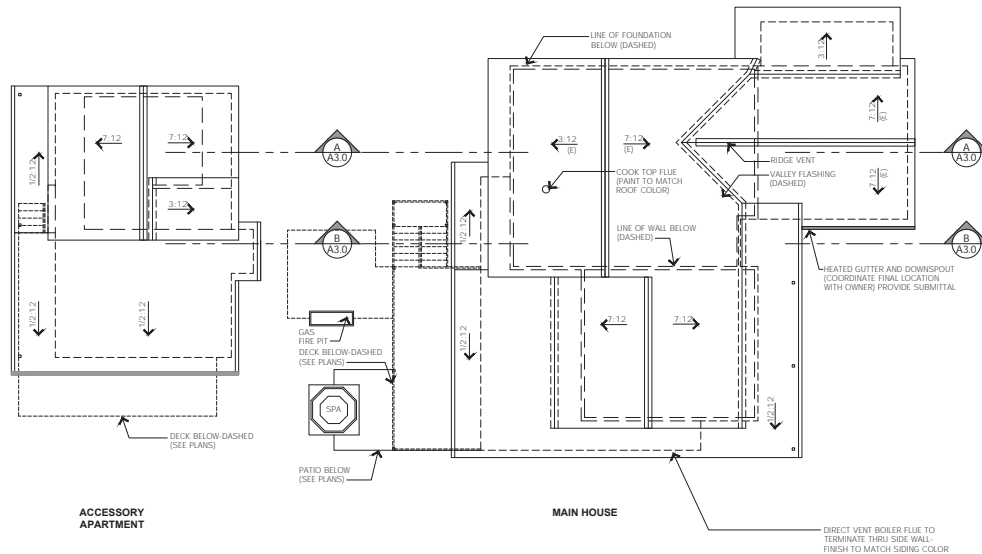
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DETAILS:



ACCESSORY APARTMENT

MAIN HOUSE

DIRECT VENT BOILER FLUE TO TERMINATE THRU SIDE WALL - FINISH TO MATCH SIDING COLOR

ROOF PLAN

SCALE: 1/8" = 1'-0"



5 ROOF/WALL JUNCTURE AT RAKE  
A1.2 1 1/2" = 1'-0"

1 RIDGE  
A1.2 1 1/2" = 1'-0"

6 ROOF/WALL JUNCTURE AT RAKE  
A1.2 1 1/2" = 1'-0"

2 RIDGE AT TRUSS (SIM)  
A1.2 1 1/2" = 1'-0" VENT AT SIM

7 FASCIA AT RAKE  
A1.2 1 1/2" = 1'-0" CUT FRAMING AT SIM

3 FASCIA  
A1.2 1 1/2" = 1'-0"

B ROOF NOTES  
A1.2 3/4" = 1'-0"

4 FASCIA AT TRUSS (SIM)  
A1.2 1 1/2" = 1'-0"

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1. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS
2. ALL ROOF OVERHANGS TO BE 2'-0" UNLESS NOTED OTHERWISE
3. PAINT ALL EXPOSED PIPING EXTENDING THRU ROOF TO MATCH ROOF
4. WATERPROOF OUTLETS AT EAVES. COORDINATE ADDITIONAL OUTLETS WITH OWNER.
5. THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE
6. REFER TO DRAWINGS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER MANUFACTURERS SPECIFICATION REQUIREMENTS. PROVIDE CERTIFICATION LETTERS STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH MANUFACTURERS REQUIREMENTS.

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201 EAST RABBIT COURT SILVERTHORNE CO 80598 970.587.7931

**BRIAR ROSE ADDITION**  
213 BRIAR ROSE, BRECKENRIDGE, CO 80420

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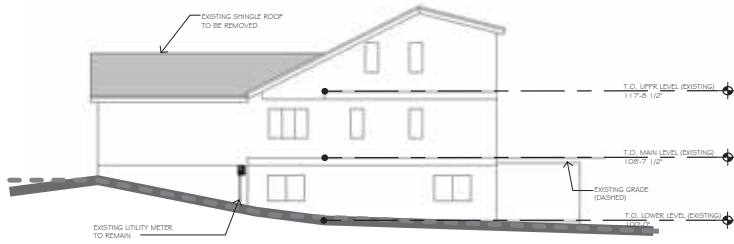
**WEST ELEVATION**

SCALE: 1/8"=1'-0"



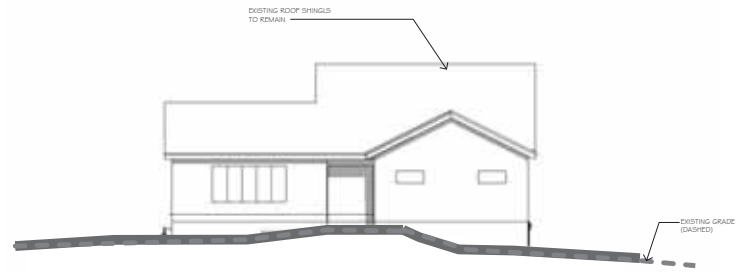
**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

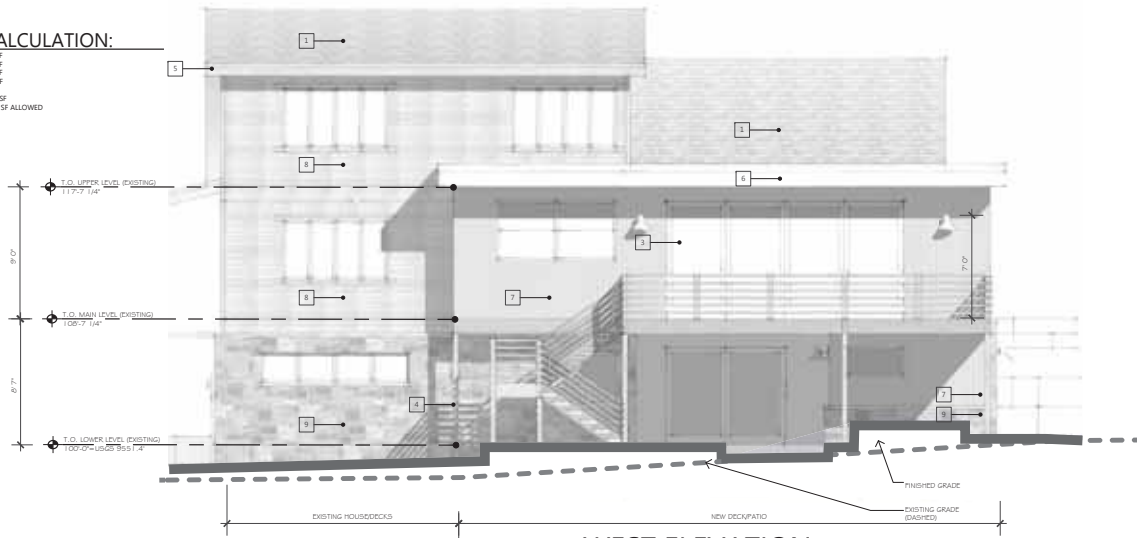


**EAST ELEVATION**

SCALE: 1/8"=1'-0"

**MATERIAL CALCULATION:**

- 1. WINDOWS/TRIM = 385 SF
  - 2. WOOD SIDING = 288 SF
  - 3. STONE = 224 SF
  - 4. METAL SIDING = 201 SF
- TOTAL SURFACE = 1206 SF  
X 25% MAX = 301.5 SF ALLOWED

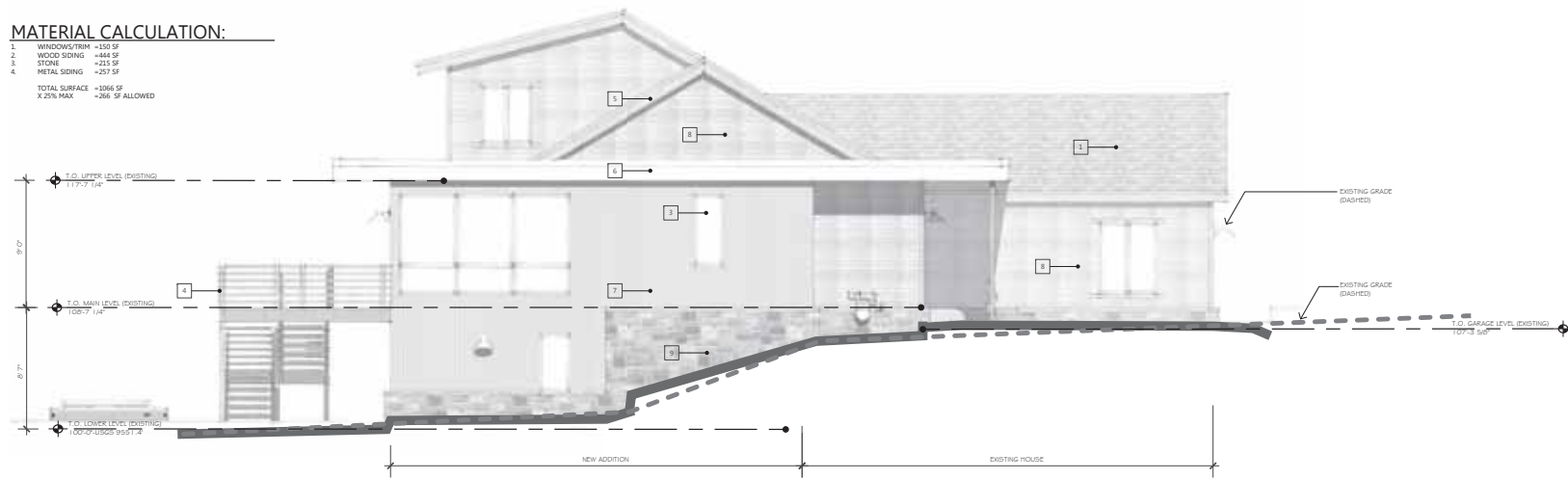


**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**MATERIAL CALCULATION:**

- 1. WINDOWS/TRIM = 430 SF
  - 2. WOOD SIDING = 444 SF
  - 3. STONE = 215 SF
  - 4. METAL SIDING = 257 SF
- TOTAL SURFACE = 1066 SF  
X 25% MAX = 266 SF ALLOWED



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- 1. REFER TO EXISTING BUILDING SECTIONS FOR TYPICAL ASSEMBLY NOTES
- 2. SEE PLANS FOR WINDOW (WIDTH) ROUGH OPENING DIMENSIONS PROVIDE COMPLETE WINDOW SUBMITTAL FOR REVIEW
- 3. EXTERIOR LIGHT FIXTURE TYPICAL (HEIGHT) 7'-0" AFF. UNLESS OTHERWISE NOTED
- 4. DOOR AND WINDOW HEIGHTS ARE DIMENSIONED TO FINISHED HEAD AND SILL (VERIFY WITH ARCHITECT) TYPICAL HEAD HEIGHT 8'-0" AFF UNCL. SIZES ARE GENERIC AND SHOULD BE COORDINATED WITH MANUFACTURER CHOSEN. PROVIDE A COMPLETE SUBMITTAL FOR REVIEW.
- 5. REFER TO BUILDING SECTIONS FOR RIDGE AND PLATE HEIGHT INFORMATION.

**EXTERIOR COLOR SCHEDULE**

- 1 → ROOF: SHINGLE-GAF HD-WEATHERED WOOD
- 2 → ROOF: METAL-BERRIDGE STANDING SEAM-SLATE GREY
- 3 → WINDOWS AND DOORS: JELD-WEN-BLACK
- 4 → ACCENT METAL/COLUMNS/RAILS: TO MATCH BERRIDGE-SLATE GREY
- 5 → FASCIA/ROOF SOFFIT: SHERWIN WILLIAMS-BLUE SHADOW
- 6 → FLAT ROOF SOFFIT: SHERWIN WILLIAMS-CROSSROADS
- 7 → VERTICAL METAL SIDING: 7/8" CORRUGATED METAL-WEATHERING
- 8 → HORIZONTAL SIDING: SHIP LAP-2x4 MONTANA GHOST WOOD-BLACK FOOT
- 9 → STONE: GALLEGOS STONE-SEBASTIAN SQUARES-RECTANGLES CHOPPED

REVISIONS

STAMP

**b.Conferarchitecture**  
201 EAST RABBIT COURT SILVERTHORNE CO 80198 970.587.7931

**BRIAR ROSE ADDITION**  
213 BRIAR ROSE, BRECKENRIDGE, CO 80420

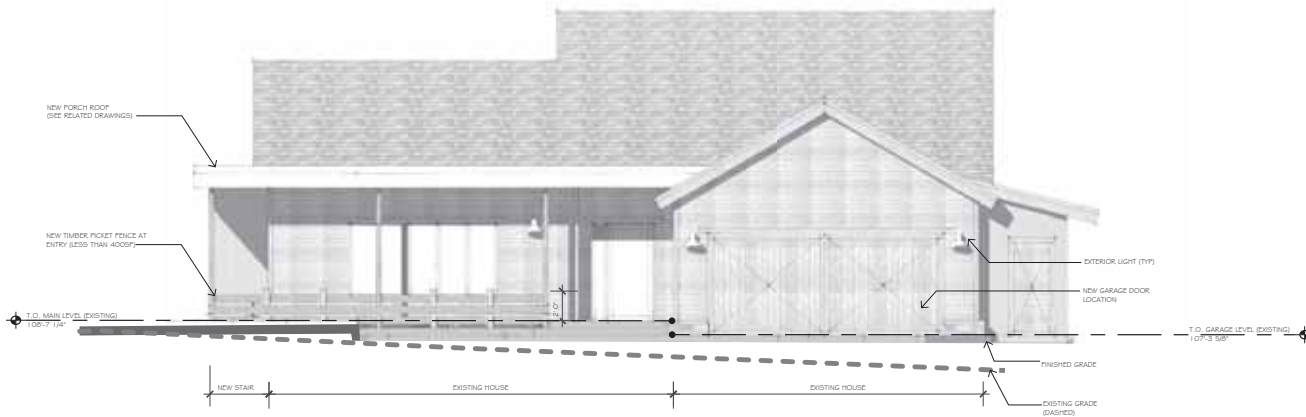
ISSUE DATE: 07.29.2018  
DEVELOPMENT APPLICATION REVIEWED: 02.12.2018

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JOB NUMBER: 1602  
SHEET NUMBER

**A2.1**

OF 14



### EAST ELEVATION

SCALE: 1/4" = 1'-0"



### NORTH ELEVATION

SCALE: 1/4" = 1'-0"

#### ELEVATION NOTES:

1. REFER TO EXISTING BUILDING SECTIONS FOR TYPICAL ASSEMBLY NOTES
2. SEE PLANS FOR WINDOW (WIDTH) ROUGH OPENING DIMENSIONS. PROVIDE COMPLETE WINDOW SUBMITTAL FOR REVIEW.
3. EXTERIOR LIGHT FIXTURE TYPICAL (HEIGHT) 7'-0" AFF, UNLESS OTHERWISE NOTED.
4. DOOR AND WINDOW HEIGHTS ARE DIMENSIONED TO FINISHED HEAD AND SILL (VERIFY WITH ARCHITECT) TYPICAL HEAD HEIGHT 8'-0" AFF UNCL. SIZES ARE GENERIC AND SHOULD BE COORDINATED WITH MANUFACTURER CHOSEN. PROVIDE A COMPLETE SUBMITTAL FOR REVIEW.
5. REFER TO BUILDING SECTIONS FOR RIDGE AND PLATE HEIGHT INFORMATION.

#### EXTERIOR COLOR SCHEDULE

- |   |   |
|---|---|
| 1 | ROOF: SHINGLE- GAF HD-WEATHERED WOOD                            |
| 2 | ROOF: METAL- BERRIDGE STANDING SEAM- 'SLATE GREY'               |
| 3 | WINDOWS AND DOORS: 'BEL WEN- BLACK'                             |
| 4 | ACCENT METAL/COLUMNS/RAILS: TO MATCH BERRIDGE- 'SLATE GREY'     |
| 5 | FASCIA/ROOF SOFFIT: SHERWIN WILLIAMS- 'BLUE SHADOW'             |
| 6 | FLAT ROOF SOFFIT: SHERWIN WILLIAMS- 'CROSSROADS'                |
| 7 | VERTICAL METAL SIDING: 7/8" CORRUGATED METAL- 'WEATHERING'      |
| 8 | HORIZONTAL SIDING: SHIP LAP- 'MONTANA GHOST WOOD- 'BLACK FOOT'  |
| 9 | STONE: GALLEGOS STONE- 'SEBASTIAN SQUARES- 'RECTANGLES CHOPPED' |

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**BRIAR ROSE ADDITION**  
 213 BRIAR ROSE, BRICKENRIDGE, COORADO

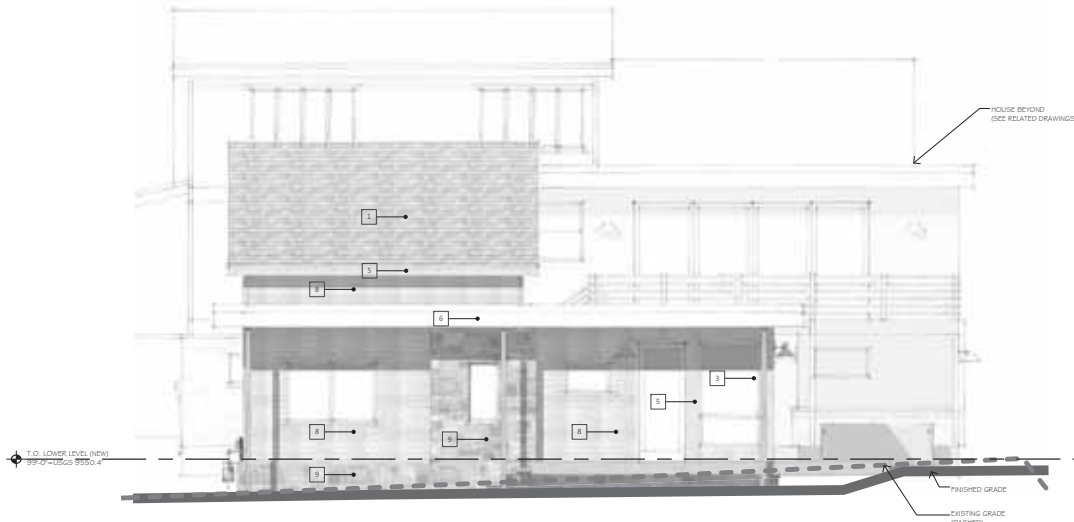
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 REVISION 02.12.2018

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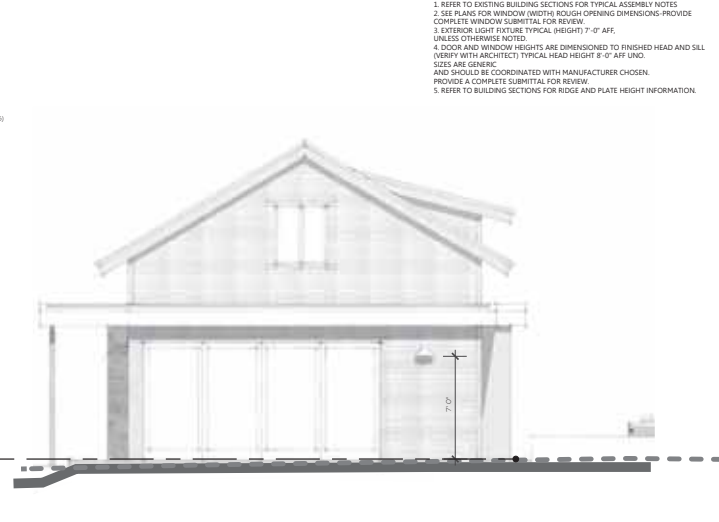
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 SHEET NUMBER

**A2.2**

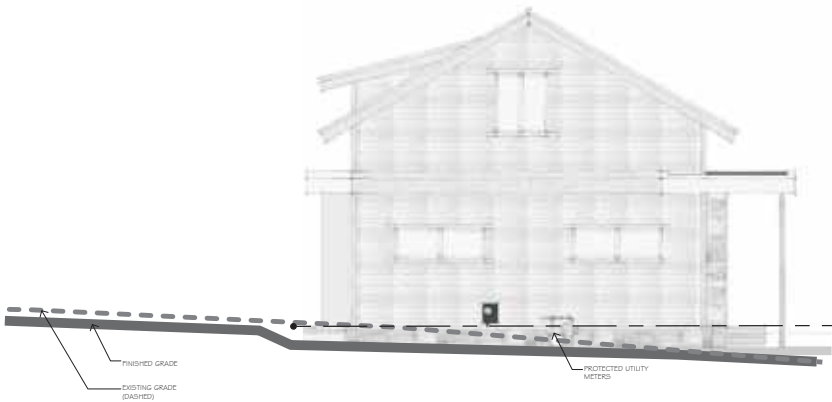
OF 14



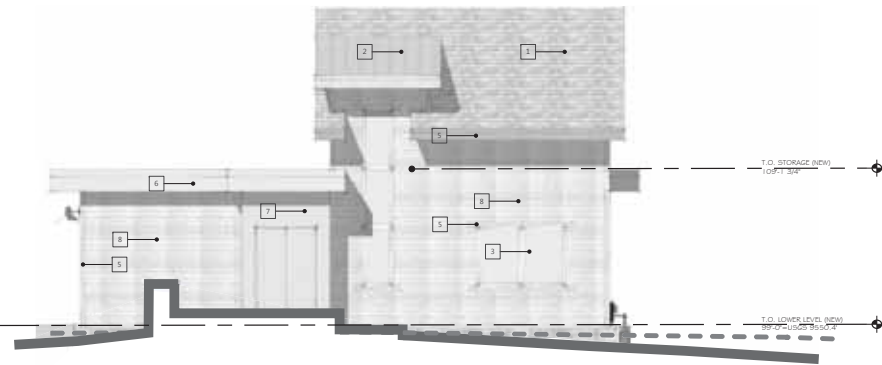
**ACCESSORY WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**ACCESSORY SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**ACCESSORY NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**ACCESSORY EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

1. REFER TO EXISTING BUILDING SECTIONS FOR TYPICAL ASSEMBLY NOTES
2. SEE PLANS FOR WINDOW (WIDTH) ROUGH OPENING DIMENSIONS PROVIDE COMPLETE WINDOW SUBMITTAL FOR REVIEW.
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5. REFER TO BUILDING SECTIONS FOR RIDGE AND PLATE HEIGHT INFORMATION.

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2010 EAST RABBIT COURT SILVERTHORNE CO. 80198 970.587.7931

**BRIAR ROSE ADDITION**  
213 BRIAR ROSE (BICKENRIDGE, COLORADO)

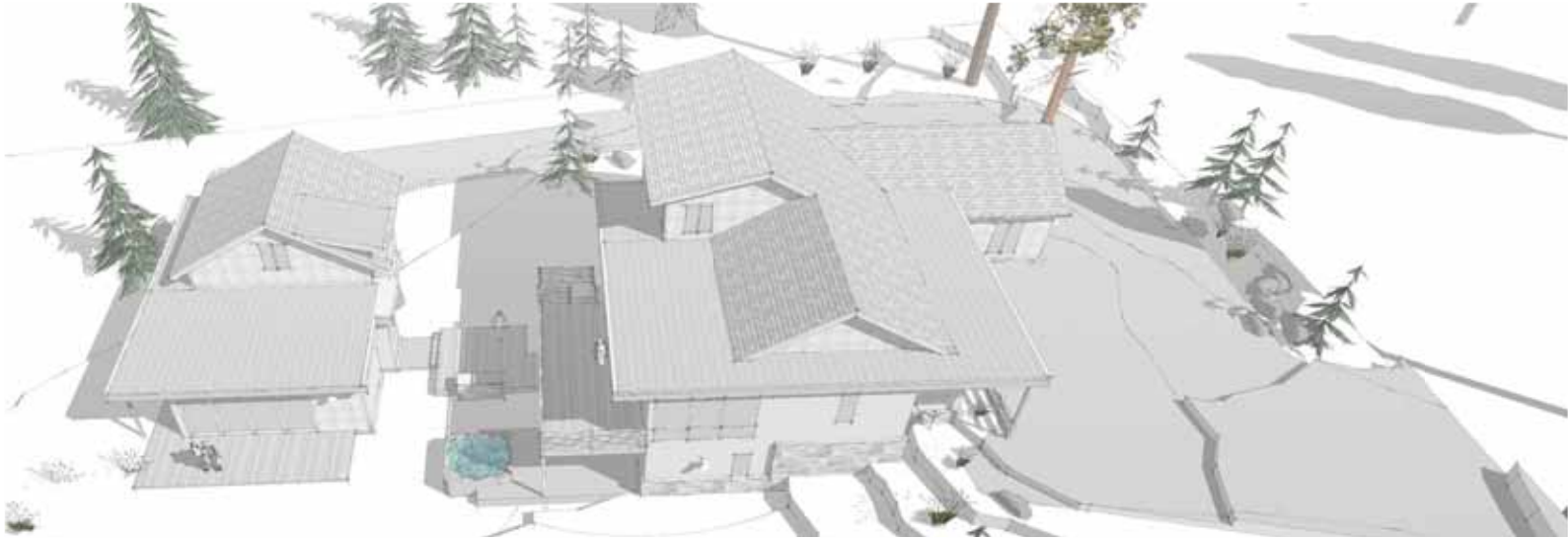
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DEVELOPMENT APPLICATION  
07.29.2018  
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JOB NUMBER 1602  
SHEET NUMBER

**A2.3**

OF 14



**BIRDSEYE VIEW**

NO SCALE

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**BRIAR ROSE ADDITION**  
213 BRIAR ROSE, BRECKENRIDGE, CO. 80424

ISSUE DATE: 02.29.2018  
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**A2.4**

OF 14



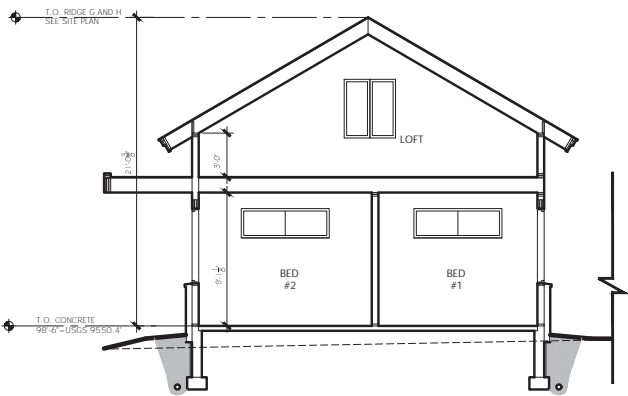
**ENTRY VIEW**

NO SCALE



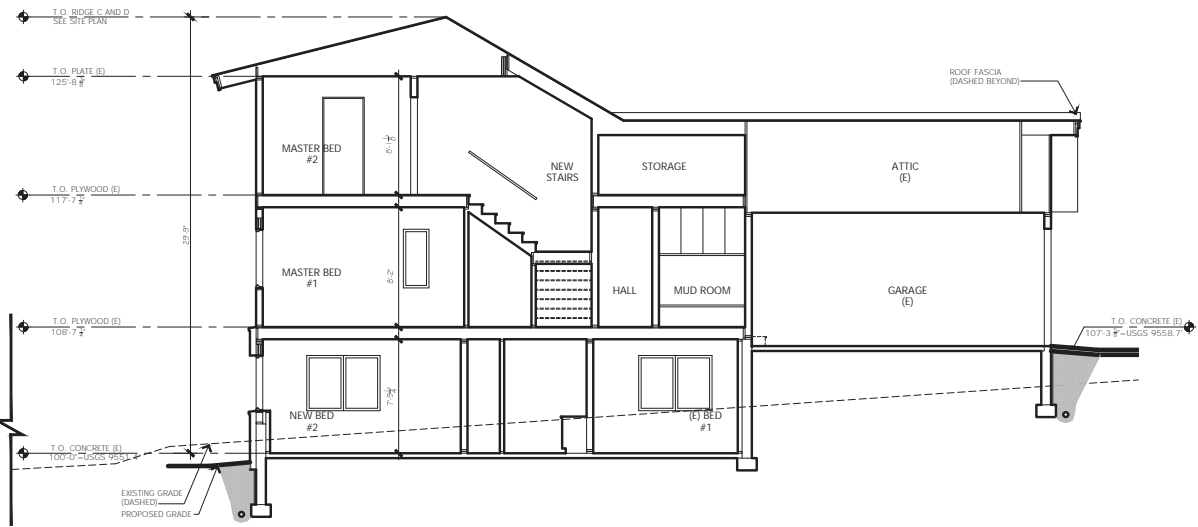
**BACK VIEW**

NO SCALE



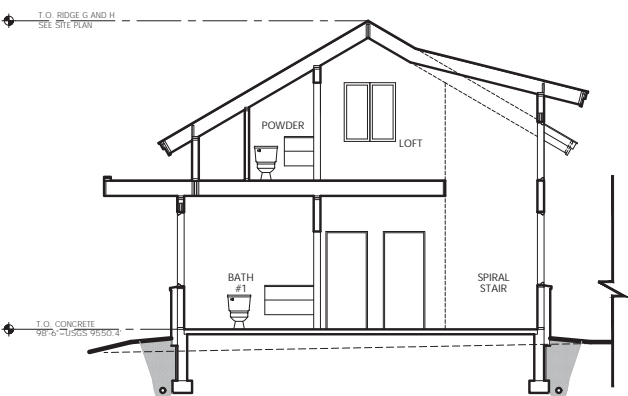
ACCESSORY-SECTION A

SCALE: 1/4" = 1'-0"



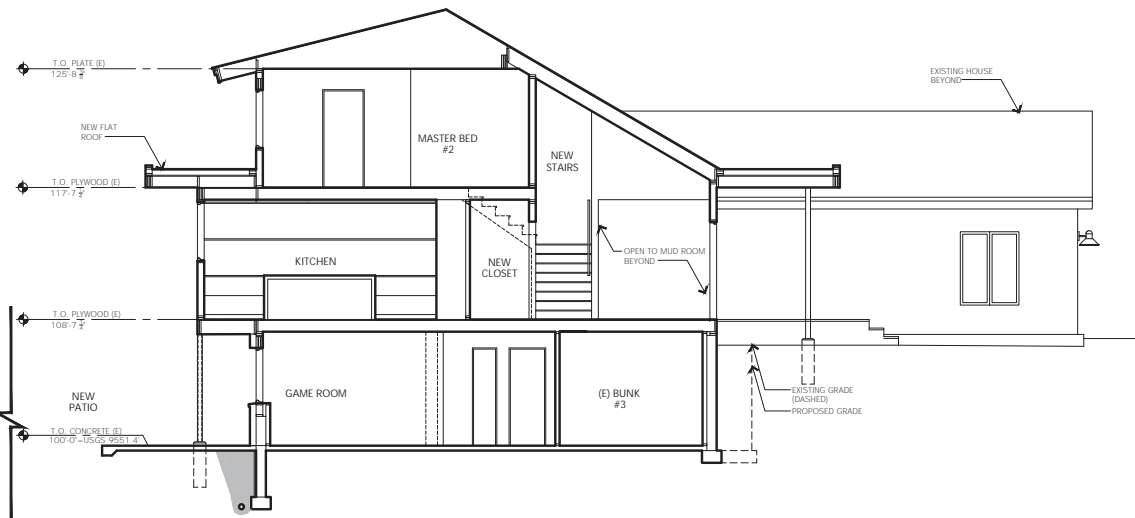
HOUSE-SECTION A

SCALE: 1/4" = 1'-0"



ACCESSORY-SECTION B

SCALE: 1/4" = 1'-0"



HOUSE-SECTION B

SCALE: 1/4" = 1'-0"

REVISIONS:



SEAL:

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220 EAST HERRING COURT, SUITE 100, DENVER, COLORADO 80202  
970.339.7800

BRIAR ROSE ADDITION  
273 BRIAR ROSE, BRECKENRIDGE, COLORADO

ISSUE DATES:  
DEVELOPMENT APPLICATION 01.29.2018  
REVISED 02.12.2018

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JOB NUMBER: 1402  
SHEET NUMBER:

A3.0

OF: 1



BRIAR ROSE ADDITION-1602  
DEVELOPMENT APPLICATION  
COLOR/MATERIAL BOARD  
01.29.2018



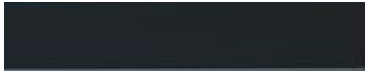
**ROOF**  
SHINGLE-GAF HD-'WEATHERED WOOD'

1



**ROOF/FASICA AT FLAT ROOF**  
METAL-BERRIDGE-STANDING SEAM-'SLATE GREY'

2



**WINDOWS AND DOORS**  
WOOD CLAD-JELD WEN-'BLACK'

3



**ACCENT METAL/COLUMNS/RAILS**  
TO MATCH BERRIDGE-'SLATE GREY'

4



**FASCIA/ROOF SOFFIT**  
SHERWIN WILLIAMS-'BLUE SHADOW'

5



**FLAT ROOF SOFFIT**  
SHERWIN WILLIAMS-'CROSSROADS'

6



**VERTICAL METAL SIDING**

7

7/8" CORRUGATED METAL- 'WEATHERING'



**HORIZONTAL SIDING**

8

SHIP LAP-1X4-MONTANA GHOST WOOD- 'BLACK FOOT'



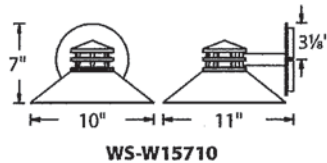
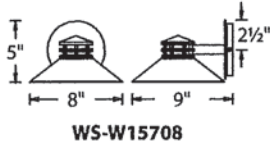
**STONE**

9

GALLEGOS STONE-SEBASTIAN SQUARES- 'RECTAGLES CHOPPED'

**SODOR** – model: WS-W157  
 dwelLED™ LED Outdoor

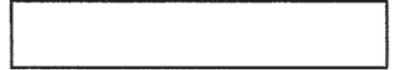
**WAC LIGHTING**  
 Responsible Lighting®



Fixture Type:

WS-W15710-BZ

Catalog Number:



Project:

BRIAR ROSE ADDITION

Location:

213 BRIAR ROSE  
 BRECKENRIDGE, CO

**PRODUCT DESCRIPTION**

A Steamwork inspired approach to a traditional lantern design. Sodor is constructed with a solid die cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

**FEATURES**

- Weather resistant powder coated finishes
- Heavy aluminum shade provides great glare cutoff
- Light engine is factory sealed for maximum protection from the elements
- Die-cast aluminum construction
- No transformer or driver required
- Color Temp: 3000K
- CRI: 90
- Dimming: 100% - 5% ELV
- Rated Life: 54,000 hours
- Input: 120V

**SPECIFICATIONS**

**Construction:** Aluminum and White Diffuser Lens

**Light Source:** High output LED.

**Finish:** Bronze (BZ), Graphite (GH)

**Standards:** ETL & cETL wet location listed. IP 65. Dark Sky Friendly

**ORDER NUMBER**

		Watt	LED Lumens	Delivered Lumens	Finish
8"	<b>WS-W15708</b>	9W	750	315	<b>BZ</b> Bronze
10"	<b>WS-W15710</b>	11.5W	1200	560	<b>GH</b> Graphite

Example: **WS-W15708-GH**

wacighting.com  
 Phone (800) 526.2588  
 Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
 44 Harbor Park Drive  
 Port Washington, NY 11050

Central Distribution Center  
 1600 Distribution Ct  
 Lithia Springs, GA 30122

Western Distribution Center  
 1750 Archibald Avenue  
 Ontario, CA 91760

## Planning Commission Staff Report

- Subject:** Hilliard House Restoration, Addition and Landmarking  
(Class B Historic, Final Hearing; PL-2017-0297)
- Proposal:** To restore, rehabilitate and build a full basement beneath the historic house, removing all existing non-historic and non-conforming additions. Restore historic shed, add full basement and connect to the side of the house. Add a new connector and kitchen to the rear of the house. Add a new market rate housing unit at the rear of property and create a basement level deed-restricted employee housing unit beneath the new kitchen. The historic house and shed are proposed to be locally landmarked.
- Date:** February 8, 2018 (For meeting of February 20, 2018)
- Project Manager:** Chris Kulick, AICP, Planner III
- Applicants/Owners:** Gwen Fletcher & Susan Stanley
- Agent:** J.L. Sutterley, Architect
- Address:** 110 South Ridge Street
- Legal Description:** Lot 26-27, Block 11, Abbetts Addition Subdivision
- Site Area:** 0.11 acres (4,704 sq. ft.)
- Land Use District:** LUD 18.2: 1:1 Commercial Floor Area Ratio (FAR); 20 Units per Acre (UPA)
- Historic District:** South End Residential
- Site Conditions:** The western portion of the lot along South Ridge Street is relatively flat and then rises sharply at 30% to the eastern edge that borders the Ridge Street Alley. The lot contains the current Moe's Barbeque Restaurant. The building is located 8' from the sidewalk along South Ridge Street. A historic shed is located along the eastern property line. A dilapidated former historic chicken coop is situated on the steep hillside behind the restaurant. One mature cottonwood tree is located in the southwest corner of the property. A patio encompasses the entire South Ridge frontage and stretches back 33' on the south side of the restaurant. The back steps to Fatty's Restaurant on the north and the walkway to the accessory apartment located above Mountain Outfitters property to the south currently encroach onto the property.
- Adjacent Uses:** North: Commercial (Fatty's Restaurant)  
South: Mixed Use (Mountain Outfitters and single residential apartment)  
East: Alley (privately maintained) and single family residential  
West: Ridge Street and Commercial (Angel's Hollow Restaurant)
- Density:** Allowed under LUGs:

Commercial (1:1 FAR):	4,704 sq. ft.
Residential (20 UPA):	2,160 sq. ft.
Mixed Use:	3,075 sq. ft.
Proposed Density (Mixed Use):	2,954 sq. ft.

**Above Ground Density:**

<b>Allowed:</b>	
At 9 UPA:	1,555 sq. ft.
At 12 UPA (with negative points):	2,073 sq. ft.
<b>Existing:</b>	2,264 sq. ft.
Proposed (192 sq. ft. less than existing):	2,056 sq. ft.

<b>Mass:</b>	Allowed under LUGs:	3,095 sq. ft.
	Proposed:	2,080 sq. ft.

<b>Total:</b>	<b>Historic Hilliard House (Commercial)</b>	
	Lower Level (Free Basement Density):	860 sq. ft.
	Main Level:	801 sq. ft.
	Upper Level:	266 sq. ft.
	Subtotal – Historic Hilliard House:	1,067 sq. ft.

<b>Historic South Shed (Commercial)</b>	
Lower Level (Free Basement Density):	176 sq. ft.
Main Level:	176 sq. ft.
Subtotal- Historic South Shed:	176 sq. ft.

<b>New Kitchen &amp; Employee Unit Addition (Commercial &amp; Workforce Housing)</b>	
Lower Level (Workforce Unit):	516 sq. ft.
Main Level: (Commercial):	324 sq. ft.
Subtotal- Kitchen & Employee Unit:	840 sq. ft.

<b>South Connector (Commercial)</b>	
Main Level:	54 sq. ft.

<b>North Connector (Commercial)</b>	
Main Level:	72 sq. ft.

<b>New Residential (Market Rate Housing)</b>	
Main Level: (44 sq. ft. above ground)	372 sq. ft.
Upper Level:	319 sq. ft.
Subtotal- Market Rate Housing Unit:	691 sq. ft.

**F.A.R.:** 1:1.17

<b>Height:</b>	Recommended:	23' (mean) 26' (max)
	Proposed (Existing Hilliard House):	19'-9.25" (mean)
	Proposed (Market Rate Residential):	15' (mean)

<b>Lot Coverage:</b>	Building / non-Permeable:	1,879 sq. ft. (40% of site)
	Hard Surface / non-Permeable:	1,522 sq. ft. (32% of site)
	Open Space / Permeable Area:	1,308 sq. ft. (28% of site)
<b>Parking:</b>	Required:	
	Restaurant Use (3.5/1,000 sq. ft.):	9.30 spaces
	Market Rate Housing (1.1/1,000 sq. ft.)	0.79 space
	Employee Housing (Exempt in District)	0.0 spaces
	Proposed (on-site for market rate housing):	1.00 space
	To be purchased in Parking Service Area:	1.38 spaces
	Parking District Credit from existing use:	7.92 spaces
<b>Snowstack:</b>	Required:	102 sq. ft. (25%)
	Proposed:	105 sq. ft. (26%)
<b>Setbacks:</b>	Commercial:	
	Front (0' allowed):	8 ft.
	Sides (0' allowed):	0 ft.
	Rear (0' allowed):	27 ft.
	Residential:	
	Front (10' allowed, 15' recommended):	71 ft.
	Sides (3' allowed, 5' recommended):	5 ft.
	Rear (5' allowed, 15' recommended):	5 ft.

### **Item History**

Mary and William L. Patterson had this one story, hewn timber residence built between December of 1880 and February of 1881. The house is best known as the home of Lewis F. Hilliard who gained fame as the assayer who cleaned and weighed “Tom’s Baby”, Colorado’s largest gold nugget. The nugget weighed 160 oz. when it was first discovered, and 136 oz. 5 dwt. after its face was cleaned. It was taken out of the Gold Flake Mine on Farncomb Hill, near Breckenridge, on July 23, 1887. The nugget is now on display with the John F. Campion Collection at the Denver Museum of Nature and Science.

By August of 1886, a second story had been added to the log structure and it housed an assay office with a gasoline furnace. In 1887, assayer Lewis F. Hilliard and his wife, Mary M. purchased the structure and made it their permanent home. They lived there, with their two daughters Lilly and Mary. Hilliard was a Civil War veteran and member of the Masonic order.

The property remained in the Hilliard family until Mary Hilliard Williams, a daughter, sold the property to Rebecca and Dean Bussart in 1961. The early log residence became the Angel’s Rest Restaurant in 1973. Henry E. Fish purchased the property in 1986 and became the A. R. Restaurant and Bar in 1987. The New York Deli moved into the building in 1993, and Bubba’s Bones BBQ operated there from 1996 – 2010. The building was briefly home to the La Montana Linda restaurant in 2011 and had a noteworthy incident involving reality TV personality “Dog the Bounty Hunter” and the restaurant’s owners that was widely reported in the tabloid press. This incident only added to the interesting lore of the building.

The building briefly sat vacant until Moe's BBQ entered into a lease with Mr. Fish in 2012. Prior to occupying the building, Moe's BBQ added a barbeque smoker and in addition, did some historic preservation improvements (see Policy 24 discussion for details). This restoration and barbeque smoker were approved under permit PC#2012055 and received three (+3) positive points under Policy 24/R: Social Community, for historic preservation of minimal public benefit and three (-3) negative points under Policy 30/R: Air Quality, for the wood burning smoker.

Most recently the property was purchased by the current owners, Gwen Fletcher & Susan Stanley, in January 2017.

Previously, on September 5, 2017 and January 2, 2018 the Planning Commission reviewed the Hilliard House during Preliminary Hearings. At those meetings, staff received direction on several policies. Below is a summary of the policies that achieved a consensus and remain unchanged from the previous preliminary hearings. These consensus items include:

- **The Social Community (24/A & 24/R):**

- Positive (+6) six points for on-site historic preservation/restoration effort of above average public benefit of a primary structure (main house).
- Positive (+3) three points for on-site historic preservation/restoration effort of above average public benefit of a secondary structure (shed).
- Negative (-3) points for relocating a historic secondary structure more than ten feet (10') from its current or original location, but keeping the structure on its original lot.
- Found the former chicken coop is no longer a structure and its removal does not violate Policy 24/A.
- Negative (-18) eighteen points for above ground density proposed at 11.99 UPA.
- Positive (+10) ten points for 17.6% of the project consisting of deed restricted workforce housing.
- The proposed buildings are within the 540 to 2,600 square feet module range that survive in the South End residential character today.
- Priority Design Standards 4, 5 and 8: The site plan matches the Town's settlement pattern, grid and reinforces the block's unity.
- Design Standards 9 & 156: The outside parking space is adequately screened by the proposed design.
- Priority Design Standard 80/A: The proposed connectors comply with 80/A.
- Priority Design Standards 80 and 158: The design utilizes subordinate, secondary structures and subterranean density.
- Priority Design Standards 81: The proposed secondary structures are subordinate in height to the primary building.
- Priority Design Standard 88: The proposed buildings are in scale with nearby historic buildings.
- Priority Design Standard 94: The proposed façade proportions are similar to those of the historic and supporting buildings in the character area.
- Priority Design Standard 95: The proportions of proposed window and door openings are similar to historic buildings in the area.
- Priority Design Standard 96: The ratio of solid to void in the proposed design is similar to those found on historic and supporting buildings.
- Design Standard 159: The design breaks up the above ground density into multiple modules.

- Priority Design Standard 163: The proposed building heights are similar to nearby historic buildings.
- Priority Design Standard 164: The design reinforces the typical narrow front façade widths that are typical of historic buildings in the area. The building frontage is less than 50' in width.
- Priority Design Standards 165 & 166: The design complies architecturally and maintains the present balance of building and roof materials found in the Character Area.
- Design Standard 168: The design uses building features that are similar in size and shape to those used traditionally. Furthermore the proposed windows are similar in size and shape to those used historically.
- Design Standard 171: The Commission found using evergreen trees in the front yard was not feasible.
- Design Standard 173: The Commission found the proposed landscaping mitigates undesirable visual impacts because the scale of the proposed development does not abruptly contrast with its surroundings.
- **9-11-3: Designation of Landmarks, Landmark Sites, Historic Districts and Cultural Landscape Districts:** The Commission supported this property for local landmarking status.
- **Parking (18/A & 18/R):** The Commission recommended positive (+2) two points under Policy 18/R for screening the onsite parking from public view. Additionally, the Commission was supportive of exempting the on-site parking requirement for the deed restricted unit as allowed by Policy 18. The required commercial parking has previously been provided for in the Parking District and the market rate unit's parking is provided for on-site. The Commission and the Town's Engineering Department supported a waiver from a requirement that *"No two (2) driveways connecting a public street, alley or highway to an off street parking area shall be within thirty feet (30') of one another at their intersections with the property line, curb line, right of way line or the physically established edge of the public street, alley or highway, whichever is most restrictive."* Support for this waiver was based on the width of lots in the area, the alley not being a through alley and the low traffic volume of the alley. A waiver from this provision has been provided by the Engineering Department.
- **Placement of Structures (9/A & 9/B):** The rear relative setback of 15' is not being met, as the rear of the market rate housing residential building is 5' from the rear property line. Hence, the application will incur negative three (-3) points.
- **Architectural Compatibility (5/A):** The proposed aboveground density is below the maximum 12.0 units per acre for new construction permitted in the South End residential character area.
- **Density/ Intensity (3/A):** The Commission was comfortable with a portion of the historic home's landmarked basement daylighting into a window well that is required for bedroom egress of the workforce unit.
- **Site Suitability (7/R):** Since this site is in the center of Town and has an existing historic structure all provisions of this policy have been adequately met.
- **Ridgeline and Hillside Development (8/A):** The market rate residential building's ridge height as measured by USGS is subordinate to the historic house and features rustic materials which will be stained a dark color to reflect the character of a historic out-building. The windows proposed are non-reflective glass and the Commission was comfortable with the amount of glass proposed on the west elevation of the market rate residential structure.
- **Storage (14/A & 14/R):** The total storage areas is greater than the recommended 5% of interior storage.



- **Access / Circulation (16/A & 16/R; 17/A):** Vehicular access to the site is via South Ridge Street and the Ridge Street Alley. Pedestrian access is provided via South Ridge Street.
- **Snow Removal and Storage (13/R):** 87 sq. ft. (34%) of snow stacking is provided for the 256 sq. ft. of proposed impervious surfaces.
- **Drainage (27/A & 27/R):** Positive drainage from the structure is proposed. Engineering staff has no concerns with the proposed drainage plan.
- **Utilities Infrastructure (26/A & 26/R; 28/A):** All necessary utilities are located in the adjacent ROWs.

### Changes since the January 2, 2018 Second Preliminary Hearing

Based on feedback from the Planning Commission and Staff, the following changes are proposed to the Hilliard House plans since the Preliminary Hearing on January 2, 2018.

#### Landscaping:

- A front yard area is proposed in the northwest corner of the site.
- The total open space proposed was increased by 382 sq. ft. (8%).
- Two new trees were added adjacent to the Ridge Street sidewalk.
- Previous fence proposed in the rear yard has been eliminated.

#### Lighting:

- An exterior lighting plan and fixture cut sheets have been provided.

#### Architecture:

- Exterior railing details are provided.

#### Energy:

- An IECC energy rating report was prepared by a registered design professional.

### Staff Comments

At this final review, staff would like to review the remaining policies addressing the concerns expressed at the hearing.

#### **The Social Community (24/A):**

Since this policy addresses the design criteria found in the Handbook of Design Standards for the Historic and Conservation Districts along with the individual Character Areas, discussion of all historic details is reviewed under Policy 24/A.

**Plant Material & Landscaping (22/A & 22/R):** The applicants have revised the landscape plan since the previous meeting. The proposed new plantings have increased to a total of ten deciduous trees, including a cottowood tree adjacent to the Ridge Street sidewalk and three shrubs located along the north and south property lines (2 tree were added since the last submittal). These plantings are designed to reinforce the alignment of street trees and provide buffer from the neighboring properties. Since the Hilliard House will continue to be used as a restaurant, the applicants are proposing decking to accommodate outdoor seating. Since the January 2<sup>nd</sup> meeting, the amount of decking has been reduced to increase the amount of front yard space. In addition to Policy 22/R, landscape design is reviewed in the Handbook of Design Standards. This character area also states, *“Front and side yards were an inherent characteristic of the area, and the expression of a yard should be continued..”*

Priority Design Standard 155: *Maintain the image of “yards” for front and side lot setbacks visible from the street.*

- *This is an important standard which should be met in all projects.*
- *Front yards should be designed predominately with plant materials, including trees and grass, as opposed to hard surface paving.*
- *Locating a commercial building at the sidewalk line is inappropriate in this context.*
- *Hard surface plazas and decks in front of buildings in such areas are generally inappropriate and are discouraged. However, they may be considered where sufficient plant materials establish clear edges to the yard area and the hard surfaced area appears subordinate to the yard.*

Design Standard 172: *Reinforce the alignment of street trees wherever feasible.*

- *Planting new cottonwood trees to define the street edge is encouraged.*

As designed, the amount of front yard space is proposed at 165 sq. ft. and the amount patio has been reduced to 145 sq. ft. Staff finds the redesigned yard configuration to comply with Priority Design Standard 155 since the amount of patio space is subordinate to the amount of front yard space. Additionally, one cottonwood tree was added to the front yard area, adjacent to Ridge Street, to better comply with Design Standard 172. As proposed, the landscape plan complies with Priority Design Standard 155 and Design Standard 172. Does the Commission concur?

**Open Space (21/A & 21/R):** For commercial uses and residential uses there is a 15% and 30% open space requirement respectively. Since this is a mixed used development, the amount of open space required is pro-rated based on the proposed density. The commercial space accounts for 58% of the project’s density and residential component makes up 42%. Based on this formula 1,002 sq. ft., 21%, of open space is required. Since the previous meeting, the applicants have increased the proposed open space to 1,308 sq. ft., 28%, which is above the required total. Staff has no concerns.

**Energy Conservation (33/R):**

The applicant has worked with a licensed Colorado engineer to project a percentage of energy savings that is 20%-29% below the existing structure’s energy consumption, which would warrant positive three (+3) points under this policy. A preliminary report from a licensed Colorado engineer, confirming an energy reduction of at least 20% is required prior to the issuance of a building permit. A final report will be required prior to the issuance of a Certificate of Occupancy.

**Point Analysis (Section: 9-1-17-3):** Staff finds the projects complies with all Absolute Policies and is recommending a total of positive twenty four (+24) points and negative twenty four (-24) points, for a passing score of zero (0) points. Staff would like feedback from the Commission relative to the point analysis and overall project.

Negative Points recommended:

- Policy 9/R, Placement of Structures (-3) for a rear relative setback not being met.
- Policy 24/A, Social Community (-18) above ground density proposed at 11.99 UPA
- Policy 24/R, Social Community (-3) for relocating a historic secondary structure more than ten feet (10') from its current or original location, but keeping the structure on its original lot.

Positive Points recommended:

- Policy 18/R, Parking (+2) for screening parking from public view.
- Policy 24/R, Social Community (+10) for 17.6% of the project consisting of workforce housing.
- Policy 24/R, Social Community (+6) for on-site historic preservation/restoration effort of average or above average public benefit for a primary structure.
- Policy 24/R, Social Community (+3) for on-site historic preservation/restoration effort of above average public benefit for a secondary structure.
- Policy 33/R, Energy Conservation (+3) for energy savings that is 20%-29% below the existing structure's energy consumption.

### **Staff Recommendation**

The applicant has worked with staff closely to bring this proposal into compliance with the Development Code and Handbook of Design Standards. Based on the proposed changes, we have the following questions for the Commission:

1. Staff finds the proposed plan complies with Priority Design Standard 155 *Maintain the image of "yards"* and Design Standard 172. Does the Commission agree?
2. Does the Commission have any additional comments on the proposed project design?

The Planning Department recommends the Commission approve the Hilliard House Restoration, Addition and Landmarking, (PL-2017-0297), located at Abbetts Addition, Lots 26 & 27, Block 11, 110 S. Ridge Street, showing a passing score of zero (0) points along with the attached Findings and Conditions.

<b>Second Preliminary Impact Analysis</b>				
Project:	Hilliard House	<b>Positive Points</b>	<b>+24</b>	
PC#:	PL-2017-0297			
Date:	12/22/2017	<b>Negative Points</b>	<b>- 24</b>	
Staff:	Chris Kulick, Planner III			
		<b>Total Allocation:</b>	<b>0</b>	
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)	- 3	Rear relative setback not met
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x (-2/+2)		

18/R	Parking-Public View/Usage	2x(-2/+2)	+2	for screening parking from public view
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	<b>Social Community</b>	Complies	- 18	
24/R	Social Community - Employee Housing	1x(-10/+10)	+10	Above ground density proposed at 11.99 UPA 17.6% of project consisting of workforce housing
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)	- 3	For relocating a secondary structure more than 10' from its current or original location, but keeping the structure on its original site.
24/R	Social Community - Historic Preservation/Restoration - Benefit	+1/3/6/9/12	+9	For onsite historic preservation/ restoration effort of above average public benefit for a primary and secondary structure.
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	Complies		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
33/R	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
33/R	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3	+3	
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		

33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		

## TOWN OF BRECKENRIDGE

Hilliard House Restoration,  
Addition and Landmarking  
Lot 26 & 27, Abbetts Addition  
110 S. Ridge St.  
PL-2017-0297

### FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **February 8, 2018**, and findings made by Community Development with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **February 20, 2018** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires three (3) years from date of issuance, on **February 27, 2021**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
7. If the Town Council should **not** adopt an ordinance to Landmark the historic structure based on proposed restoration efforts and the fulfillment of criteria for architectural significance as stated in

Section 9-11-4 of the Landmarking Ordinance the approval of this Development Permit (PL-2017-0297) would be void and the applicants would need to submit a revision to the Development Permit with the application conforming to 9-1-19-3A: Policy 3 (Absolute) Density/Intensity and 9-1-19-3R: Policy 3 (Relative) Compliance With Density/Intensity Guidelines.

8. Applicant shall notify the Town of Breckenridge Community Development Department (970-453-3160) prior to the removal of any building materials from the historic building. Applicant shall allow the Community Development Department to inspect the materials proposed for removal to determine if such removal will negatively impact the historic integrity of the property. The Applicant understands that unauthorized removal of historic materials may compromise the historic integrity of the property, which may jeopardize the status of the property as a local landmark and/or its historic rating, and thereby the allowed basement density. Any such action could result in the revocation and withdrawal of this permit.
9. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.
10. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
11. Applicant shall field locate utility service lines to avoid existing trees.
12. An improvement location certificate of the height of the top of the foundation wall, and the height of the building's ridges must be submitted and approved by the Town during the various phases of construction. The final mean building height shall not exceed 23' to the mean at any location.
13. At no time shall site disturbance extend beyond the limits of the area of work shown, including building excavation, and access for equipment necessary to construct the residence.
14. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.

#### **PRIOR TO ISSUANCE OF BUILDING PERMIT**

15. Applicant shall submit proof of ownership of the project site.
16. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
17. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
18. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
19. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.



20. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
21. **Applicant shall submit a draft Energy Savings Report that shows a minimum percentage of energy savings of 20%-29% below the existing structure's energy consumption, prepared by a licensed Colorado engineer using an approved simulation tool in accordance with simulated performance alternative provisions of the towns adopted energy code.**
22. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
23. **Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.**
24. **Applicant shall submit a 24"x36" mylar copy of the final site plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar.**

#### **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY**

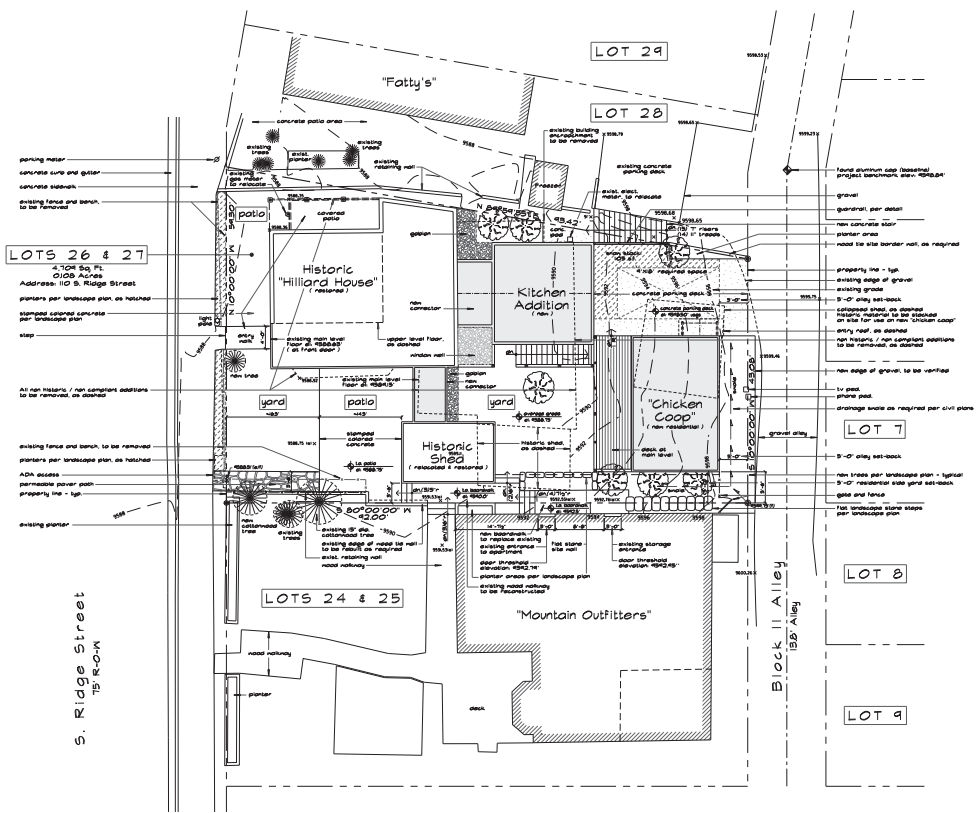
1. **Applicant shall submit a final Energy Savings Report that shows a minimum percentage of energy savings of 20%-29% below the existing structure's energy consumption, prepared by a licensed Colorado engineer using an approved simulation tool in accordance with simulated performance alternative provisions of the towns adopted energy code.**
2. **All fencing shall comply with the Handbook of Design Standards and be reviewed as a separate permit.**
3. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
4. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
5. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
6. Applicant shall paint all metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
7. Applicant shall screen all utilities.
8. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
9. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction

material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.

10. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
11. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
12. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
13. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)



LOTS 26 & 27  
 2.706 Sq. Ft.  
 0.026 Acres  
 Address: 110 S. Ridge Street  
 planter per landscape plan, as required  
 1/2\"/>

LOTS 24 & 25  
 1.706 Sq. Ft.  
 0.039 Acres  
 Address: 110 S. Ridge Street  
 planter per landscape plan, as required  
 1/2\"/>

**Site Calculations**

Building Footprints	1,874 Sq. Ft.
Parking Deck	408 Sq. Ft.
Concrete areas, patios, walkways & stairs	124 Sq. Ft.
Total non-permeable surface coverage (73%)	2,406 Sq. Ft.
Lot Area	4,704 Sq. Ft.
Open space (23%)	1,809 Sq. Ft.
Storm water provided	109 Sq. Ft.
Regrain 408 Sq. Ft. x 25%	102 Sq. Ft.

**Hilliard House**  
 Lots 26 & 27, Block II, Abbott Addition  
 Address: 110 S. Ridge Street  
 Lot = 4,704 Sq. Ft. / 0.108 Acres  
 Lower Level - Commercial USDB, #584,000 • Area: 80'-0"  
 Main Level - Commercial USDB, #584,000 • Area: 100'-0"  
 Upper Level - Commercial USDB, #584,000 • Area: 100'-0"  
 Upper Level - Residential USDB, #584,000 • Area: 104'-0"

**Site Plan**  
 Scale: 1/8" = 1'-0"

- General Notes:**
1. All non-historic / non-completion additions are to be removed.
  2. All historic materials are to be removed from the site unless the critical element of the Town of Breckenridge.

**HILLIARD HOUSE**  
 ADDITION AND RESTORATION  
 LOTS 26 & 27, BLOCK II, ABBOTT ADDITION  
 TOWN OF BRECKENRIDGE, COLORADO

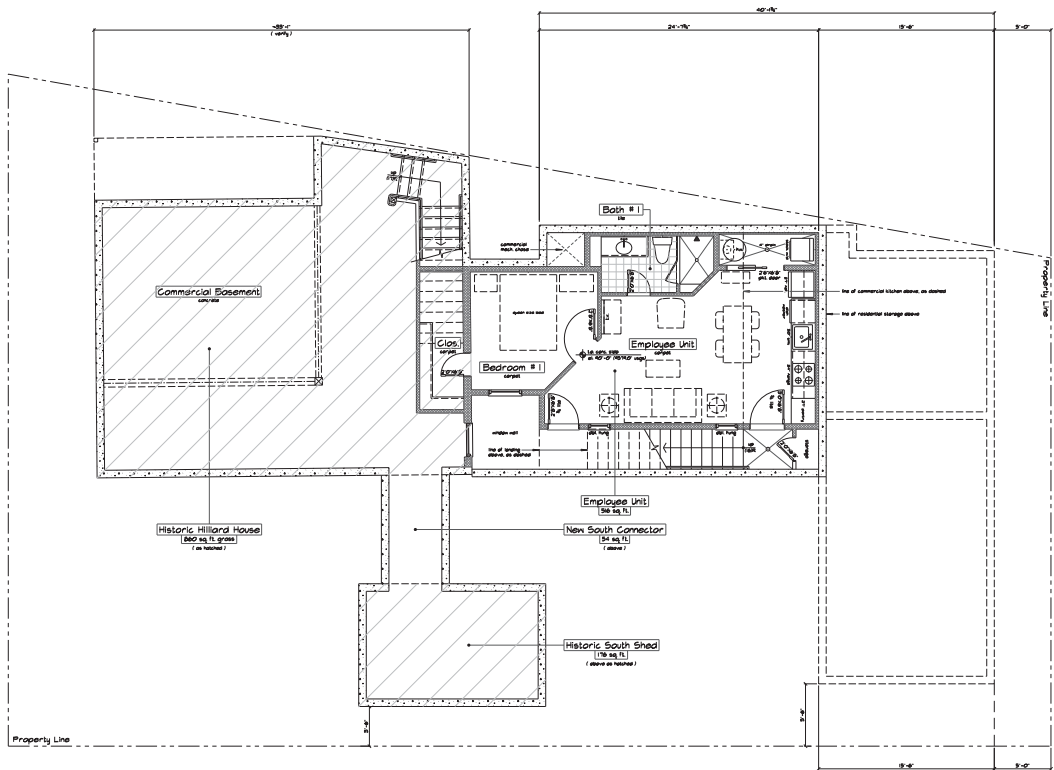
Scale: 1/8" = 1'-0"  
 Date: 07-04-2016

Architectural consultation  
 J. SUTHERLY ARCHITECT  
 Breckenridge, CO 80424  
 P.O. Box 1818  
 (970) 454-9728

AXI

SITE PLAN





**Square Footage Summary:**

Historic Hilliard House	= 880 sq. ft.
Historic South Shed	= 178 sq. ft.
<b>Total Historic density:</b>	<b>= 1,058 sq. ft.</b>
New South Connector	= 88 sq. ft.
New Employee Unit	= 516 sq. ft.
<b>Total new density:</b>	<b>= 604 sq. ft.</b>

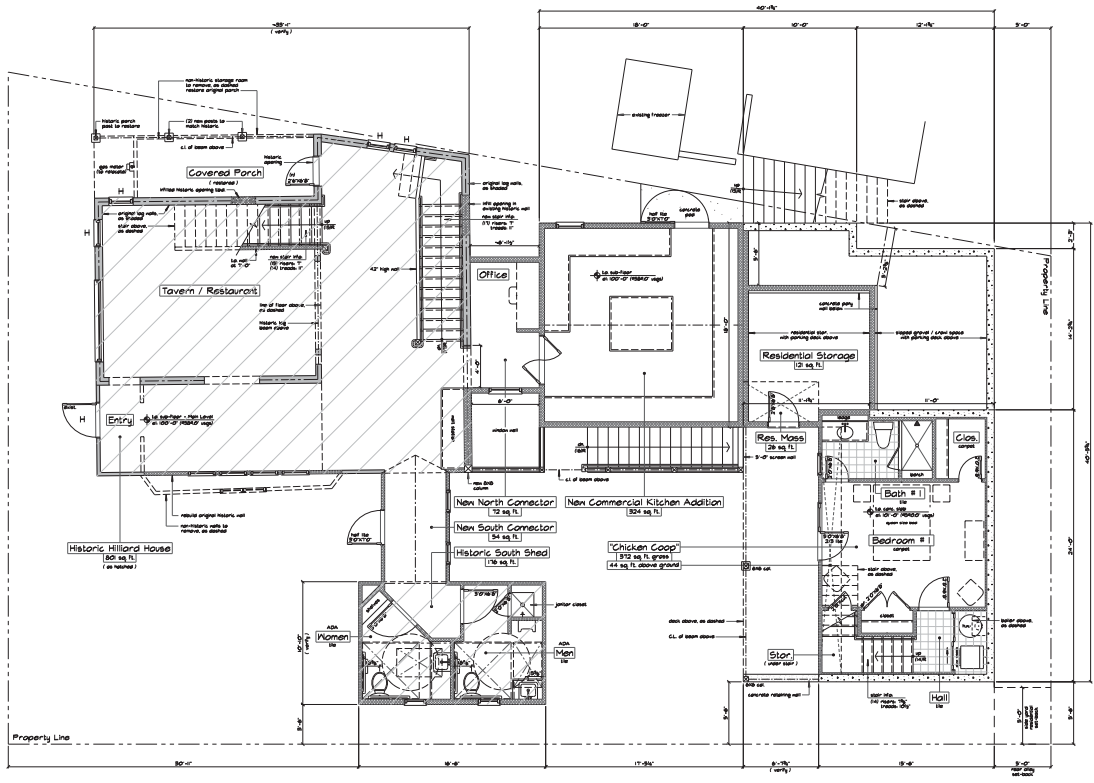
**Lower Level Floor Plans**  
Scale: 1/4" = 1'-0"

**HILLIARD HOUSE**  
ADDITION AND RESTORATION  
LOTS 26 & 27, BLOCK II, ABBETT ADDITION  
TOWN OF BRECKENRIDGE, COLORADO

FLOOR PLAN:  
Lower Level  
Scale: 1/4" = 1'-0"  
Date: 12-22-2011

architectural  
consultation  
**J.L. STUBBINS ARCHITECT**  
P.O. Box 8088 Breckenridge, CO 80421  
(970) 468-6794

Ax2



**Square Footage Summary:**

Historic Hilliard House	= 180 sq. ft.
Historic North Shed	= 176 sq. ft.
Commercial Kitchen Addition	= 324 sq. ft.
New South Connector	= 34 sq. ft.
New North Connector	= 32 sq. ft.
Chicken Coop - Lower Level	= 372 sq. ft.
Chicken Coop - Above Ground	= 44 sq. ft.
<b>Total density</b>	<b>= 1,768 sq. ft.</b>
<b>Total above ground density</b>	<b>= 1,471 sq. ft.</b>

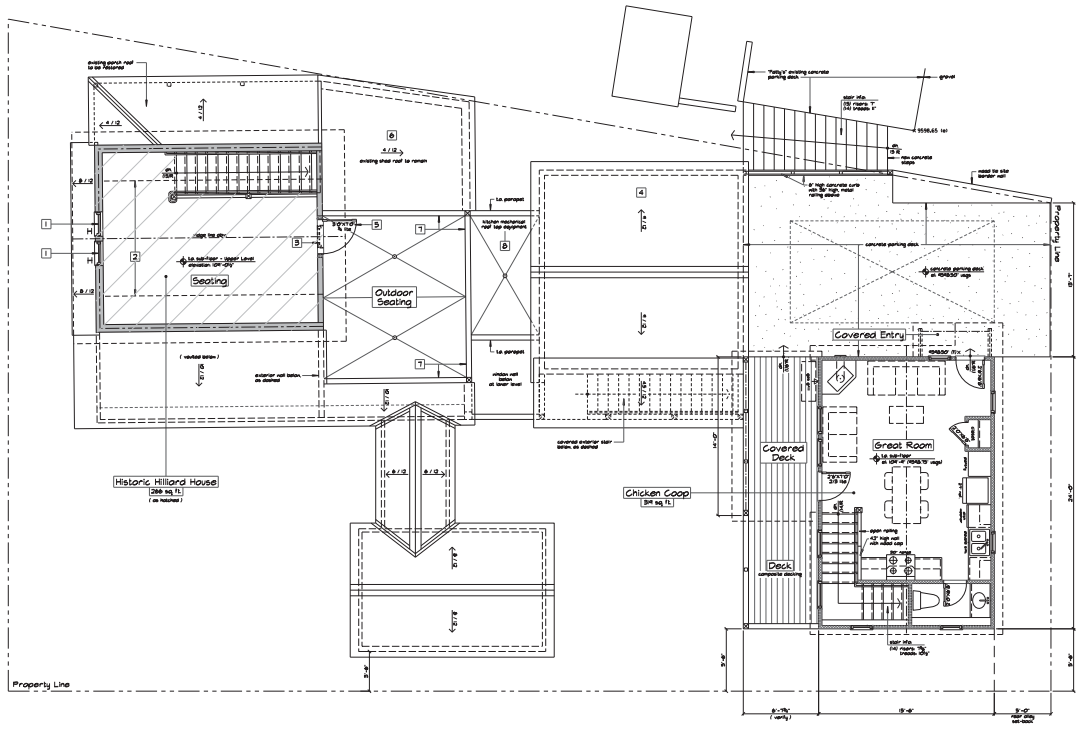
**Main Level Floor Plans**  
Scale: 1/4" = 1'-0"

**HILLIARD HOUSE**  
ADDITION AND RESTORATION  
LOTS 26 & 27, BLOCK II, ABBETT ADDITION  
TOWN OF BRECKENRIDGE, COLORADO

FLOOR PLAN:  
Main Level  
Scale: 1/4" = 1'-0"  
Date: 12-22-2011

architectural  
consultation  
**J.L. SUTHERBY ARCHITECT**  
BRECKENRIDGE, CO. 80424  
300 West 100th Street Breckenridge, CO 80424  
(970) 468-6794

A-3



- Key to Symbols**
- 1 Existing historic masonry and openings to be restored and repaired as appropriate
  - 2 Existing historic masonry to be replaced with new masonry of equal or better quality
  - 3 New historic masonry to be replaced
  - 4 New historic addition below
  - 5 New masonry above in existing opening
  - 6 Existing steel roof configuration
  - 7 42" high screen wall
  - 8 New roof structure, new roof for roof replacement approval

**HILLIARD HOUSE**  
 ADDITION AND RESTORATION  
 LOTS 26 & 27, BLOCK II, ABBETT ADDITION  
 TOWN OF BRECKENRIDGE, COLORADO

Floor Plans:  
 Upper Level  
 Roof Plans  
 Scale: 1/4" = 1'-0"  
 Date: 12-22-2011

architectural  
 consultation  
**J.L. SUTHERBY ARCHITECT**  
 1000 N. 10th St. Breckenridge, CO 80424  
 (970) 468-6754

**Square Footage Summary:**

Historic Hilliard House	• 288 sq. ft.
Chicken Coop - Main Level	• 54 sq. ft.
<b>Total above ground density:</b>	<b>• 342 sq. ft.</b>

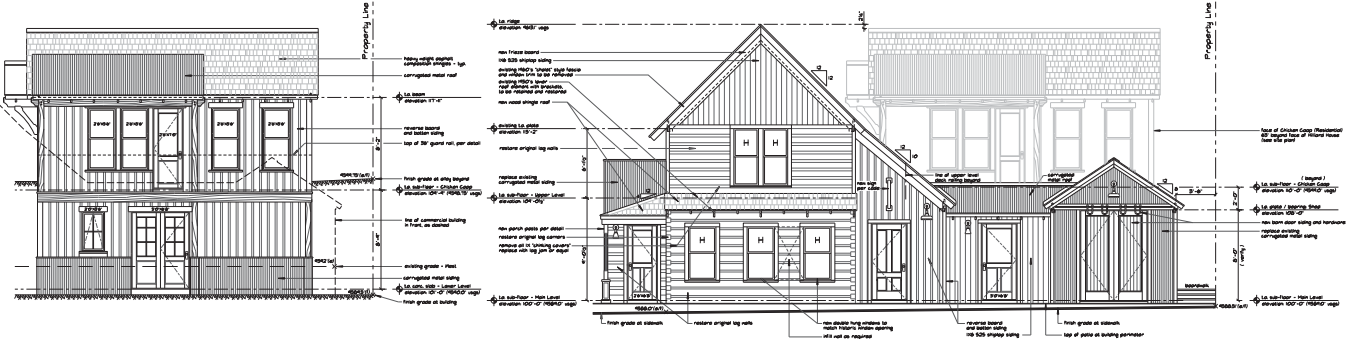
**Upper Level Floor Plans**  
 Scale: 1/4" = 1'-0"



**HILLIARD HOUSE**  
 ADDITION AND RESTORATION  
 LOTS 26 & 27, BLOCK II, ABBETT ADDITION  
 TOWN OF BRECKENRIDGE, COLORADO

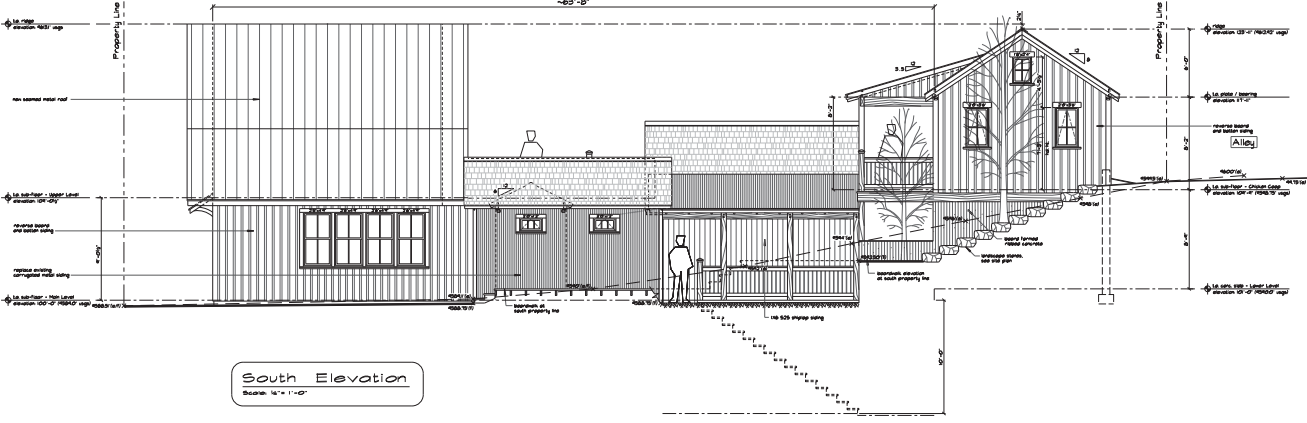
Exterior Elevations  
 Scale: 1/4" = 1'-0"  
 Date: 12-22-2011

architectural  
 consultation  
**J.L. SUTHERBY ARCHITECT**  
 BRECKENRIDGE, CO. 80424  
 P.O. BOX 8888 BRECKENRIDGE, CO. 80424  
 (970) 498-6274



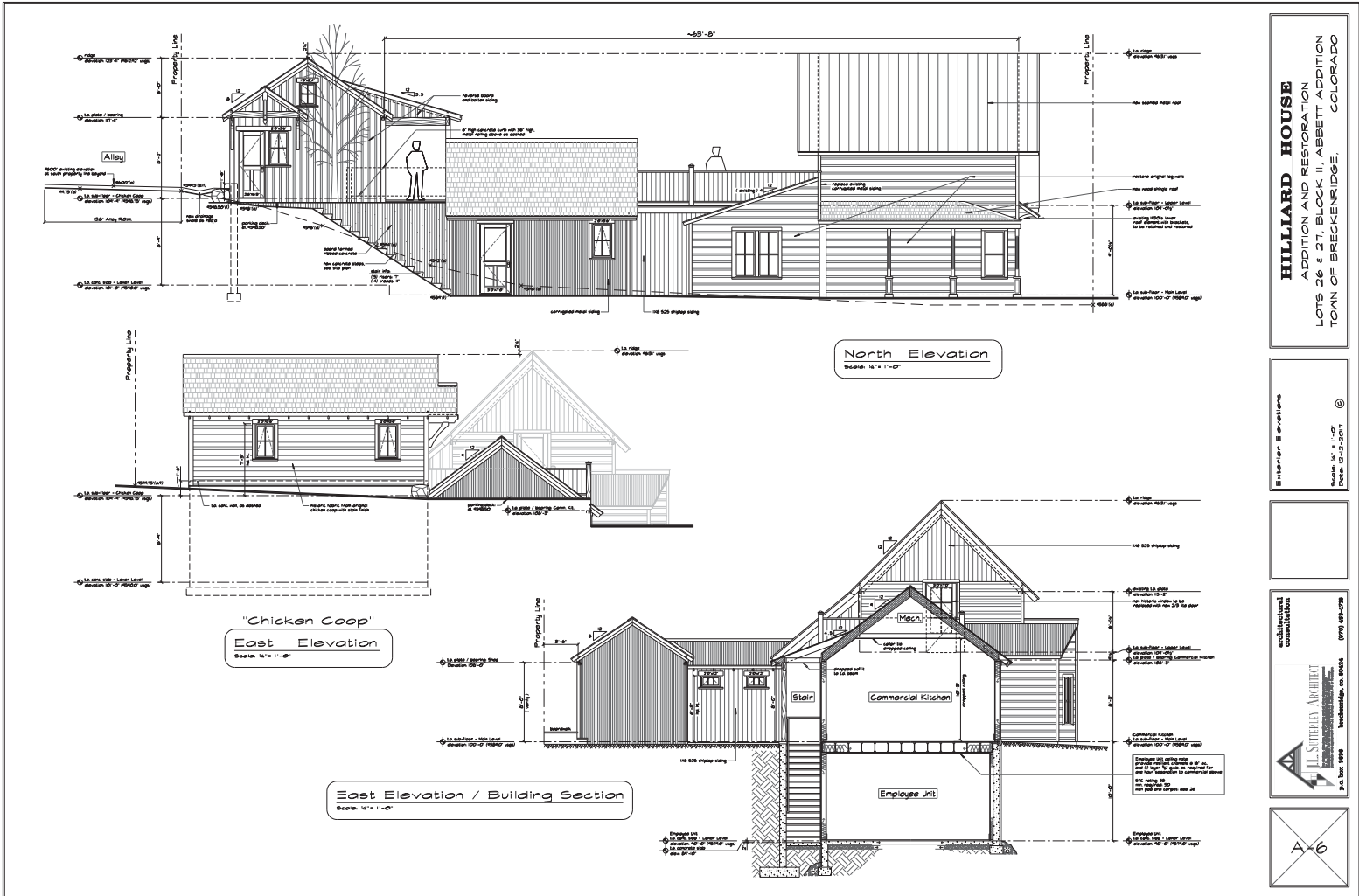
"Chicken Coop"  
 West Elevation  
 Scale: 1/4" = 1'-0"

West Elevation  
 Scale: 1/4" = 1'-0"



South Elevation  
 Scale: 1/4" = 1'-0"

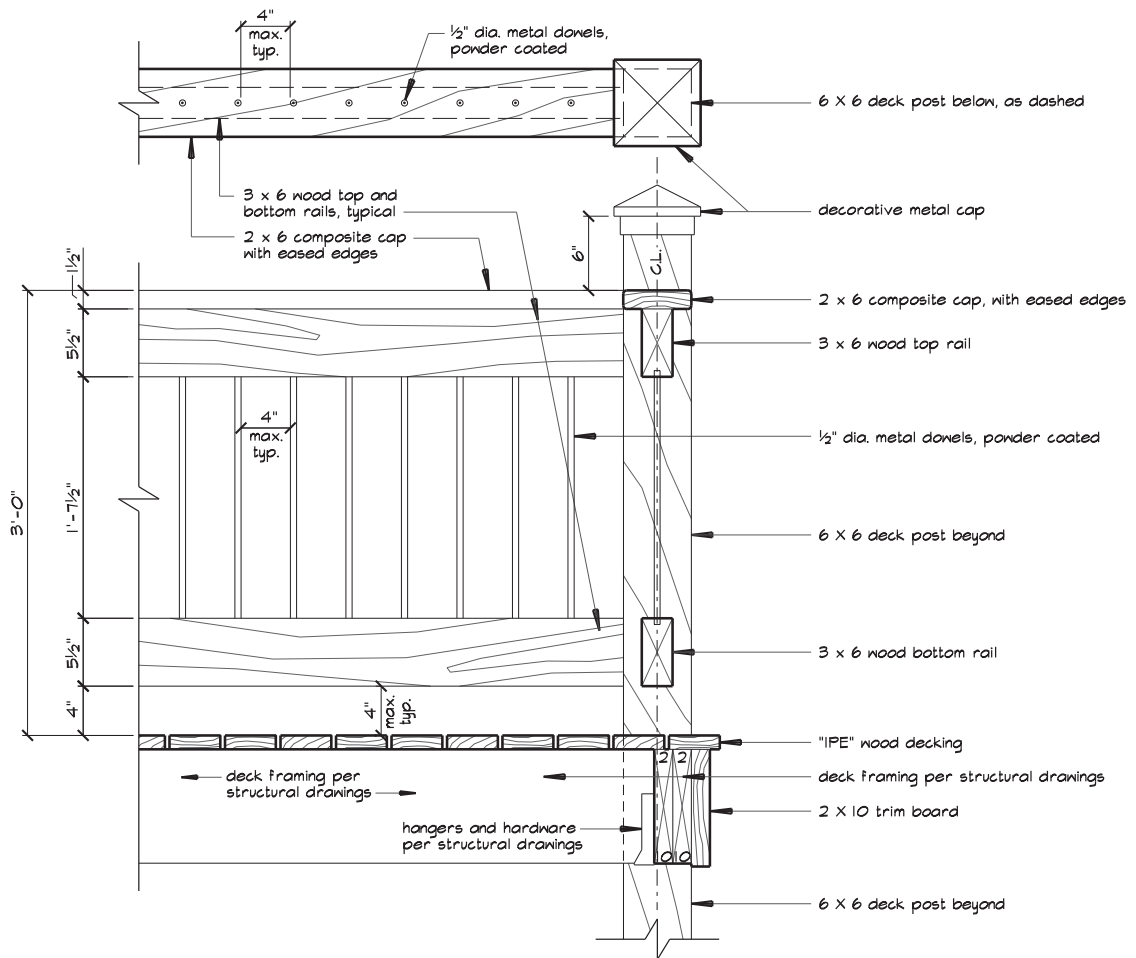




**Exterior Elevations**

architectural consultation  
**J. L. SUTHERBY ARCHITECT**  
 1000 North 10th Street, Breckenridge, CO 80424  
 (970) 468-6294

AX6

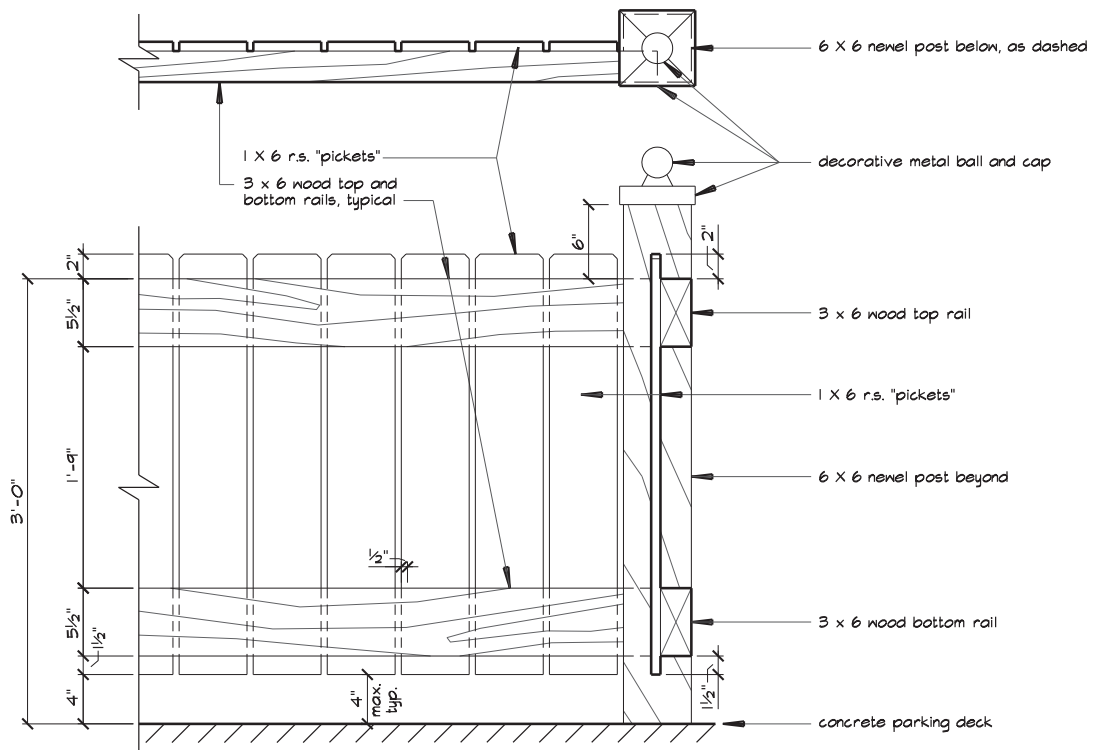


X  
A-X

## Exterior guardrail detail: Residential decks

Scale: 1" = 1'-0"

Hilliard House: 2018



X  
A-X

Exterior guardrail detail: Parking deck

Scale: 1" = 1'-0"

Hilliard House: 2018

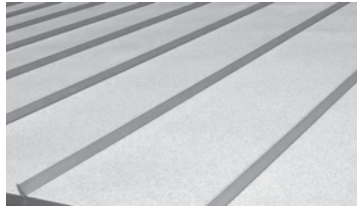





# Hilliard House

## Addition & Restoration

110 S. Ridge Street  
Breckenridge, CO. 80424

### MATERIAL / COLOR BOARD: 12-12-2017

Location / Item:	Finish:	Color:
Roof #1 12" low seamed metal Locations: Historic Hilliard House (replace existing)	dull galvanized finish	
Roof #2 Corrugated metal Locations: south connector, shed roof on kitchen addition and chicken coop	rusted finish	
Roof #3 Heavyweight asphalt composition shingles Locations: kitchen addition, chicken coop	"dark charcoal"	
Roof #4 Wood shingles Locations: Historic Hilliard House porch and accent roof and historic shed	finish: natural to weather	



# Hilliard House

## Addition & Restoration

110 S. Ridge Street  
Breckenridge, CO. 80424

### MATERIAL / COLOR BOARD: 12-12-2017

Location / Item:	Finish:	Color:
<p>Siding #1 Existing logs to be restored and chinked Locations: Historic Hilliard House Chinking: "stone"</p>	<p>"old oily"</p>	
<p>Siding #2 1x resawn reverse board and batt (6" batts w/ 2" board exposure) Locations: Historic Hilliard House entry, south walls and shed barn doors</p>	<p>"burnt green"</p>	
<p>Siding #3 1x6 S2S shiplap Location: south connector Paint at kitchen south wall</p>	<p>"old oily" "stone" BMHC86</p>	 
<p>Siding #4 Small rib corrugated metal Locations: Historic shed, kitchen addition east, north and west walls</p>	<p>rusted finish</p>	
<p>Siding #5 Reclaimed random width historic material Location: east wall of chicken coop</p>	<p>"old oily"</p>	



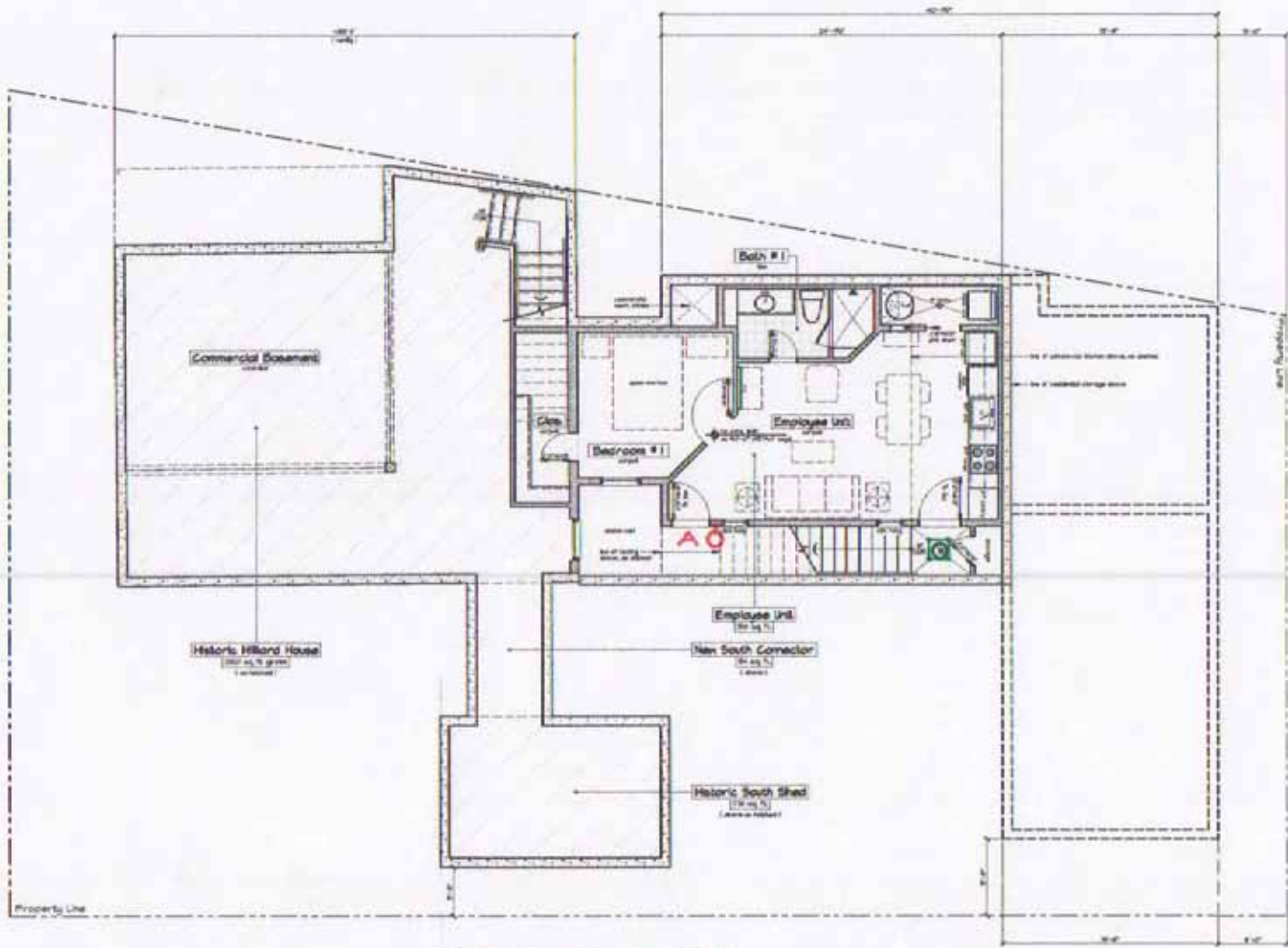
# Hilliard House

## Addition & Restoration

110 S. Ridge Street  
Breckenridge, CO. 80424

### MATERIAL / COLOR BOARD: 12-12-2017

Location / Item:	Finish:	Color:
Windows and doors Clad Locations: new additions	"dark charcoal"	
Windows and doors Wood Locations: Historic Hilliard House	finish: TBD	
Fascia, door, window, Corner trim and Selected trim details Locations: TBD	colors: "burnt green"	
	"dark charcoal"	
	"old oily"	
	"burnt rusted"	
	"stone" BMHC86	
Stamped colored concrete	"weathered wood" pattern	



□ RECESSED CAN  
 ○ WALL MOUNT

**Square Footage Summary**

Historic Hilliard House	= 840 sq. ft.
Historic South Shed	= 170 sq. ft.
<b>Total Historic density</b>	<b>= 1,010 sq. ft.</b>
New South Connector	= 260 sq. ft.
New Employee Unit	= 260 sq. ft.
<b>Total new density</b>	<b>= 520 sq. ft.</b>



# EXTERIOR LIGHTING PLAN

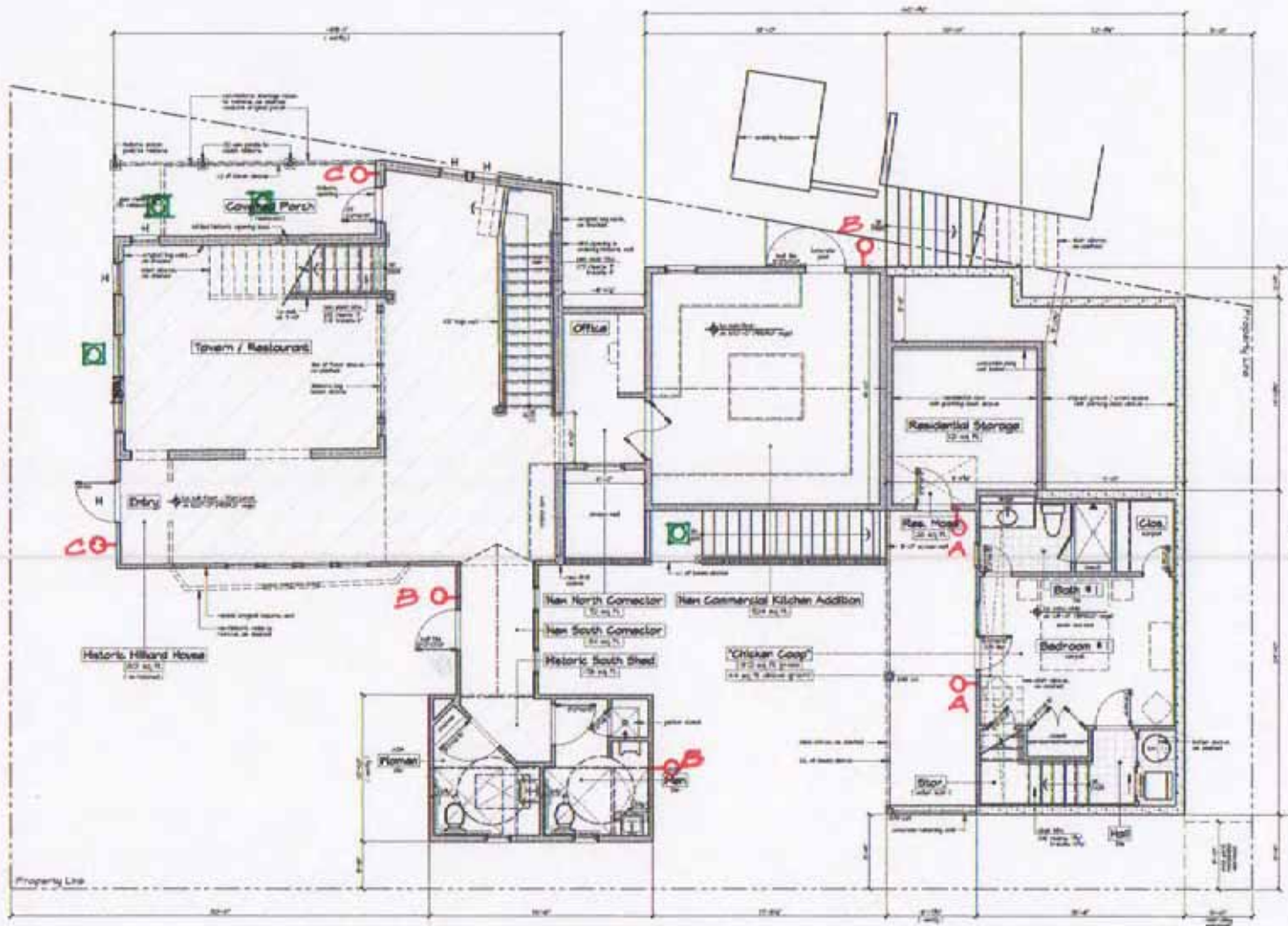
**HILLIARD HOUSE**  
 ADDITION AND RESTORATION  
 LOTS 26 & 27, BLOCK II, ASSETT ADDITION  
 TOWN OF BRIDGEVILLE, PA

Project Name: Lower Level

architectural visualization

H. SCHUBERT ARCHITECT

A-2



■ RECESSED CAN  
○ WALLMOUNT

**Square Footage Summary**

Historic Hilliard House	• 800 sq. ft.
Historic South Shed	• 170 sq. ft.
Commercial Kitchen Addition	• 324 sq. ft.
New Bath Construction	• 94 sq. ft.
New Porch Construction	• 72 sq. ft.
Chicken Coop - Lower Level	• 970 sq. ft.
(excluding ground density)	• 44 sq. ft.
<b>Total density</b>	<b>• 1,744 sq. ft.</b>
<b>Total above ground density</b>	<b>• 1,474 sq. ft.</b>



# EXTERIOR LIGHTING PLAN

**HILLIARD HOUSE**  
 ADDITION AND RESTORATION  
 LOTS 26 & 27, BLOCK II, ABBETT ADDITION  
 TOWN OF WEST-VALENTINE

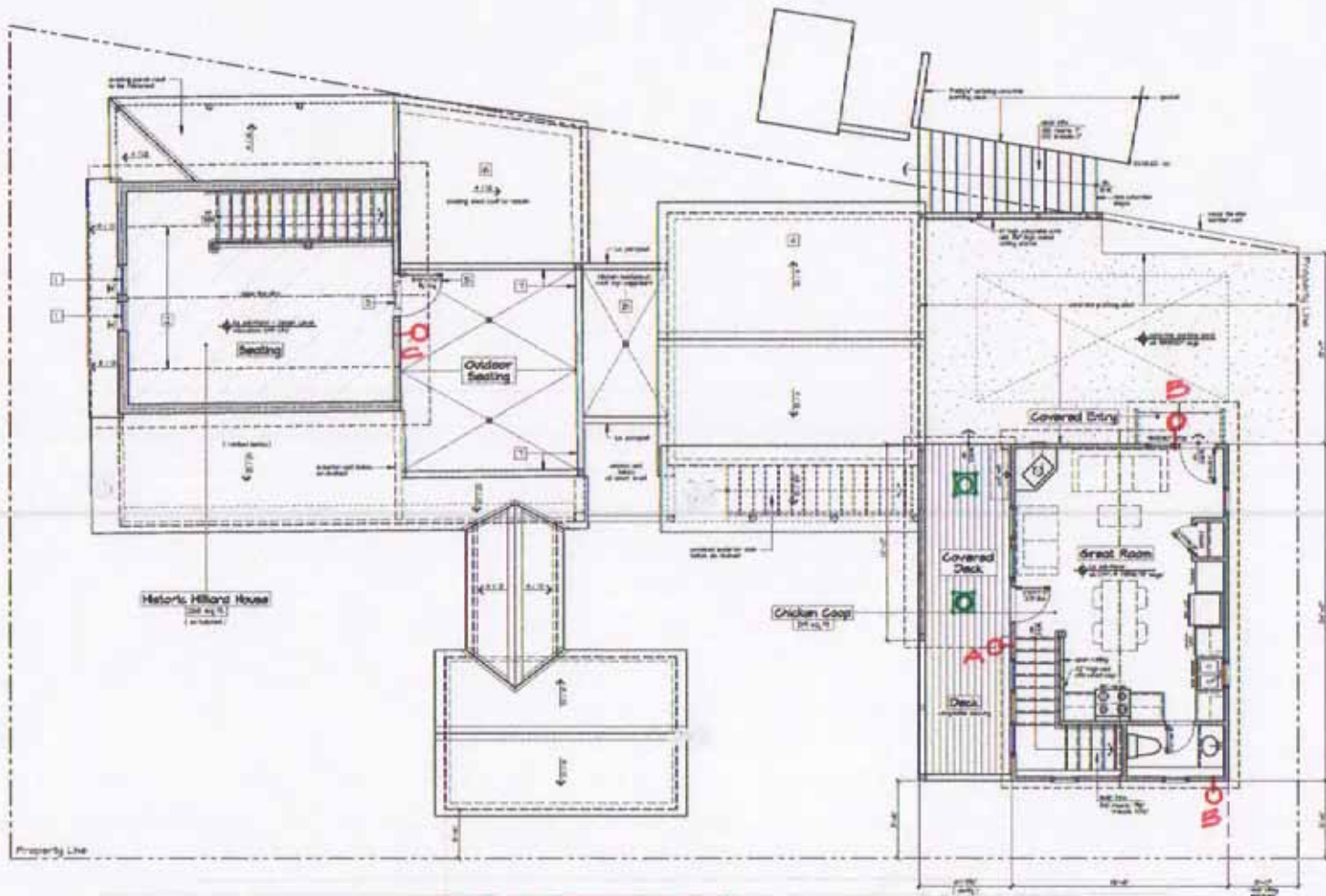
Floor Plans  
 Main Level

architectural  
 construction

J.L. SIMPSON ARCHITECT

A-B





- Key to Symbols**
- 1. Light fixture, recessed can or wall mount
  - 2. Light fixture, wall mount
  - 3. Light fixture, wall mount
  - 4. Light fixture, wall mount
  - 5. Light fixture, wall mount
  - 6. Light fixture, wall mount
  - 7. Light fixture, wall mount
  - 8. Light fixture, wall mount
  - 9. Light fixture, wall mount
  - 10. Light fixture, wall mount

**HILLIARD HOUSE**  
 ADDITION AND RESTORATION  
 LOTS 26 & 27, BLOCK II, ASBETT ADDITION  
 TOWN OF WESTPORT, MAINE

Upper Level  
 Floor Plans

Architectural  
 Illustration  
 J.L. SHERMAN ARCHITECT

A-4

☐ RECESSED CAN  
 ○ WALL MOUNT

**Square Footage Summary**

Historic Hilliard House	• 240 sq. ft.
Chicken Coop - 1st Level	• 80 sq. ft.
Total above ground density	• 320 sq. ft.

Upper Level  
 Floor Plans

**EXTERIOR LIGHTING PLAN**

1.5.18

**FIXTURE "A"**

**LAMPS PLUS.**

THE NATION'S LARGEST LIGHTING RETAILER

Shop by Room/Trends Store Locations Rate Us 800-782-1967

Lamps Plus | Bayport 7 3/4 | Bayport Collection Dark Sky 7 3/4" High Outdoor Wall Light

< Go Back

**Bayport Collection Dark Sky 7 3/4" High Outdoor Wall Light - Style # M5911**

**\$62.50**

FREE SHIPPING & FREE RETURNS\* | [Low Price Guarantee](#)

1

ADD TO CART

ADD TO WISH LIST

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

[2 Reviews](#)

The Bayport Dark Sky outdoor light comes in a rich bronze finish.

[MORE DETAILS >](#)



[PRODUCT DETAILS](#) | [RELATED PRODUCTS](#) | [REVIEWS](#)

**MORE YOU MAY LIKE**



\$59.99



\$49.99



\$69.99



\$53.90



\$67.90

**PRODUCT DETAILS**

The Bayport Collection of exterior lighting offers subtle, handsome styling. This design was created according to Dark Sky standards for preserving the

- From Designers Fountain.
- Bayport Collection outdoor wall light.

1.5.18

**LAMPS PLUS.**

THE NATION'S LARGEST LIGHTING RETAILER

**FIXTURE "B"**

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Lamps Plus | Dark Sky Outdoor Lights | Baytree Lane LED 9 3/4" H Oiled Bronze Outdoor Wall Light

< Go Back



**Baytree Lane LED 9 3/4" H Oiled Bronze Outdoor Wall Light - Style # 9G364**

OTHER OPTIONS



**\$144.90**

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1

ADD TO CART

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[Write a Review](#)

The dark oil rubbed bronze finish of this energy-efficient LED outdoor wall light is highlighted with rich golden tones.

[MORE DETAILS >](#)

VIEW IN YOUR ROOM



[PRODUCT DETAILS](#) | [RELATED PRODUCTS](#) | [OTHER OPTIONS](#) | [REVIEWS](#)

MORE YOU MAY LIKE



\$99.99



\$99.99



\$69.99



\$123.90



\$144.90

**LAMPS PLUS.**

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Lamps Plus | Outdoor Lighting | Transitional | Designers Fountain | Bayport Collection Dark Sky 10 1/4" High Outdoor Wall Light

< Go Back



**Bayport Collection Dark Sky 10 1/4" High Outdoor Wall Light** - Style # M5913

**\$109.90**

FREE SHIPPING & FREE RETURNS\* | [Low Price Guarantee](#)

1

ADD TO CART

ADD TO WISH LIST

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

3 Reviews | 3 Questions, 3 Answers

The bronze finish Bayport outdoor wall light is Dark Sky compliant.


[MORE DETAILS >](#)



[PRINT](#) [EMAIL](#) [CHAT](#)

[PRODUCT DETAILS](#) | [RELATED ITEMS](#) | [Q & A](#) | [REVIEWS](#)

## MEMO

TO: Chris, Kulick  
FROM: Dale Stein PE, Town Engineer   
RE: Lots 26 & 27, Block 11, Abbetts Addition  
Waiver of 9.3.9.D.1

February 09, 2018

I have reviewed the conceptual plan prepared by J.L. Sutterley dated January 4, 2018 provided for "Hilliard House Addition and Restoration" on Block 11, Lots 26 & 27 in the Abbetts Addition. The plan shows a proposed driveway and parking off of the Block 11 Alley. I understand that the location proposed for parking allows for the compliance with the Handbook of Design Standards for Historic and Conservation Districts Design Standards 9. *Screen Parking Areas from View* and 156. *Minimize the Visual Impact of Parking as Seen from the Street.*

The Town's Engineering Division supports a waiver from requirement 9.3.9.D.1 that *"No two (2) driveways connecting a public street, alley or highway to an off street parking area shall be within thirty feet (30') of one another at their intersections with the property line, curb line, right of way line or the physically established edge of the public street, alley or highway, whichever is most restrictive."* Support for this waiver is based on the width of lots in the area, the Block 11 alley not being a through alley, the low traffic volume of the alley, and Compliance with the Handbook of Design Standards.

**Planning Commission Staff Report**

- Subject:** Verizon Wireless Communication Facility  
(Class A, Combined Hearing; PL-2017-0689)
- Proposal:** Install a wireless communication facility which includes screened antennas on the existing building's roof, equipment in the existing parking garage, and associated cables and conduit. There is not any additional density proposed with this application.
- Date:** February 15, 2018 (For meeting of February 20, 2018)
- Project Manager:** Chapin LaChance, Planner II
- Property Owner:** Cohn Enterprises, LTD
- Agent:** Kristen Cowan, Black and Veatch (for Verizon Wireless, applicant)
- Address:** 305 S. Ridge St.
- Legal Description:** Abbetts Addition Subdivision, Block 14, Lots 1-16
- Site Area:** 1.1 acres (48,000 sq. ft.)
- Land Use District:** 18-2: Residential and Commercial; 20 Units per Acre (UPA); 1:1 Floor Area Ratio (FAR)
- Historic District:** 14 - South Main Transition Character Area
- Site Conditions:** All 16 lots on Abbetts Addition Subdivision, Block 14 are under the same ownership. The existing three story, flat roofed building, constructed in 1976, currently contains the Post Office, the Breckenridge Market and Liquor, Le Petit Paris restaurant, the Crepes a la Carte restaurant, and a 21-space parking garage. The East façade is constructed predominately of brick. The West façade is constructed of brick and stucco. The building is located on Lots 1 through 11, and there is an asphalt parking lot on Lots 12 through 16. Block 14 is surrounded by E. Adams Ave. to the north, S. Ridge St. to the East, E. Jefferson Ave. to the South, and the S. Ridge St. Alley to the West.
- Adjacent Uses:** North: Sky Ridge Condominiums (Commercial)  
East: Single Family Residential, Condominium  
South: Tannhauser Condominiums (Residential)  
West: Commercial
- Density:** No change (The equipment enclosure for the facility is proposed to be located in the existing parking garage of the building.)

<b>Mass:</b>	No change	
<b>Height:</b>	Recommended by LUGs:	Two stories maximum
	Existing building:	Three stories (41'-6" above grade at West elevation)
	Proposed Utility Screening:	8'-1" above existing lower parapet, 6'-10" above existing upper parapet
<b>Parking:</b>	No change	
<b>Setbacks:</b>	No change	

**Changes Since Last Meeting:**

The Planning Commission reviewed this application at its January 30, 2018 meeting. The Commission approved a motion to continue the application to its next meeting on February 20, with a 4-3 vote. On Friday, February 8, 2018, staff received a phone call from the applicant's agent requesting the hearing be continued to a later, unspecified meeting. Staff then received a letter from Verizon's legal counsel on February 15<sup>th</sup>, 2018 formally requesting the continuance of the hearing to a later meeting. The letter cites a need for more time to prepare documentation to address concerns expressed by the Commission at the January 30<sup>th</sup> hearing. Staff has evaluated this request for continuance using Town Code 1-19-7: Continuance of a Hearing, which states "*The hearing authority may continue any administrative hearing, upon timely request, for good cause shown, or upon its own initiative.*" Staff finds that this request for continuance by the applicant has been received prior to the delivery of the packet to the Planning Commission, and therefore is "timely", and that the stated need for more time to prepare documentation to address the Planning Commission's concerns is of "good cause." Staff has been contacted by a member of the public expressing opposition for allowing the continuance. **Staff does not have any concerns with the request for continuance, and recommends the Planning Commission approve a motion to continue the hearing to March 20, 2018.** The 150 day time limit is May 19, 2018.

The Town Attorney has provided a memorandum to the Planning Commission regarding radio frequency emissions and Wireless Communications Facilities Development Permit applications, which is attached.

All discussion under Item History and Staff Comments below remains unchanged from the previous staff report. See Staff Recommendation below.

**Item History**

In November 2015, the Federal Communications Commission (FCC) issued new regulations that required changes to the Town's Development Code regarding wireless communication facilities (WCFs). The Town Council then passed Ordinance 18, Series 2016 creating Policy 50 (Absolute) Wireless Communications Facilities. This is the first Class A application to be reviewed under this Policy.

According to the applicant, a need for this site was determined by Verizon Wireless Radio Frequency (RF) Engineers because Verizon's existing site and wireless communication facility ("Snowberry", located on the roof of the Liftside Hotel) covering the downtown area was forecasted to reach full capacity by the end of 2017. The proposed site, per the applicant, will alleviate the capacity constraint at the Snowberry location and improve service.

### Staff Comments

Staff has reviewed this application under all relevant Absolute and Relative Policies of the Development Code.

**Building Height (Policy 6/A & 6/R):** Building height and density limitations do not apply to this application per Section 9-1-19-50A H. (2) a. as this is classified as a utility and not a structure.

### Wireless Communications Facilities (50/A):

#### I. Location Criteria

The WCF is proposed to be located on an existing building, which is preferred by this Policy. However, Policy 50 states that "*WCFs shall be collocated with existing WCFs, if within one thousand five hundred feet (1,500') of an existing WCF, unless the town determines that doing so would create excessive visual clutter.*" Staff has calculated that the Snowberry WCF is approximately 1,100 ft. from the proposed location. Therefore, this Policy requires that the proposed WCF be located with the existing WCF at the Liftside building (referred to as Snowberry). However, Verizon is already located in the Snowberry WCF as stated previously in this report. The Snowberry location has reached its data capacity and collocating, or in this case expanding the existing WCF would not address the capacity and/or coverage issue, per the applicant. Because "*visual clutter*" is not the issue, staff has evaluated the application per the direction of the Town Attorney using *Section K Adjustments to Standards* later in this report.

*Section I. (5)* of this Policy applies because the WCF is proposed in the Conservation District. As such, staff has evaluated the application as related to the following four criteria from *Section I. (5)*:

*a. A significant gap in the provider's service exists;*

Staff comment: The applicant has provided a report prepared by a Radio Frequency Engineer showing an existing gap in service, ranging from Wellington Rd. to the north, E. Jefferson to the south, Ridge St. to the West, and High St. to the east. In addition to stating "*a gap in coverage and capacity of the service network exists such that users are regularly unable to connect to the service network in the busy winter season*", the applicant has provided maps proposing that this area will be serviced by the new facility (attached). Staff does not have any concerns.

*b. The proposed WCF is the least visually intrusive means to close the significant gap;*

Staff comment: The WCF is centrally located on the building's roof, set back from the parapets, unlike other roof mounted WCFs that have been a concern in town. The antenna screens consist of a fiberglass material coated to match the building's existing stucco. This material creates a blended appearance to the material located closest to the rooftop and allows for the wireless signals to penetrate. In this case, as the stucco is existing on the third floor and closest to the proposed utility, staff is supportive of this material use mimicking stucco (rather than brick which is found elsewhere on the building). Given that the WCF is proposed on an existing non-historic building, and not a stand alone free standing WCF or



mounted on a historic building, staff finds this location acceptable. This facility is also large enough to allow for future collocation opportunities which will reduce visual clutter in the District.

*c. No feasible alternative exists to close the significant gap;*

Staff comment: Staff is not aware of an alternative at this time which would improve the wireless capacity in a more feasible manner.

*d. The provider's existing WCFs lack the capacity to service the wireless users except by the installation of one or more WCF sites in the otherwise restricted locations described in this subsection I(5).*

Staff comment: The applicant has provided a detailed capacity forecast showing that the existing Snowberry site has reached capacity, as well as studies showing that the proposed location will have the effect of offloading the capacity of the Snowberry site and improving coverage in the downtown area (attached).

As required by this Policy, staff has also evaluated the application's compliance with Policy 5/A and 5/R and the Handbook of Design Standards for the Historic and Conservation Districts later in this report.

#### J. Design Standards

Policy 50 states that within the Conservation District, wall mounted WCFs are **preferred**. The project's RF Engineer has stated that a roof mounted WCF is proposed for the following reasons:

- *“Façade mounting at this location would not be able to get over the surrounding clutter (buildings, trees, and terrain) to provide sufficient capacity [to] offload to our Snowberry site that is at capacity.*
- *Additionally, we have non-standard azimuths and we are generally limited to 15 degrees of skewing from the mounting wall. We would not be able to achieve the needed azimuths with facade mounts.”*

The applicant has submitted descriptions and graphics demonstrating that the building façade's alignment/orientation would not correspond to the angles required for a façade-mounted WCF (attached). Additionally, the Design Standards allow the Planning Commission to waive the wall-mounted preference if it determines the overall intent of Policy 50 will not be served by requiring the WCF to be wall mounted. Given that the overarching intent of this policy is *“to make wireless communications reasonably available”* and not to *“prohibit or have the effect of prohibiting wireless communications services”*, staff supports the roof-mounted design with its ability to provide collocation opportunities to other providers in the future.

At three stories tall (41'-6"), and approximately 260 ft. by 113 ft. in length and width, the building is much larger than is typically found in the Conservation District. The antennae screen enclosure is proposed at approximately 11% of the length of the building's north and south façades (12'-11" / 113' = 0.114), and approximately 4% of the length of the building's east and west façades (9'-11" / 260' = 0.038). In regards to height, the applicant has stated that the height of the WCF is the minimum height necessary to allow the WCF to function properly while meeting the service need. The building already exceeds the recommended height of two stories stated in the Land Use Guidelines for District 18-2. The WCF is proposed at 8'-1" above the existing lower parapet, and 6'-10" above existing upper parapet, for a total height of 48'-4". However, this policy states that Policy 6/A and 6/R Building Height shall not apply to WCF applications as it is considered a utility and not a structure. Therefore, staff does not have any concerns regarding the height of the WCF, and finds the WCF's design is appropriate for the

building's size and mass, and that it will have minimal impact on the neighboring properties because the antennae are concealed with a radio frequency-transparent screen, using a fiberglass material manufactured to match the building's existing stucco appearance.

The supporting equipment for the WCF, including batteries, electrical panels, etc., are proposed to be located inside of the existing parking garage, out of view. The associated fiber and 6" conduit are proposed to be hidden on the building's roof behind the parapet, painted to match brick where running down the façade, routed along door jambs, and/or be installed underground. Staff finds that the applicant designed the associated equipment to be minimally visually intrusive.

There are not any associated lights, generators, advertising signage, or similar inconveniences to the public accompanying the WCF.

#### K. Adjustments to Standards

As stated earlier, the WCF is proposed within 1,500 ft. of another WCF and does not comply with the collocation distance between facilities requirement of this Policy. The purpose of this standard is to minimize the negative visual impacts of repetitive WCF installations by **multiple or competing service providers** that are installed within close proximity to one another, and hence reduce visual clutter. Policy 50 does not address a situation such as this where requiring a service provider to collocate with their own facility would be a futile effort to increase the capacity and coverage. Therefore, the applicant's elevations, color simulations, and project description have been evaluated by staff for an adjustment to the collocation requirement, and we find the proposed design mitigates the visual impacts to residential zones through minimal height and bulk, and the use of a color and stealth material to match the existing building as best as possible. Staff has evaluated the applicant's demonstration of a gap in coverage, and finds that the application conforms to the remaining Policy 50 standards and is a feasible means to improve the coverage.

**Architectural Compatibility (5/A & 5/R):** Staff finds that the proposed WCF antenna, screening, and associated equipment will not adversely affect or alter the unique aesthetic character, beauty, or historic charm of the town. As the WCF is proposed inside the conservation district, staff has reviewed the application for compliance with Policy 5 (Absolute) and (Relative) Architectural Compatibility, the *Handbook of Design Standards for the Historic and Conservation Districts* (see below), and the Design Standards of Policy 50 (Absolute) Wireless Communications Facilities.). Prior to installation, the WCF will be required to receive a Building Permit to ensure compliance with applicable building, structural, and electrical codes.

Policy 5/A and 5/R are intended to encourage building designs that are compatible with the desired architecture of the surrounding neighborhood. The existing building is out of character with the Conservation District in that it is three stories tall, contains large massing, and the use of stucco. The applicants have proposed to screen the antennas on all elevations with a radio frequency –transparent, fiberglass, roof-less antenna screen mounted to the existing roof with stucco texture and painted to match the color of the existing stucco. Inside the screen enclosure would be nine (9) panel antennas, one (1) GPS antenna, and associated equipment. None of the antennas or associated equipment will be visible. Sheets Z2.0 in the packet show each elevation. A color/material sample will also be provided at the Hearing. Staff finds that the proposed materials, colors, and design draw the least amount of attention to the antennas on the roof.

There are some code sections in the Handbook of Design Standards for the South Main Transition Character Area of the Conservation District which address incorporating mechanical and/or utilities into the structure.

**(Policy 24A &24/R) Handbook of Design Standards for the Transition Character Areas of the Conservation District:**

***Design Standard 345.***

- *Conceal mechanical equipment in roof forms*

***Design Standard 352.*** *The character of windows, doors and architectural details generally are not as critical in the South Main Transition Character Area.*

- *An exception is when such elements are so configured as to affect the overall scale or character of a building as it relates to other design standards in this document.*

Because the antennas are screened to match the building and the mechanical equipment is proposed in the existing garage, out of view of the public, staff does not have any concerns regarding compliance with the Handbook of Design Standards.

**Placement of Structures (9/A & 9/R):** No change is proposed as the WCF is located on the roof top of the building. A new underground “meet me” utility box is proposed approximately 6 ft. from the property line, however this is not applicable for setbacks. Staff has no concerns.

**Density/Intensity (3/A & 3/R)/Mass (4/R):** The mechanical equipment is located in the existing parking garage, which will eliminate noise and any visual impact to the surrounding properties. There is no additional density proposed.

**Utilities Infrastructure (26/A & 26/R; 28/A):** Utilities for new construction projects are generally required to be placed below grade. This is not feasible for wireless communications facilities, which are required to be above grade to be effective. In response to this specific need, Policy 50 was adopted. As previously stated, the associated fiber and 6” conduit are proposed to be hidden on the building’s roof behind the parapet, painted to match brick where running down the façade, routed along door jambs, or be installed underground in an existing utility easement. Staff finds that the applicant designed the associated equipment to be minimally visually intrusive and does not have any concerns.

**Land Use (2/A &2/R):** The recommended land use for this district is commercial or residential. The proposed use is a commercial utility and is regulated by the FCC. There are not any land use districts that are specifically designed for wireless commercial facilities. These uses are generally co-located on tall buildings in Town. Staff has no concerns.

**Point Analysis (Section: 9-1-17-3):** Staff does not find any Relative policies under which positive or negative points should be assigned. We find that the application meets all applicable Absolute policies.

**Staff Recommendation**

In summary, the proposed WCF, concentrated in the central portions of the large non-historic building and screened with the finishes of the existing building, provide minimal visual impacts to the community.

At the January 30<sup>th</sup> hearing, the Community Development Department recommended that the Planning Commission approve the Verizon Wireless Communications Facility with associated Adjustment, located at 305 S. Ridge St., PL-2017-0689, showing a passing score of zero (0) points, with the attached Findings and Conditions.

**The applicant's agent has submitted a request for continuance of the hearing to a later meeting. Staff does not have any concerns with the request for continuance, and recommends the Planning Commission make a motion to continue the hearing to a later meeting.**

<b>Combined Hearing Impact Analysis</b>				
Project:	Verizon Wireless Communications Facility (305 S. Ridge St.)	<b>Positive</b>	<b>Points</b>	<b>0</b>
Plan #	PL-2017-0689			
Date:	1/25/2018	<b>Negative</b>	<b>Points</b>	<b>0</b>
Staff:	Chapin LaChance, Planner II			
		<b>Total</b>	<b>Allocation:</b>	<b>0</b>
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)	0	Overall, the proposed WCF, concentrated in the central portions of the large non-historic building and screened with the finishes of the existing building, provide the least visual impact to the community.
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		

16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	N/A		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	N/A		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		

37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		
50/A	<b>Wireless Communication Facilities</b>	Complies		<p>Wall mounted WCFs are preferred within the Conservation District. A roof mounted WCF is proposed because of "line of sight" issues with the existing Snowberry WCF (Liftside Hotel) location, and the building's façade creating antenna angle limitations. Staff finds the overall intent of Policy 50 will not be served by requiring the WCF to be wall mounted. Given that the overarching intent of this policy is "to make wireless communications reasonably available" and not to prohibit or have the effect of prohibiting wireless communications services", staff supports the roof-mounted design. Staff recommends an Adjustment to the collocation standard, given that the purpose of this standard is to minimize the negative visual impacts of repetitive WCF installations by multiple or competing service providers that are installed within close proximity to one another, and hence reduce visual clutter. Policy 50 does not address a situation such such as the current proposal, where requiring a service provider to collocate with their own facility would be futile in an effort to increase the capacity and coverage.</p>

## TOWN OF BRECKENRIDGE

**Verizon Wireless Communication Facility  
Abbetts Addition Subdivision, Block 14, Lots 1-16  
305 S. Ridge St.  
PL-2017-0689**

### FINDINGS

1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **February 15, 2018**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearings on the project held on **January 30 and February 20, 2018**, as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.
7. **When originally scheduled for the January 30, 2018 hearing, staff found that the issues involved in the proposed project were such that no useful purpose would have been served by requiring two separate hearings. At the January 30, 2018 hearing, this application was continued by the Planning Commission to a later hearing.**
8. **This permit was approved with an Adjustment (per 9-1-19-50A, K. Adjustments to Standards) to the collocation requirement for a new WCF which is located within one thousand five hundred feet (1,500') of an existing WCF.**

### CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. **This permit expires ten (10) years from date of issuance, on February 27, 2028, unless sooner revoked or terminated per Policy 50**, or unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30



days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.

4. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
5. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
6. Applicant shall field locate utility service lines to avoid existing trees.
7. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.
8. **The WCF shall be operated in compliance with: a) the terms of the permit; b) all other applicable requirements of the Town's Development Code and Policy 50; and c) all applicable laws, rules, and regulations, including, but not limited to, the FCC's RF emission safety rules.**
9. **The permittee shall obtain and maintain all other applicable WCF permits, approvals, and agreements necessary to install and operate the WCF in conformance with federal, state, and local laws, rules, and regulations.**
10. **Within thirty (30) days after installation of a WCF, the permittee shall demonstrate to the director that its WCF as installed and normally operating fully complies with all of the conditions of the WCF permit, including, but not limited to, height and size restrictions, and applicable building and safety codes. The demonstration shall be provided in writing to the director containing all technical details to demonstrate such compliance, and certified as true and accurate by a qualified professional engineer or, in the case of height or size restrictions, by a qualified surveyor. This report shall be prepared by the permittee and reviewed by the town at the sole expense of the permittee. The director may require additional proofs of RF emission compliance on an ongoing basis to the extent the town may do so consistent with federal law.**
11. **The town may inspect WCF permitted facilities and property and may enter onto a site to inspect WCF facilities upon reasonable notice to the permittee. In case of a bona fide emergency or risk of imminent harm to persons or property within the vicinity of WCF permitted facilities, the town has the right, but not the duty, to enter upon the site of the facilities and to support, disable, or remove those elements of the facilities posing an immediate threat to public health and safety. Prior to taking any action pursuant to this subsection, the town shall make a reasonable effort to locate the permittee and advise it of the existence and nature of the emergency. The reasonableness of the town's efforts to locate the permittee shall be determined based upon the nature of the emergency and the town's efforts to locate and notify the permittee. If, after reasonable efforts, the permittee cannot be located, the town shall have the right to enter the property and perform any needed emergency repairs as herein provided and, upon demand, the permittee shall reimburse the town for the reasonable and necessary costs of such emergency repairs. Failure of the permittee to pay to the town upon demand the costs of such emergency repairs shall constitute a default event under the WCF permit.**
12. **The permittee shall maintain on file with the town and on site at the WCF current and updated contact information of all parties responsible for maintenance of the WCF.**
13. **The permittee shall defend, indemnify, and hold harmless the town, its agents, officers, officials, and employees: a) from any and all damages, liabilities, injuries, losses, costs and expenses, and from any**

and all claims, demands, lawsuits, and other actions or proceedings brought against the town or its agents, officers, officials, or employees to challenge, attack, seek to modify, set aside, void, or annul the town's approval of the WCF permit; and b) from any and all damages, liabilities, injuries, losses, costs and expenses and any and all claims, demands, lawsuits, or causes of action and other actions or proceedings of any kind or form, whether for personal injury, death or property damage, arising out of or in connection with the permittee or the permittee's agents, employees, licensees, contractors, subcontractors, or independent contractors, activities, or performance related to the WCF contractors (items a and b of this subsection L(8) collectively are "actions"). If the town becomes aware of any such actions, the town shall promptly notify the permittee and shall reasonably cooperate in the defense. It is expressly agreed that the town shall have the right to approve, which approval shall not be unreasonably withheld, the legal counsel providing the town's defense, and the property owner and/or permittee (as applicable) shall reimburse town for any costs and expenses directly and necessarily incurred by the town in the course of the defense. The indemnity obligation described in this subsection L(8) shall survive the expiration or termination of the WCF permit, and shall continue to be enforceable thereafter, subject to any applicable statute of limitation.

14. The permittee shall file with the town, and shall maintain in good standing throughout the term of the WCF permit, proof that the permittee has a policy of commercial general liability insurance with minimum limits of liability of not less than one million dollars (\$1,000,000.00) per claim and one million dollars (\$1,000,000.00) aggregate, or such other limits as may be reasonably acceptable to the director. The town shall be named as an additional insured under such insurance policy.
15. If determined to be necessary by the director in order to adequately protect the town, the permittee shall file with the town, and maintain in good standing throughout the term of the WCF permit, a performance bond or other surety or another form of security acceptable to the town attorney to pay for the removal of the WCF in the event that the use is abandoned; the WCF permit expires, is revoked, or is otherwise terminated; or the permittee is otherwise financially unable to pay for the removal of the WCF. If required, the security shall be in the amount equal to one hundred fifteen percent (115%) of the cost of physically removing the WCF and all related facilities and equipment on the site.
16. The permittee shall make a good faith effort to minimize project related disruptions to adjacent properties. Without limiting the generality of the preceding sentence, site improvement and installation work, including setup, loading, or unloading of materials or equipment, performed as part of the installation of the approved project are subject to the provisions of section 5-8-6 of The Town Code. Emergency maintenance and repairs are exempt from the restricted hours. Violation of this condition may result in issuance of a stop work order or other appropriate enforcement action by the town.

#### PRIOR TO ISSUANCE OF BUILDING PERMIT

17. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
18. Applicant shall install a protective construction fence in a manner acceptable to the Town with an on-site inspection by Staff.
19. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

20. Applicant shall revegetate all disturbed areas where revegetation is called for, with a minimum of 2 inches topsoil, seed and mulch.
21. Applicant shall paint all flashing, vents, flues, rooftop mechanical equipment and utility boxes on the building a flat, dark color or to match the building color.
22. Applicant shall screen all utilities.
23. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
24. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.
25. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
26. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
27. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

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(Initial Here)

**PROJECT DATA**

**SITE NAME:** CO3 - BRECKENRIDGE DT  
**ADDRESS:** 305 S. RIDGE STREET, BRECKENRIDGE, CO 80424  
**JURISDICTION:** TOWN OF BRECKENRIDGE  
**VERIZON PROJECT #:** 20141050764  
**PROJ. SUMMARY:** PROPOSED CONSTRUCTION OF A WIRELESS FACILITY FOR VERIZON WIRELESS, KNOWN AS 'CO3 - BRECKENRIDGE DT'. ALL WORK INCLUDES INSTALLING NEW EQUIPMENT IN EXISTING PARKING GARAGE, AND RUNNING ALL REQUIRED POWER AND SIGNAL CABLES FROM THE PARKING GARAGE TO THE NEW SCREENED ANTENNAS MOUNTED ON EXISTING BUILDING ROOF.  
**LEGAL DESCRIPTION** LOTS 1 THROUGH 16, BLOCK 14, ABBETT ADDITION TO THE - PARENT PARCEL: TOWN OF BRECKENRIDGE, COUNTY OF SUMMIT, STATE OF COLORADO.  
**CODE/LOCATION INFORMATION:**  
 EXISTING CONSTRUCTION  
 T.O. EXISTING UPPER ROOFTOP: 39'-8"  
 T.O. EXISTING UPPER PARAPET: 42'-5"  
 F.F. EXISTING BUILDING: 0'-0" (9601)  
 NEW CONSTRUCTION  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY: B-UNMANNED  
 STRUCTURE HEIGHT: T.O. ANTENNA SCREEN 48'-4" A.G.L.  
 NO. STORIES: ONE (1)  
 EQUIPMENT ENCLOSURE AREA: 146.56 SF.  
 OCCUPANT LOAD: 2 / UNMANNED  
 BUILDING CODE: 2012 IBC  
 ELEVATION: 9601'

**PROJECT CONTACTS**

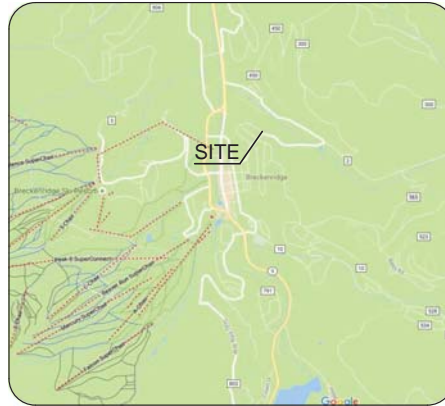
**ARCHITECT:** T-REX ARCHITEX  
146 MADISON ST. SUITE 200 DENVER, CO 80206  
**OWNER:** COHN ENTERPRISES  
PO BOX 600630 SAN DIEGO, CO 92160-0630  
**CONSTRUCTION MANAGER:** BLACK & VEATCH  
4600 S. SYRACUSE ST. SUITE 800 DENVER, CO 80237  
**RF ENGINEER:** PRECISION SURVEY & MAPPING, INC.  
9145 E. KENYON AVE. SUITE 101 DENVER, CO 80237  
**VERIZON WIRELESS:** JASON SHELLEDDY  
970-646-1283  
**VERIZON WIRELESS:** DONI MITCHELL  
303-388-2918  
**VERIZON WIRELESS:** KRISTEN COWAN  
303-264-0524  
**VERIZON WIRELESS:** CHRISTIPHER P. JULIANA  
303-753-9799

# CO3-BRECKENRIDGE DT

## ALT# 1

### CELLULAR SITE

### ZONING DRAWINGS



**VICINITY MAP**  
SCALE: NTS

**GENERAL NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS RELATED TO THIS WORK PRIOR TO COMMENCING CONSTRUCTION AND VISIT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
2. THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE.
3. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES OF ALL GOVERNING JURISDICTIONS, CONTRACTOR SHALL POST ALL NOTICES, SECURE ALL PERMITS, AND COMPLY WITH ALL LAWS, RULES, REGULATIONS AND LAWFUL ORDERS BEARING ON THE PERFORMANCE OF THE WORK.
4. THE CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION AND SHALL SUPERVISE AND DIRECT THE PROJECT ACCORDINGLY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
5. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION, PATCH AND REPAIR ALL DAMAGED ITEMS, RESTORE EACH DISTURBED AREA TO PRE-CONSTRUCTION CONDITION.
6. THE WORK DESCRIBED BY THE DRAWINGS OF ANY ONE DISCIPLINE MAY BE AFFECTED AND REQUIRE REFERENCE TO THE WORK DESCRIBED ON DRAWINGS OF ANOTHER DISCIPLINE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES, AND / OR SUPPLIERS PRIOR TO COMMENCING CONSTRUCTION TO INSURE THAT ALL PARTIES ARE AWARE OF OVERLAPPING REQUIREMENTS.
7. ALL INTERRUPTED SYSTEMS SHALL BE COORDINATED WITH APPROPRIATE AUTHORITIES AND RESTORED TO ORIGINAL CONDITION AND OPERATION.
8. ALL DEMOLISHED ITEMS ARE TO BE REMOVED COMPLETELY FROM THE SITE.
9. CALL 3-DAYS BEFORE YOU DIG! NOTIFICATION HOTLINE: 1-800-922-1977 or 811

**INDEX OF DRAWINGS: (11 SHEETS)**

- T10 TITLE SHEET
- LS1 SURVEY
- LS2 SURVEY
- Z10 SITE PLAN / CABLE LENGTHS
- Z11 ROOF PLANS
- Z12 LEVELS PLANS
- Z20 SITE ELEVATIONS
- Z30 SHELTER PLANS
- Z31 SHELTER ELEVATIONS
- Z40 SECTOR PLANS
- Z41 SECTOR ELEVATIONS / DETAILS

**SYMBOL & MATERIAL LEGEND**

<ul style="list-style-type: none"> <li>--- PROPERTY LINE</li> <li>--- SETBACK OR EASEMENT</li> <li>— W — WATER LINE</li> <li>— G — GAS LINE</li> <li>— E — ELECTRICAL</li> <li>— T — TELCO</li> <li>— X — FENCE</li> </ul>	<ul style="list-style-type: none"> <li>— HYBRID / COAX</li> <li>— FIBEROPTIC</li> <li>— DC POWER</li> <li>Ø POWER POLE</li> <li>⊕ BENCHMARK</li> <li>z DOOR TAG</li> <li>⊗ WINDOW TAG</li> <li>⊥ WALL TYPE</li> </ul>	<ul style="list-style-type: none"> <li>⊗ SECTION INDICATOR</li> <li>⊗ ELEVATION INDICATOR</li> <li>⊗ DETAIL INDICATOR</li> <li>⊗ WOOD CONT.</li> <li>⊗ WOOD BLOCKING REVISION</li> <li>⊗ PROPERTY CORNER</li> <li>⊗ ELEVATION TAG HEIGHT CALLOUT</li> <li>⊗ SPOT ELEVATION</li> </ul>	<ul style="list-style-type: none"> <li>▨ MASONRY</li> <li>▨ CONCRETE</li> <li>▨ EARTH</li> <li>▨ GRAVEL</li> <li>▨ PLYWOOD OR O.S.B.</li> <li>▨ SAND</li> <li>▨ STEEL</li> <li>▨ CMU</li> <li>▨ RIGID INSULATION</li> <li>▨ ARCHITECTURAL WOODWORK</li> </ul>	<ul style="list-style-type: none"> <li>▨ CHAIN LINK FENCE</li> <li>▨ EXISTING EASEMENT</li> <li>▨ NEW UTILITY EASEMENT</li> <li>▨ NEW ACCESS / UTILITY EASEMENT</li> <li>▨ LEASE AREA</li> <li>▨ NEW ANTENNAS</li> <li>▨ NEW RRHS / OVPS</li> <li>▨ NEW PENETRATIONS</li> </ul>	<ul style="list-style-type: none"> <li>BBU BASE BAND UNIT</li> <li>OVP OVER-VOLTAGE PROTECTION</li> <li>PDF POWER DISTRIBUTION FRAME</li> <li>RRH REMOTE RADIO HEAD</li> <li>C.V. CONTRACTOR VERIFY</li> <li>± PLUS OR MINUS</li> <li>⊕ CENTER-LINE</li> <li>⊔ PLATE</li> </ul>
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0 2 4 8 16 GRAPHIC SCALE

STAMP  
**PRELIMINARY**  
FOR REVIEW ONLY

**T-REX ARCHITEX**  
146 Madison Street  
Denver, CO 80206  
303.388.2918

DRAWINGS  
Drawings and specifications are instruments of service and shall remain the property of the architect whether the project is completed or not. They shall not be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or specifications. The contractor shall be responsible for the accuracy of the information and data furnished to the architect. The architect shall not be responsible for the accuracy of the information and data furnished to the contractor. The architect shall not be responsible for the accuracy of the information and data furnished to the contractor. The architect shall not be responsible for the accuracy of the information and data furnished to the contractor.

PROJECT FOR  
**verizon**  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

DATE ISSUED  
**OCTOBER 25, 2017**

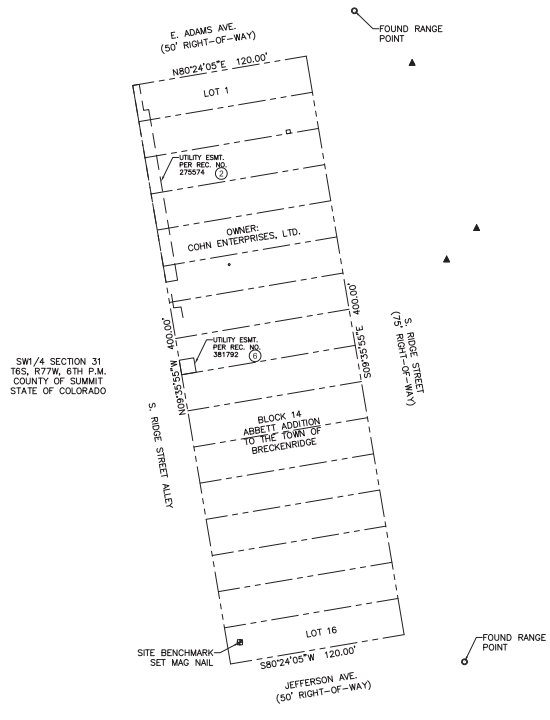
DATE	ISSUED AS
-----	ZD APPROVAL
-----	PRELIMINARY CD SET
-----	FINAL CD SET
-----	PERMIT SUBMITTED

DATE	REVISIONS
10-25-17	100% ZD'S SET
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PROJECT NAME  
**CO3-BRECKENRIDGE DT**

CELL SITE  
**ZD'S - ALT. #1**  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424  
COUNTY OF SUMMIT  
STATE OF COLORADO

**T1.0**  
TITLE SHEET



**LEGAL DESCRIPTION--PARENT PARCEL**  
 LOTS 1 THROUGH 16, BLOCK 14, ABBETT ADDITION TO THE TOWN OF BRECKENRIDGE,  
 COUNTY OF SUMMIT, STATE OF COLORADO.

**TITLE REPORT**  
 PREPARED BY: LAND TITLE GUARANTEE COMPANY  
 COMPANY FILE NUMBER: M20161474  
 EFFECTIVE DATE: JULY 21, 2016 AT 5:00 P.M.

- SCHEDULE B-EXCEPTIONS**
- 1) RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AND A RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED FEBRUARY 23, 1882 IN BOOK 40 AT PAGE 366.
  - 2) TERMS, CONDITIONS AND PROVISIONS OF DEED GRANTING EASEMENT TO THE TOWN OF BRECKENRIDGE RECORDED APRIL 05, 1984 AT RECEPTION NO. 275574, SHOWN HEREON
  - 3) TERMS, CONDITIONS AND PROVISIONS OF RESTRICTIVE COVENANT PROHIBITING SNOW STORAGE RECORDED APRIL 18, 1984 AT RECEPTION NO. 276257.
  - 4) TERMS, CONDITIONS AND PROVISIONS OF LEASE TO THE UNITED STATES POSTAL SERVICE RECORDED JULY 05, 1984 AT RECEPTION NO. 280303.
  - 5) TERMS, CONDITIONS AND PROVISIONS OF LEASE TO THE UNITED STATES POSTAL SERVICE RECORDED FEBRUARY 16, 1989 AT RECEPTION NO. 366634.
  - 6) TERMS, CONDITIONS AND PROVISIONS OF UTILITY EASEMENT RECORDED JUNE 17, 1990 AT RECEPTION NO. 391792, SHOWN HEREON
  - 7) TERMS, CONDITIONS AND PROVISIONS OF RELEASE AND COVENANT NOT TO SUE WITH THE TOWN OF BRECKENRIDGE RECORDED AUGUST 18, 1995 AT RECEPTION NO. 496968.
  - 8) TERMS, CONDITIONS AND PROVISIONS OF RESTRICTIVE COVENANT AND AGREEMENT (LANDSCAPING) RECORDED AUGUST 18, 1995 AT RECEPTION NO. 496969.
  - 9) TERMS, CONDITIONS AND PROVISIONS OF MEMORANDUM OF LEASE TO THE UNITED STATES PARCEL SERVICE RECORDED JULY 07, 2004 AT RECEPTION NO. 761455.
  - 10) TERMS, CONDITIONS AND PROVISIONS OF ENCROACHMENT LICENSE AGREEMENT WITH THE TOWN OF BRECKENRIDGE RECORDED MAY 30, 2013 AT RECEPTION NO. 1027549.
  - 11) AFFIDAVIT OF FOREIGN LIMITED PARTNERSHIP DISCLOSES THE GENERAL PARTNERS AS PHILIP COHN, TRUSTEE OF THE COHN FAMILY TRUST LDT OF MAY 2, 1995 AND ALICE COHN, TRUSTEE OF THE COHN FAMILY TRUST LDT OF MAY 2, 1995, AS RECORDED DECEMBER 26, 1995 UNDER RECEPTION NO. 505989.
  - 12) TRUST AFFIDAVIT RECORDED DECEMBER 26, 1995 UNDER RECEPTION NO. 505988 DISCLOSES PHILIP COHN AND ALICE COHN AS TRUSTEES OF THE COHN FAMILY TRUST.

**DOCUMENTS ARE BLANKET IN NATURE AND NOT PLOTTABLE UNLESS OTHERWISE NOTED**

**BENCHMARK**  
 SITE BENCHMARK--SET MAG NAIL GROUND ELEVATION=9616.14' (NAVDS88) UTILIZING  
 NGS MONUMENT "9577"

**BASIS OF BEARINGS**  
 COLORADO STATE PLANE CENTRAL ZONE (NAD83)  
 CLASSIFICATION--THIRD  
 MINIMUM GEOMETRIC ACCURACY STANDARD: 5.0cm + 1:10,000

**NOTES**

- 1.) THIS SURVEY AND ACCOMPANYING DESCRIPTION(S) ARE NOT INTENDED FOR PURPOSE OF TRANSFER OF TITLE OR SUBDIVISION OF LAND.
- 2.) THIS IS NOT A BOUNDARY SURVEY, LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT.
- 3.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY PRECISION SURVEY & MAPPING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD.
- 4.) THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED TO AN EXPERT CONSULTANT.
- 5.) THERE MAY BE ADDITIONAL BURIED OR UNDERGROUND UTILITIES IN THE AREA WHICH THE SURVEYOR IS UNAWARE OF AND NO LIABILITY FOR SUCH IS ASSUMED HEREIN. ALL UNDERGROUND UTILITIES SHOULD BE FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR DIGGING ON OR ADJACENT TO THE SUBJECT PROPERTY.
- 6.) THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR.
- 7.) THE PROPOSED ANTENNA CENTROID SHOWN HEREON WAS PROVIDED BY CLIENT. PRECISION SURVEY & MAPPING, INC. ASSUMES NO LIABILITY FOR DETERMINING PHYSICAL LOCATION OF THE PROPOSED ANTENNA.

**SURVEYOR'S CERTIFICATION**  
 I, THE UNDERSIGNED, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS SITE PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS IS NOT A BOUNDARY SURVEY.

Christopher A. Reilly, Registered Land Surveyor No. 31158  
 DATE: 10/17/16  
 FOR AND IN FULL PAY OF PRECISION SURVEY & MAPPING, INC.



PLANS PREPARED BY:  
**PRECISION SURVEY & MAPPING, INC.**  
 PROFESSIONAL LAND SURVEYING CONSULTANTS  
 8145 E. HENRYON AVE., SUITE 101  
 DENVER, COLORADO 80231  
 OFFICE: (303) 753-9759  
 FAX: (303) 753-4044

**DRAWINGS**  
 Design and Specifications of instruments of work are not valid until the project is fully developed under the Project for which they are made or intended or until the Project is completed and the instruments of work are approved by the appropriate authority. The Project is shown as completed in this drawing. The Project is shown as completed in this drawing. The Project is shown as completed in this drawing.



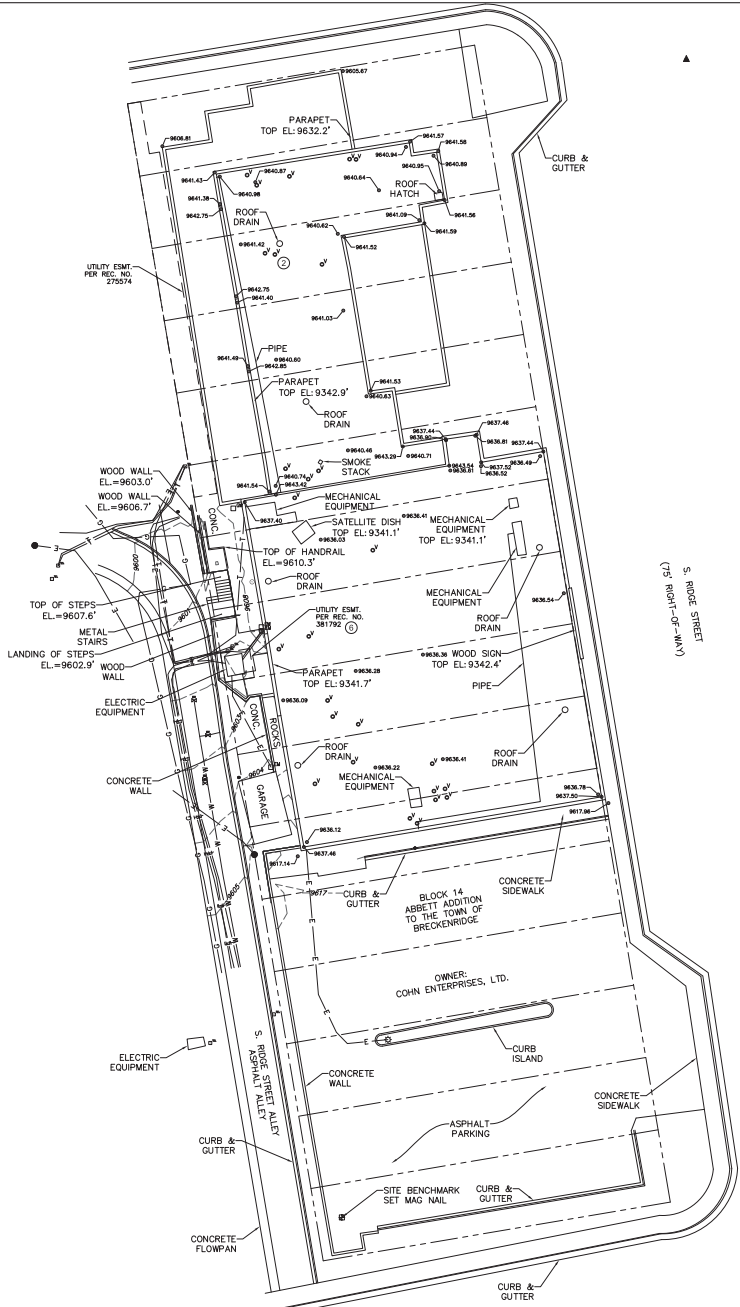
DATE ISSUED  
**SEPTEMBER 27, 2016**

DATE	ISSUED AS
---	ZD APPROVAL
---	CD PRELIMINARY REVIEW
---	BID SETS
---	PERMIT SUBMITTED

DATE	REVISIONS
10/3/16	ADDED ELEVATIONS
10/17/16	ADDED NORTH ROOF
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PROJECT NAME  
**C03**  
**BRECKENRIDGE**  
**DT**  
 SITE ADDRESS  
 305 S. RIDGE ST  
 BRECKENRIDGE, CO, 80424  
 SUMMIT  
 PSM JOB NO.  
 R12028

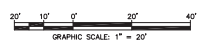
**LS 1**



SW1/4 SECTION 31  
T6S, R77W, 6TH P.M.  
COUNTY OF SUMMIT  
STATE OF COLORADO

S. RIDGE STREET  
(75' RIGHT-OF-WAY)

- LEGEND:**
- MONUMENT FOUND AS DESCRIBED
  - SCHEDULE B2 EXCEPTION
  - SITE BENCHMARK
  - VENT PIPE
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - WATERLINE
  - GAS LINE
  - ELECTRIC LINE
  - TELEPHONE LINE
  - WATER VALVE
  - TELEPHONE PEDESTAL
  - BOLLARD/POST



PLANS PREPARED BY:  
PRECISION SURVEY & MAPPING, INC.  
PROFESSIONAL LAND SURVEYING CONSULTANTS  
8145 E. HENRY AVENUE, SUITE 101  
DENVER, COLORADO 80231  
OFFICE: (303) 753-9799  
FAX: (303) 753-4044

**DRAWINGS**  
Drawing and Specifications are instruments of service and shall remain the property of the drafter and shall not be used for any other project without the prior written consent of the drafter. The drafter shall not be responsible for any errors or omissions in the drawings or specifications. The drafter shall not be held liable for any damages or losses resulting from the use of the drawings or specifications. The drafter shall not be held liable for any damages or losses resulting from the use of the drawings or specifications. The drafter shall not be held liable for any damages or losses resulting from the use of the drawings or specifications.

PROJECT FOR  
**verizon wireless**  
305 S. RIDGE ST  
BRECKENRIDGE, CO 80424  
303.694.3224

DATE ISSUED  
**SEPTEMBER 27, 2016**

DATE	ISSUED AS
—	ZD APPROVAL
—	CD PRELIMINARY / REVIEW
—	BID SETS
—	PERMIT SUBMITTED

DATE	REVISIONS
10/3/16	ADDED ELEVATIONS
10/17/16	ADDED NORTH ROOF
—	—
—	—
—	—
—	—
—	—
—	—
—	—

PROJECT NAME  
**CO3  
BRECKENRIDGE  
DT**  
SITE ADDRESS  
305 S. RIDGE ST  
BRECKENRIDGE, CO, 80424  
SUMMIT  
PSM JOB NO.  
R12028

**LS 2**

POWER CABLE LENGTH					
FROM PDF TO BASE OVP'S					
SECTOR	TYPE	LENGTH	QTY	TOTAL	
N/A	DC PAIR	8'	2	16'	
HYBRID CABLE LENGTHS					
FROM BASE OVP'S TO SECTOR OVP'S					
SECTOR	TYPE	SIZE	LENGTH	QTY	TOTAL
HIGHBAND	6X12	1-5/8"	125'	1	125'
LOWBAND	6X12	1-5/8"	125'	1	125'
					TOTAL 250'
FROM SECTOR OVP'S TO RRH'S					
SECTOR	TYPE	SIZE	LENGTH	QTY	TOTAL
HIGHBAND	1X1	1/2"	16'	6	96'
LOWBAND	1X1	1/2"	10'	6	60'
					TOTAL 156'
COAXIAL CABLE LENGTHS					
FROM RRH'S TO ANTENNAS					
SECTOR	TYPE	SIZE	LENGTH	QTY	TOTAL
X-SECTOR	LDF4 .50A	1/2"	6'-0"	16	96
Y-SECTOR	LDF4 .50A	1/2"	6'-0"	16	96
Z-SECTOR	LDF4 .50A	1/2"	6'-0"	16	96
					TOTAL 288'

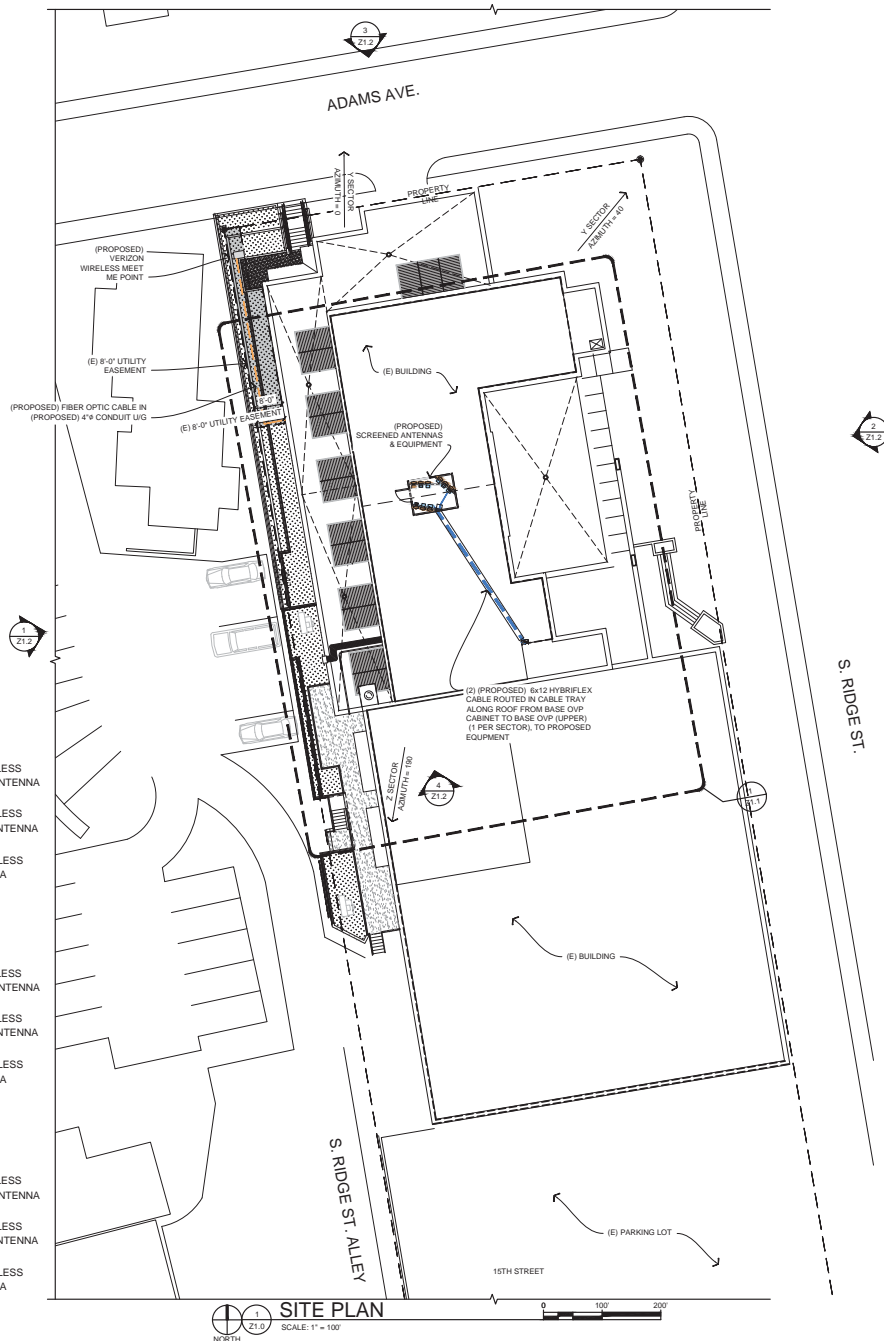
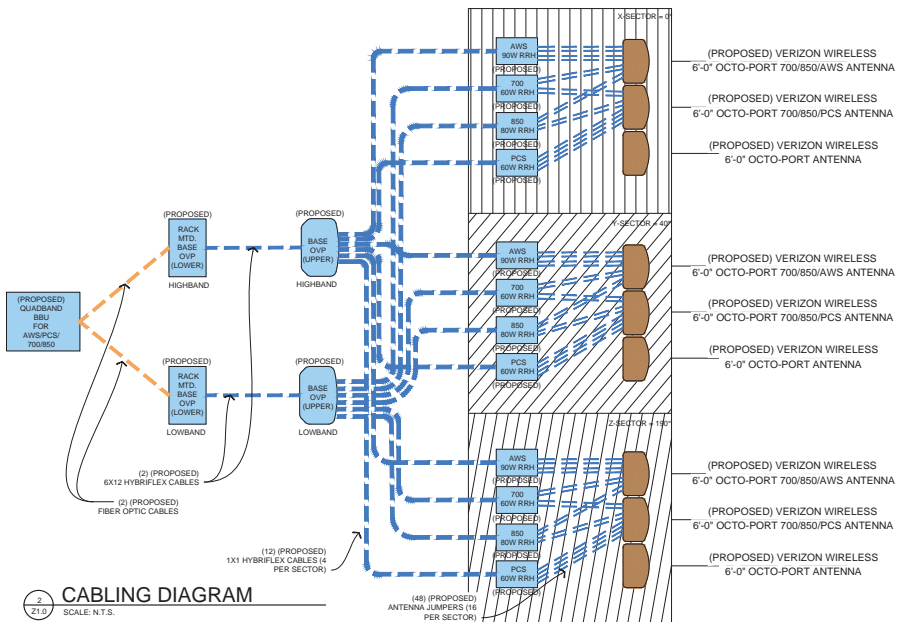
FIBER LENGTH				
FROM MMP TO FIBER CABINET				
LENGTH	SAFETY FACTOR	SUBTOTAL	QTY	TOTAL
210'-0"	+10%	231'-0"	1	231'-0"

POWER LENGTH				
FROM (E) ELEC. METER TO PDF				
LENGTH	SAFETY FACTOR	SUBTOTAL	QTY	TOTAL
66'-0"	+10%	73'-0"	1	73'-0"

GPS CABLE LENGTH				
FROM (E) PDF TO GPS ANTENNA				
LENGTH	SAFETY FACTOR	SUBTOTAL	QTY	TOTAL
135'-0"	+10%	145'-0"	1	145'-0"

EQUIPMENT DIMENSIONS (PROPOSED)						
TYPE	LENGTH	WIDTH	DEPTH	WEIGHT	QTY	
BBU	3.5"	11.8"	19"	NA	1	
60W RRH FOR PCS	36.6"	10.6"	5.75"	53 LBS	3	
90W RRH FOR AWS	31"	14"	12"	67.0 LBS	3	
60W RRH FOR 700	21.5"	12"	9"	56.7 LBS	3	
80W RRH FOR 850	23"	14"	5.5"	55.1 LBS	3	
BASE OVP (RACK MOUNT)	19.0"	13.64"	5.23"	15.25 LBS	2	
BASE OVP (UPPER)	19.8"	15.7"	10.25"	26.0 LBS	2	
ANTENNA	72"	18"	9.1"	42.4 LBS	9	

FROM PDF TO RRH		
TOTAL POWER LENGTHS	SECTOR	TOTAL LENGTH
	HIGHBAND	237'-0"
	LOWBAND	201'-0"



STAMP  
**PRELIMINARY**  
FOR REVIEW ONLY

**T-REX ARCHITECT**  
146 Madison Street  
Denver, CO 80206  
303.388.2918

DRAWINGS

Overage and Distribution as indicated on various sheets and shall remain the property of the Architect unless the Project is closed and the drawings are available for use. The Client shall be notified in writing within 30 days of the completion of the Project. The Client shall be responsible for obtaining all necessary permits and approvals for the Project. The Client shall be responsible for obtaining all necessary permits and approvals for the Project. The Client shall be responsible for obtaining all necessary permits and approvals for the Project.

PROJECT FOR

**verizon**  
3131 S. VALGREN WAY, SUITE 500  
AURORA, CO 80014

DATE ISSUED  
**OCTOBER 25, 2017**

DATE	ISSUED AS
.....	ZD APPROVAL
.....	PRELIMINARY CD SET
.....	FINAL CD SET
.....	PERMIT SUBMITTED

DATE	REVISIONS
10-25-17	100% ZD'S SET
.....	.....
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.....	.....
.....	.....
.....	.....

PROJECT NAME  
**CO3-BRECKENRIDGE DT**

CELL SITE  
**ZD'S - ALT. #1**  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424

COUNTY OF SUMMIT  
STATE OF COLORADO

**Z1.0**  
SITE PLAN/CABLE LENGTHS





**ENLARGED SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

STAMP

**PRELIMINARY**  
FOR REVIEW ONLY

**T·REX ARCHITEX**  
 146 Madison Street  
 Denver, CO 80206  
 303.388.2918

DRAWINGS

Ownership and distribution of instruments of service are and shall remain the property of the architect unless the owner for each shall make a written request to the architect. All drawings are prepared by the architect and shall remain the property of the architect. The architect and its representatives shall not be responsible for the design and construction of the project. The drawings and documents submitted by the owner to the architect are for the use of the architect only and shall not be used for any other purpose. The architect is not responsible for the design and construction of the project. The drawings and documents submitted by the owner to the architect are for the use of the architect only and shall not be used for any other purpose.

PROJECT FOR

**verizon**  
 3131 S. VAUGHN WAY, SUITE 550 303-694-3234  
 AURORA, CO 80014

DATE ISSUED  
**OCTOBER 25, 2017**

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.....	FINAL CD SET
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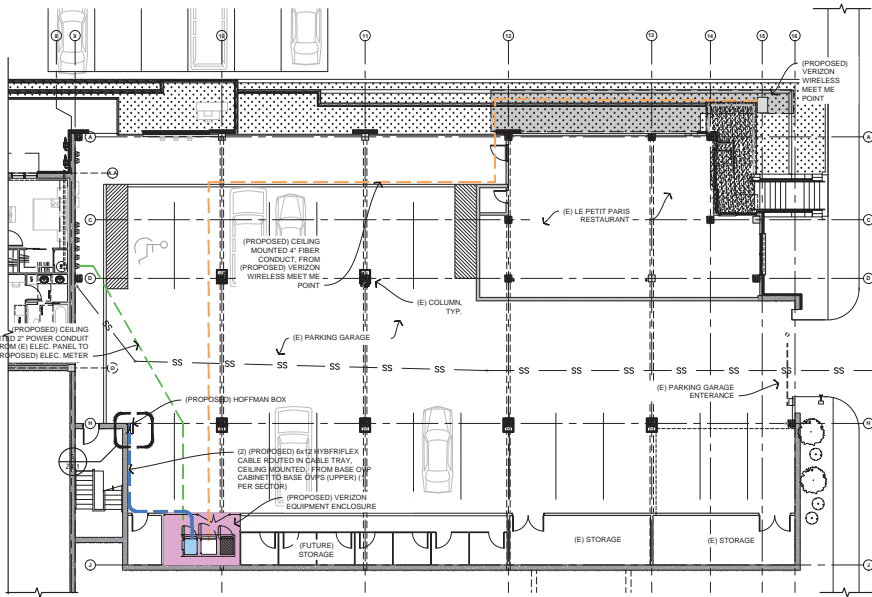
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10-25-17	100% ZD'S SET
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PROJECT NAME  
**CO3-BRECKENRIDGE DT**

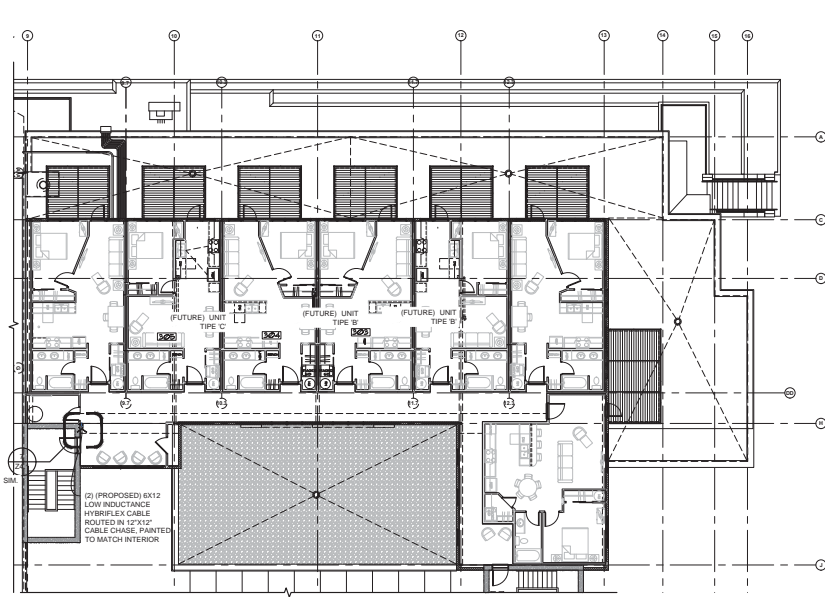
**CELL SITE**  
 ZD'S - ALT. #1  
 305 S. RIDGE STREET,  
 BRECKENRIDGE, CO 80424

COUNTY OF SUMMIT  
 STATE OF COLORADO

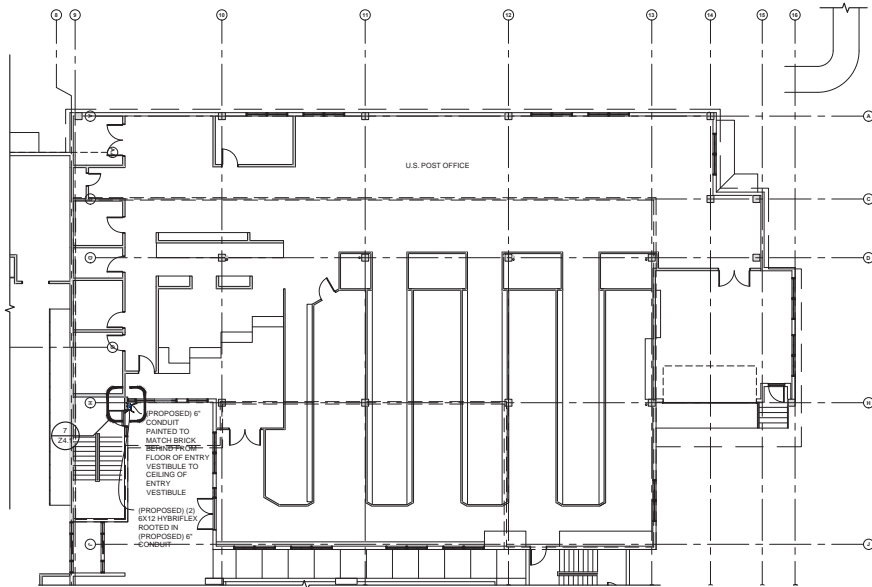
**Z1.1**  
 ROOF PLAN



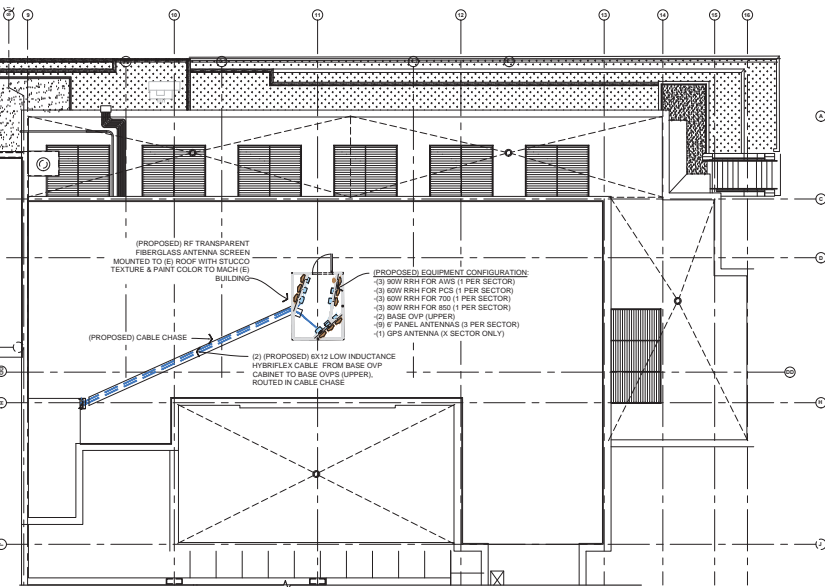
**2 GARAGE LEVEL PLAN**  
SCALE: 3/32" = 1'-0"



**(PROPOSED) UPPER LEVEL PLAN**  
SCALE: 3/32" = 1'-0"



**3 MAIN LEVEL PLAN**  
SCALE: 3/32" = 1'-0"



**1 ROOF PLAN**  
SCALE: 3/32" = 1'-0"

STAMP  
**PRELIMINARY**  
FOR REVIEW ONLY

**T-REX ARCHITEX**  
146 Madison Street  
Denver, CO 80206  
303-388-2916

DRAWINGS  
Change and Specification as instruments of service are not and shall be the property of the Architect and the Client and shall be returned to the Client upon completion of the Project. The Client and Architect agree that the Client shall be responsible for the accuracy of the Project. The Client and Architect agree that the Client shall be responsible for the accuracy of the Project. The Client and Architect agree that the Client shall be responsible for the accuracy of the Project.

PROJECT FOR  
**verizon**  
3135 S. VAUGHN WAY, SUITE 500  
AURORA, CO 80014

DATE ISSUED  
**OCTOBER 25, 2017**

DATE	ISSUED AS
.....	ZD APPROVAL
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.....	FINAL CD SET
.....	PERMIT SUBMITTED

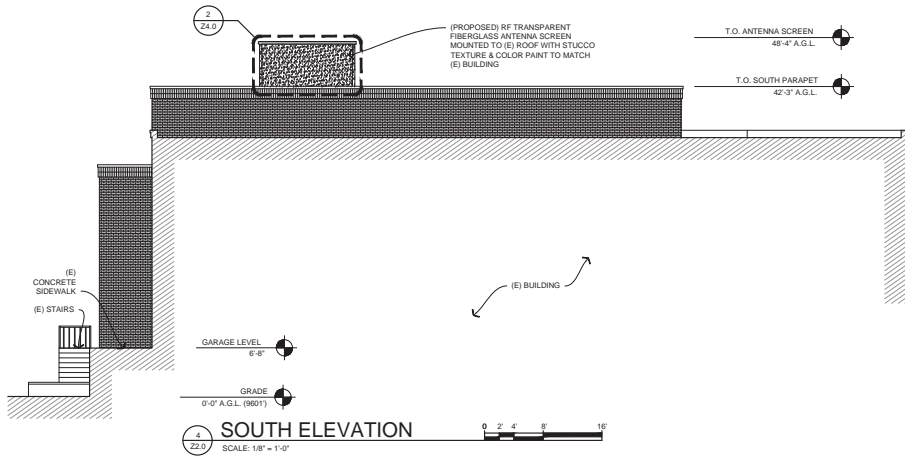
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PROJECT NAME  
**CO3-BRECKENRIDGE DT**

CELL SITE  
ZD'S - ALT. #1  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424

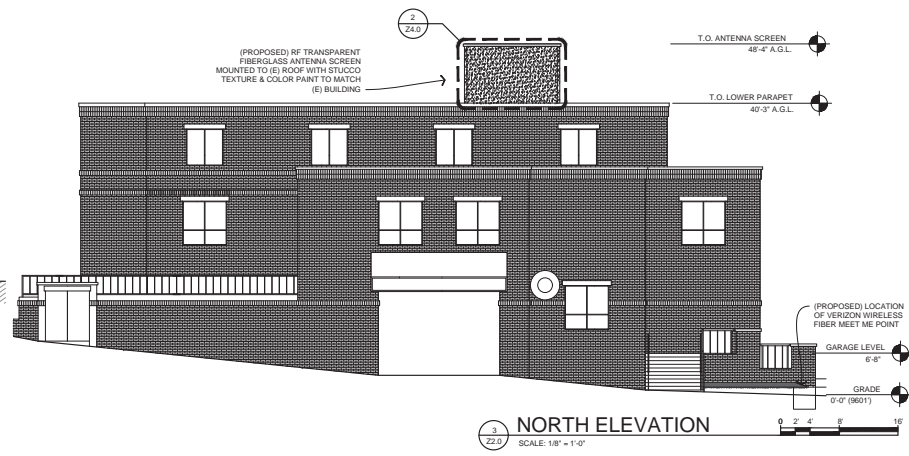
COUNTY OF SUMMIT  
STATE OF COLORADO

**Z1.2**  
LEVELS PLANS



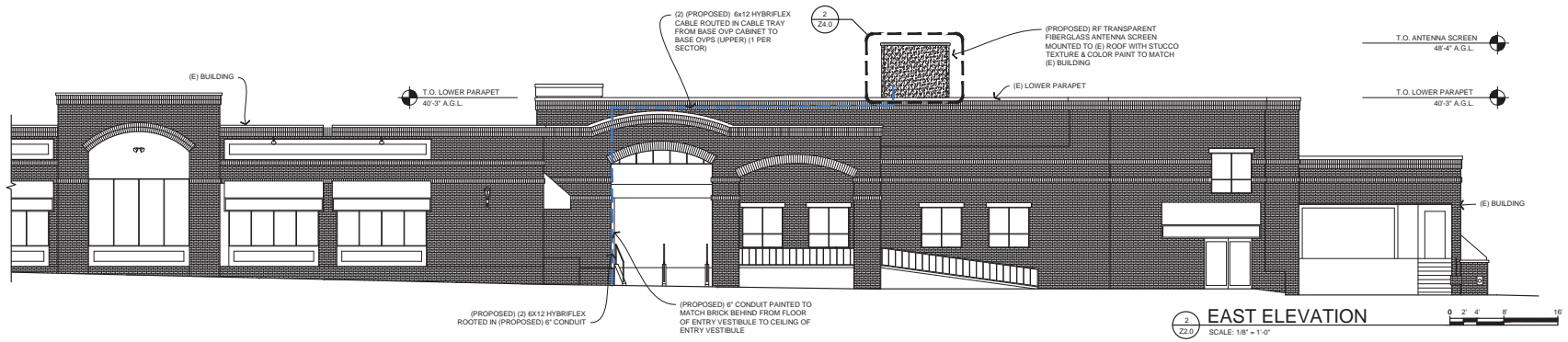
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



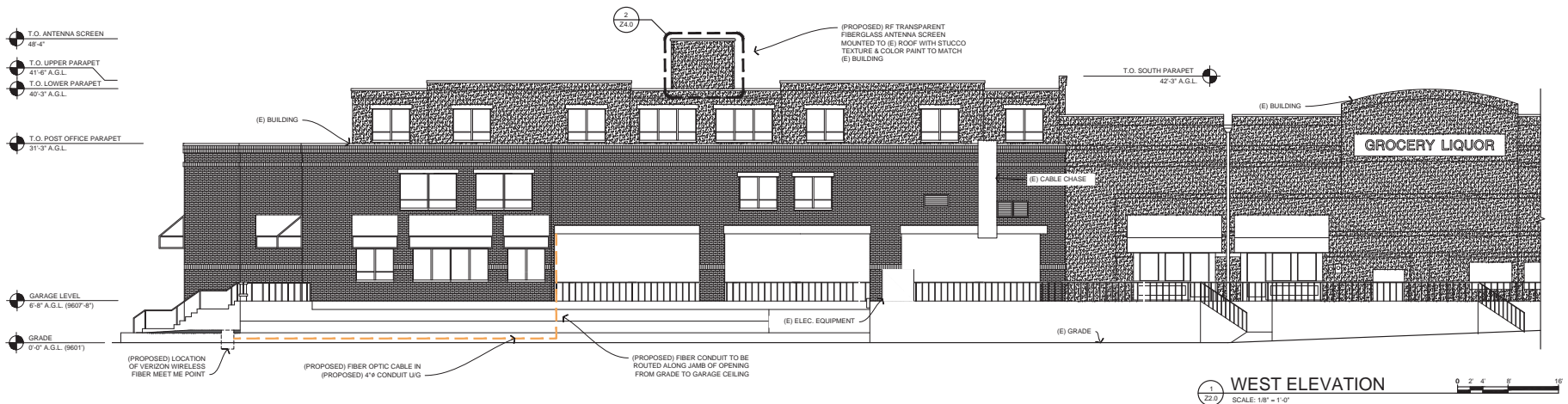
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

STAMP  
**PRELIMINARY**  
FOR REVIEW ONLY

**T·REX ARCHITECT**  
146 Madison Street  
Denver, CO 80206  
303.388.2918

DRAWINGS  
Ownership and distribution of drawings is limited to the project and shall remain the property of the architect unless the Project is such that the drawings are made available to the Public. These drawings are prepared by the architect and shall not be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these drawings or for any consequences arising from their use. The user of these drawings shall be held responsible for any errors or omissions in these drawings or for any consequences arising from their use. The architect shall not be responsible for any errors or omissions in these drawings or for any consequences arising from their use.

PROJECT FOR  
**verizon**  
3131 S. VALGREN WAY, SUITE 850  
AURORA, CO 80014  
303-694-9324

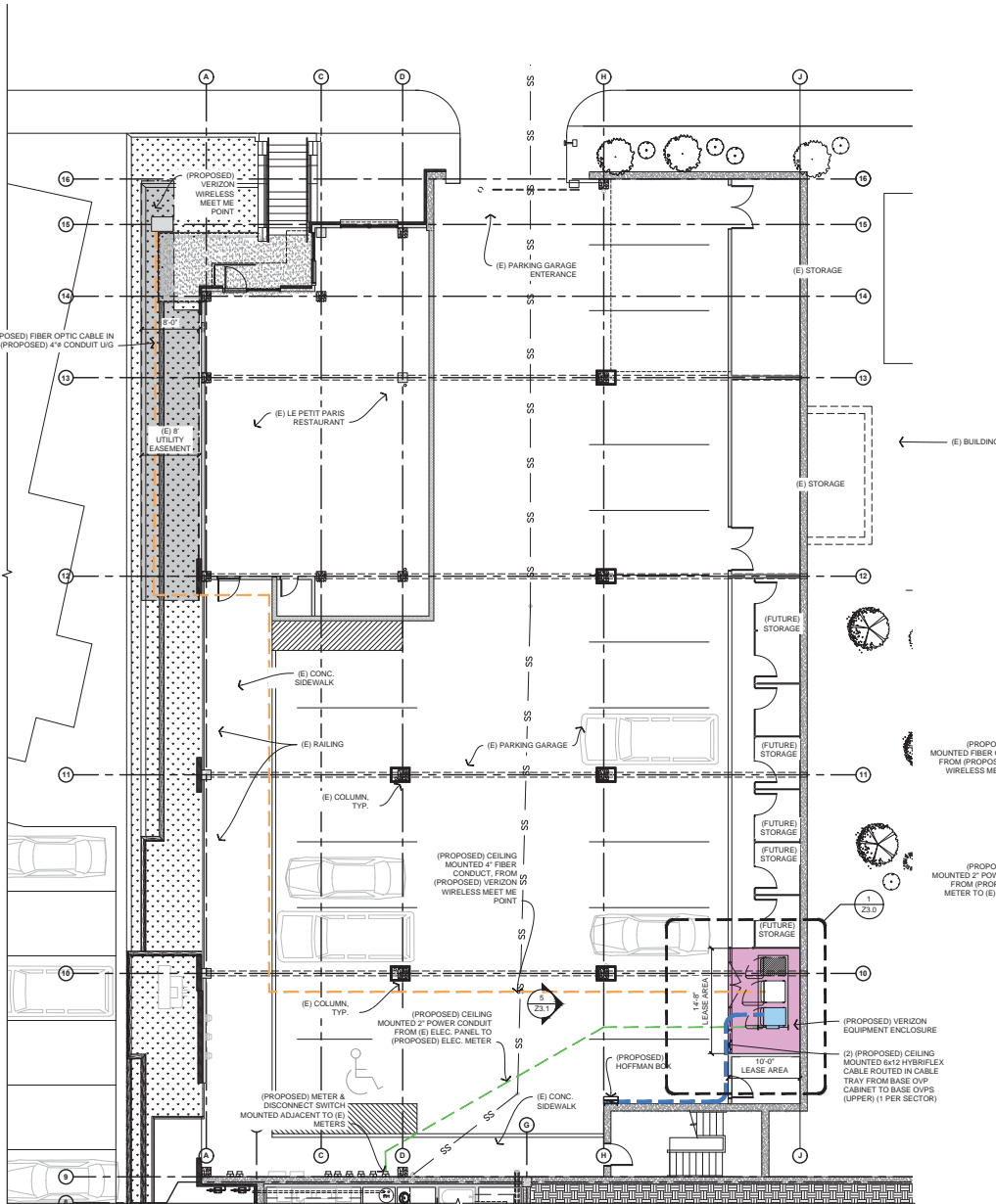
DATE ISSUED  
**OCTOBER 25, 2017**

DATE	ISSUED AS
.....	ZD APPROVAL
.....	PRELIMINARY CD SET
.....	FINAL CD SET
.....	PERMIT SUBMITTED

DATE	REVISIONS
10-25-17	100% ZD'S SET
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PROJECT NAME  
**CO3-BRECKENRIDGE DT**  
  
CELL SITE  
ZD'S - ALT. #1  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424  
  
COUNTY OF SUMMIT  
STATE OF COLORADO

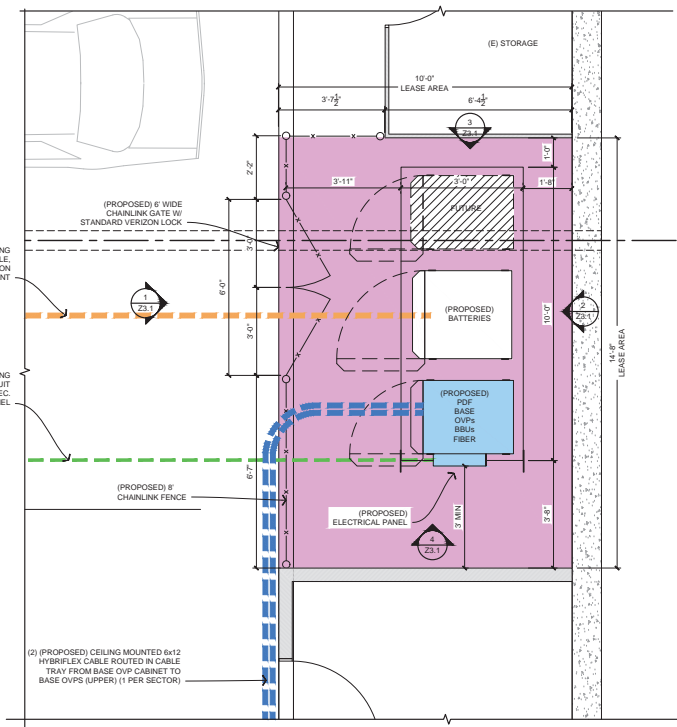
**Z2.0**  
SITE ELEVATIONS



3 NORTH Z3.0 SCALE: 1/8" = 1'-0"



2 (E) ELECTRICAL METERS SCALE: N.T.S.



1 NORTH Z3.0 SCALE: 1/2" = 1'-0"

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**T-REX ARCHITEX**  
146 Madison Street  
Denver, CO 80206  
303.388.2918

DRAWINGS  
Design and fabrication as instruments of service are and shall remain the property of the Architect under the Project for which they were first prepared or if they should be utilized in another project, including related-works, of a similar or dissimilar nature, the Client shall be notified in writing within the Client's use and occupancy of the Project. The Contractor shall indemnify and hold the Architect, its Officers and Directors harmless for the use of the Project for which they were prepared. This method is not intended to limit the Architect's liability for negligence in design and the use of its instruments of service.

PROJECT FOR  
**verizon**  
3131 S. VAUGHN WAY, SUITE 850  
AURORA, CO 80014  
303-694-9234

DATE ISSUED  
OCTOBER 25, 2017

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	ZD APPROVAL
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	FINAL CD SET
	PERMIT SUBMITTED

DATE	REVISIONS
10-25-17	100% ZD'S SET

PROJECT NAME  
CO3-BRECKENRIDGE DT  
  
CELL SITE  
ZD'S - ALT. #1  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424

COUNTY OF SUMMIT  
STATE OF COLORADO

**Z3.0**  
SHELTER PLANS

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**PRELIMINARY**  
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**T-Rex ARCHITECT**  
 146 Madison Street  
 Denver, CO 80206  
 303.388.2918

DRAWINGS  
 Design and fabrication as indicated on drawings of general use and shall remain the property of the architect unless the Project is such that the design is intended for use by the Client. All drawings are prepared in accordance with the current applicable codes, regulations, and standards of the County and State of Colorado. The Client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

PROJECT FOR  
**verizon**  
 3131 S. VALGREN WAY, SUITE 500  
 AURORA, CO 80014  
 303-694-8324

DATE ISSUED  
**OCTOBER 25, 2017**

DATE	ISSUED AS
.....	ZD APPROVAL
.....	PRELIMINARY CD SET
.....	FINAL CD SET
.....	PERMIT SUBMITTED

DATE	REVISIONS
10-25-17	100% ZD'S SET
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PROJECT NAME  
**CO3-BRECKENRIDGE DT**

CELL SITE  
 ZD'S - ALT. #1  
 305 S. RIDGE STREET,  
 BRECKENRIDGE, CO 80424

COUNTY OF SUMMIT  
 STATE OF COLORADO

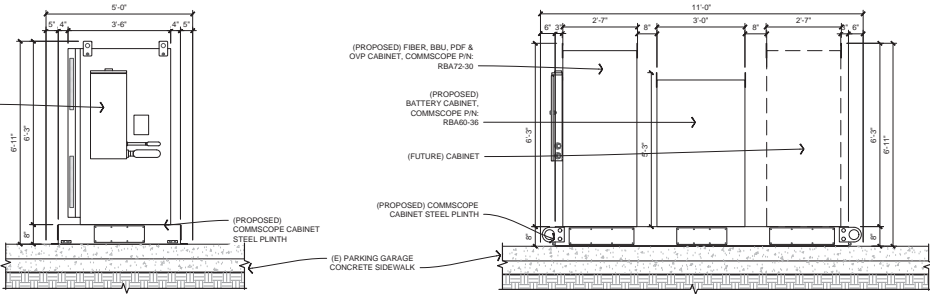
**Z3.1**  
 SHELTER ELEVATIONS



HAZMAT NFPA DIAMOND FOR SULFURIC ACID  
 LOCATE ON:  
 -EQUIPMENT ENCLOSURE GATE  
 -BATTERY CABINET DOOR

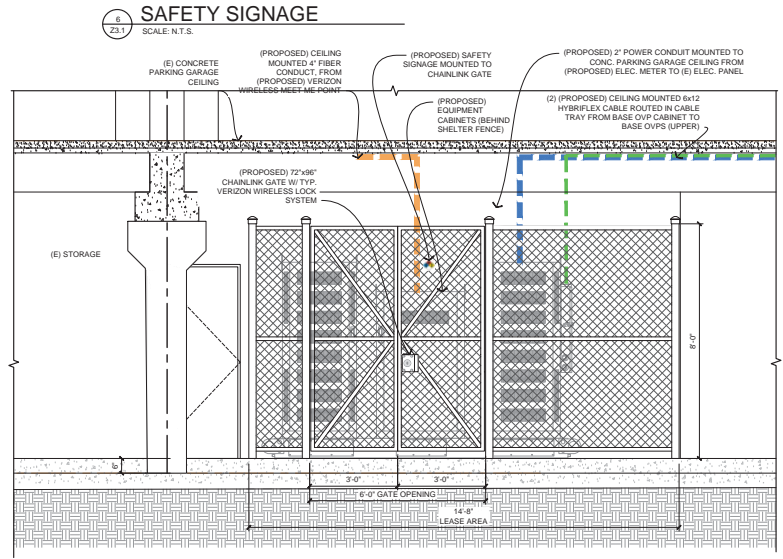
NOTE:  
 -PROVIDE ADHESIVE VINYL SIGNS IF LOCATION ALLOWS FOR IT  
 -METAL SIGN SPECIFICATIONS:  
 -UV RESISTANT FOR OUTDOOR USE  
 -ROUNDED CORNERS WITH PRE-DRILLED HOLES

NOTE:  
 SAFETY SIGNAGE TBD BY EME REPORT; VERIZON

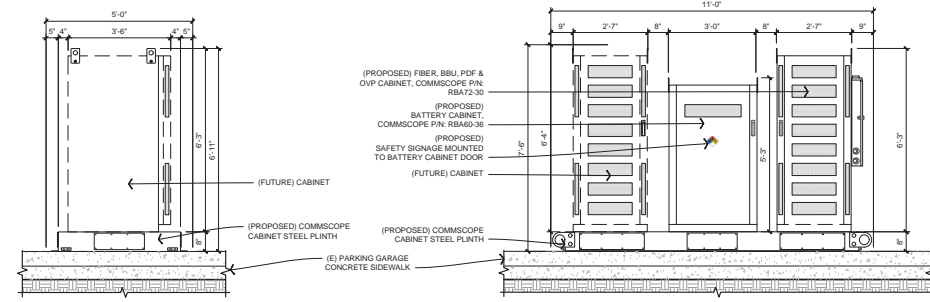


(PROPOSED) EQUIP. CABINET  
 SOUTH ELEVATION  
 SCALE: 1/2" = 1'-0"

(PROPOSED) EQUIP. CABINET  
 EAST ELEVATION  
 SCALE: 1/2" = 1'-0"

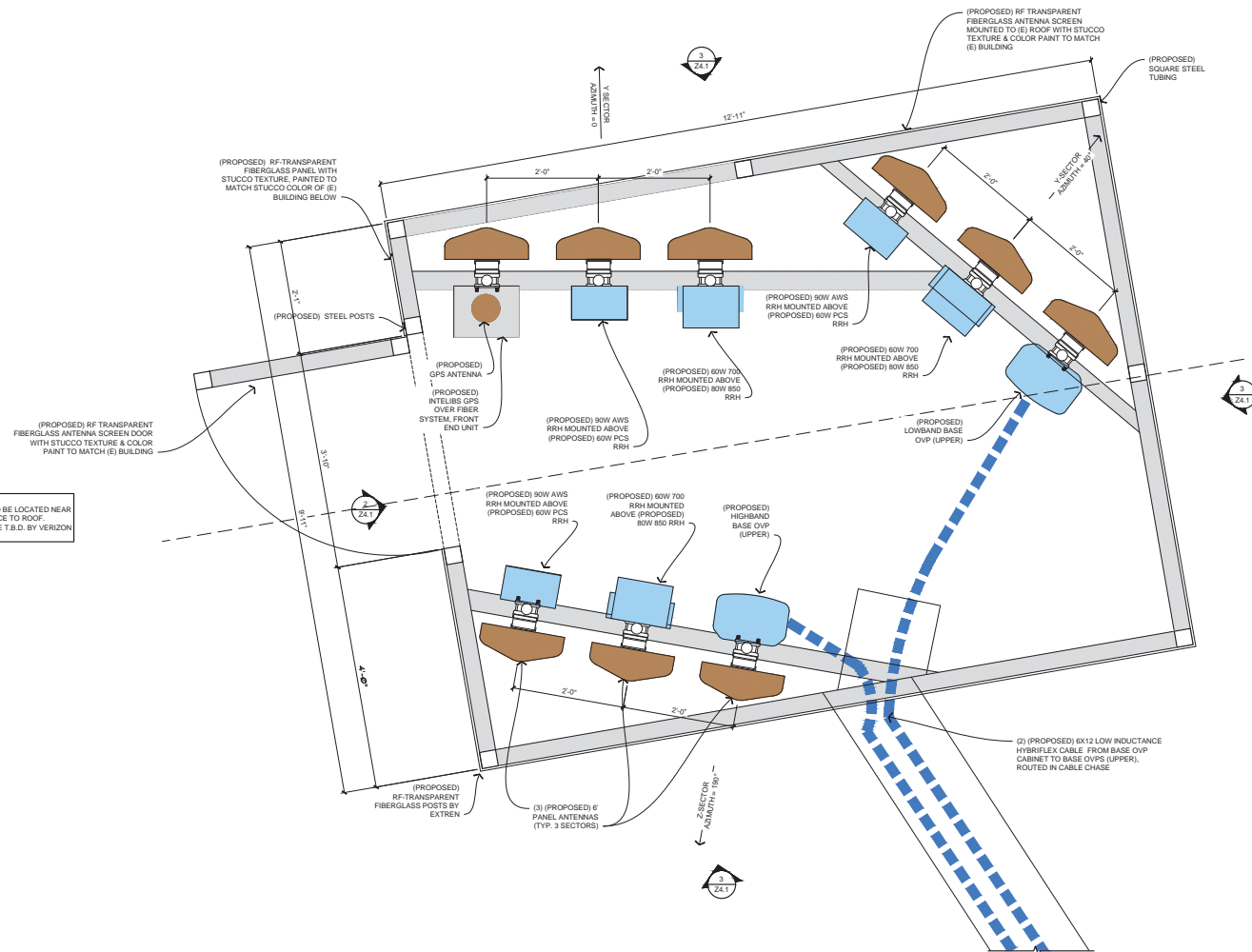


(PROPOSED) EQUIP. SHELTER  
 FRONT ELEVATION  
 SCALE: 1/2" = 1'-0"



(PROPOSED) EQUIP. CABINET  
 NORTH ELEVATION  
 SCALE: 1/2" = 1'-0"

(PROPOSED) EQUIP. CABINET  
 WEST ELEVATION  
 SCALE: 1/2" = 1'-0"



NOTE:  
PROPOSED EME BARRIERS & SIGNAGE TO BE LOCATED NEAR  
PROPOSED ANTENNA SCREEN & ENTRANCE TO ROOF.  
ACTUAL LOCATION AND TYPE OF SIGNAGE T.B.D. BY VERIZON  
SUPPLIED EME REPORT.

**PROPOSED ANTENNA/SCREEN PLAN**  
SCALE: 1" = 1'-0"  
NORTH

STAMP

**PRELIMINARY**  
FOR REVIEW ONLY

**T-REX ARCHITECT**  
146 Madison Street  
Denver, CO 80206  
303.388.2918

DRAWINGS

PROJECT FOR

**verizon**  
3131 S. VALGREN WAY., SUITE 500  
AURORA, CO 80014

DATE ISSUED  
**OCTOBER 25, 2017**

DATE	ISSUED AS
.....	ZD APPROVAL
.....	PRELIMINARY CD SET
.....	FINAL CD SET
.....	PERMIT SUBMITTED

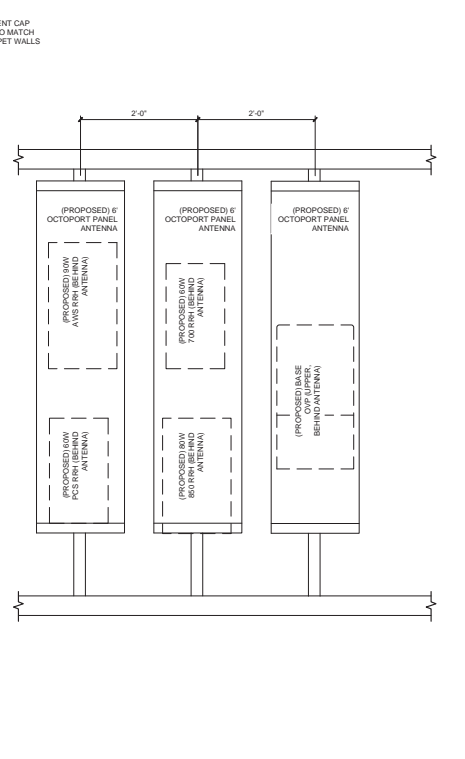
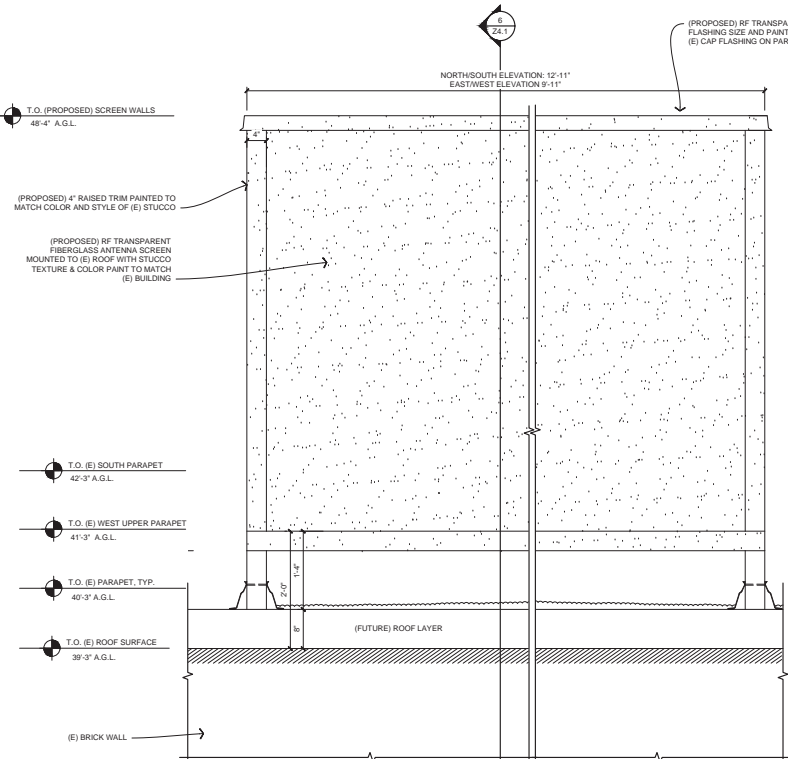
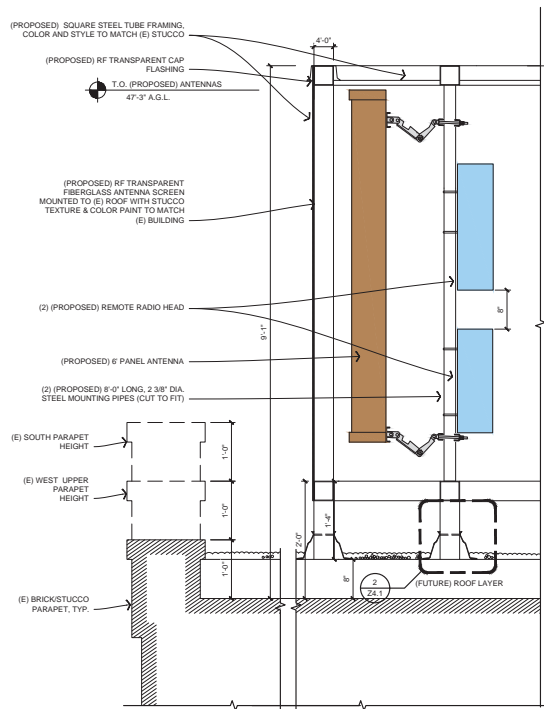
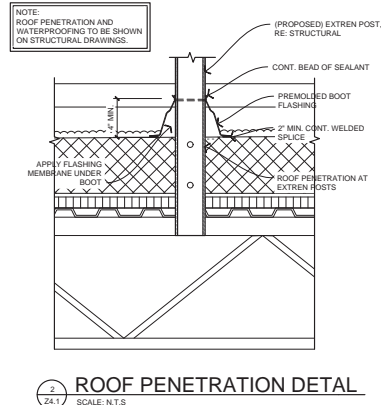
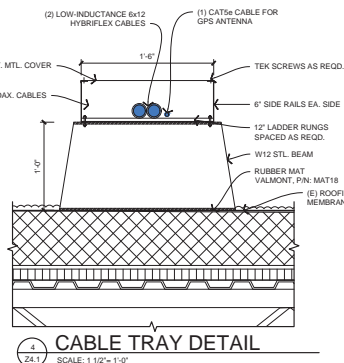
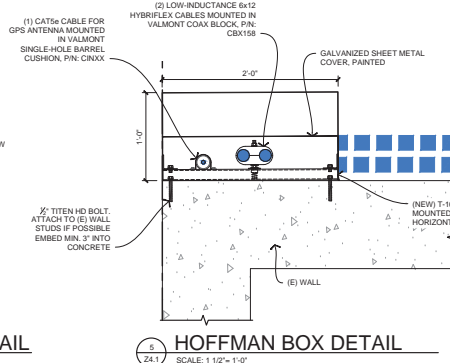
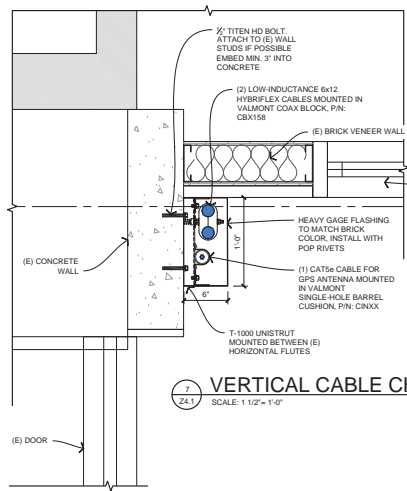
DATE	REVISIONS
10-25-17	100% ZD'S SET
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PROJECT NAME  
**CO3-BRECKENRIDGE DT**

CELL SITE  
ZD'S - ALT. #1  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424

COUNTY OF SUMMIT  
STATE OF COLORADO

**Z4.0**  
SECTOR PLAN



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**PRELIMINARY**  
FOR REVIEW ONLY

**T-REX ARCHITECT**  
146 Madison Street  
Denver, CO 80206  
303.388.2918

DRAWINGS

Design and fabrication as indicated on drawings and shall remain the property of the architect unless the Project is cancelled or modified in writing. The Client shall be notified in writing of any design changes, omissions, or substitutions. The Client's use and acceptance of the Project, and the Client's acknowledgment of the Project by the Client, shall constitute the Project. The Client shall be responsible for obtaining all necessary permits and approvals. The Client shall be responsible for obtaining all necessary permits and approvals. The Client shall be responsible for obtaining all necessary permits and approvals.

PROJECT FOR

**verizon**  
3131 S. VALGREN WAY., SUITE 550  
AURORA, CO 80014

DATE ISSUED  
**OCTOBER 25, 2017**

DATE	ISSUED AS
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.....	PRELIMINARY CD SET
.....	FINAL CD SET
.....	PERMIT SUBMITTED

DATE	REVISIONS
10-25-17	100% ZD'S SET
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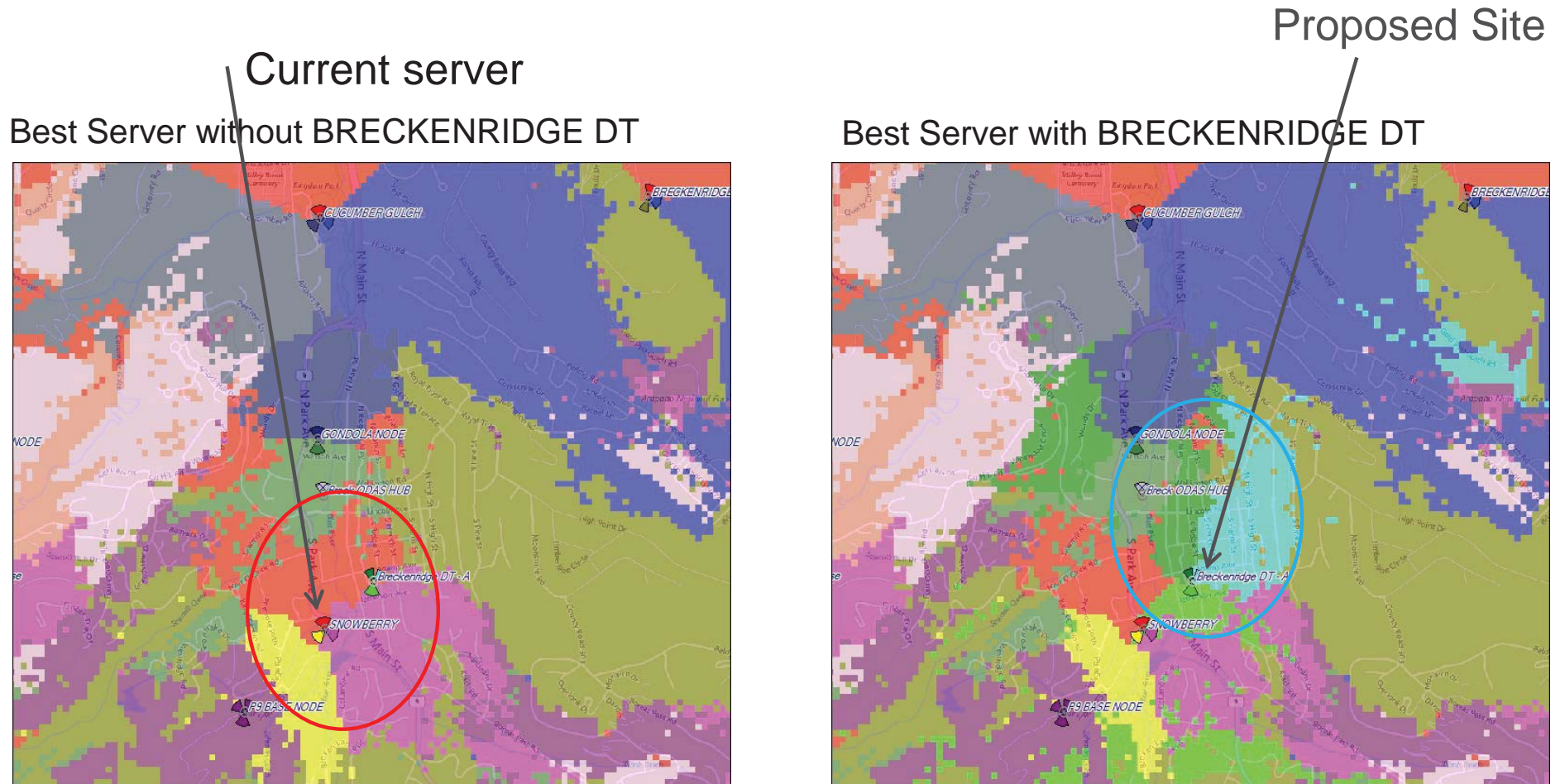
PROJECT NAME  
CO3-BRECKENRIDGE DT

CELL SITE  
ZD'S - ALT. #1  
305 S. RIDGE STREET,  
BRECKENRIDGE, CO 80424

COUNTY OF SUMMIT  
STATE OF COLORADO

**Z4.1**  
SECTOR ELEVATIONS  
'DETAILS

# Serving Sector Maps:

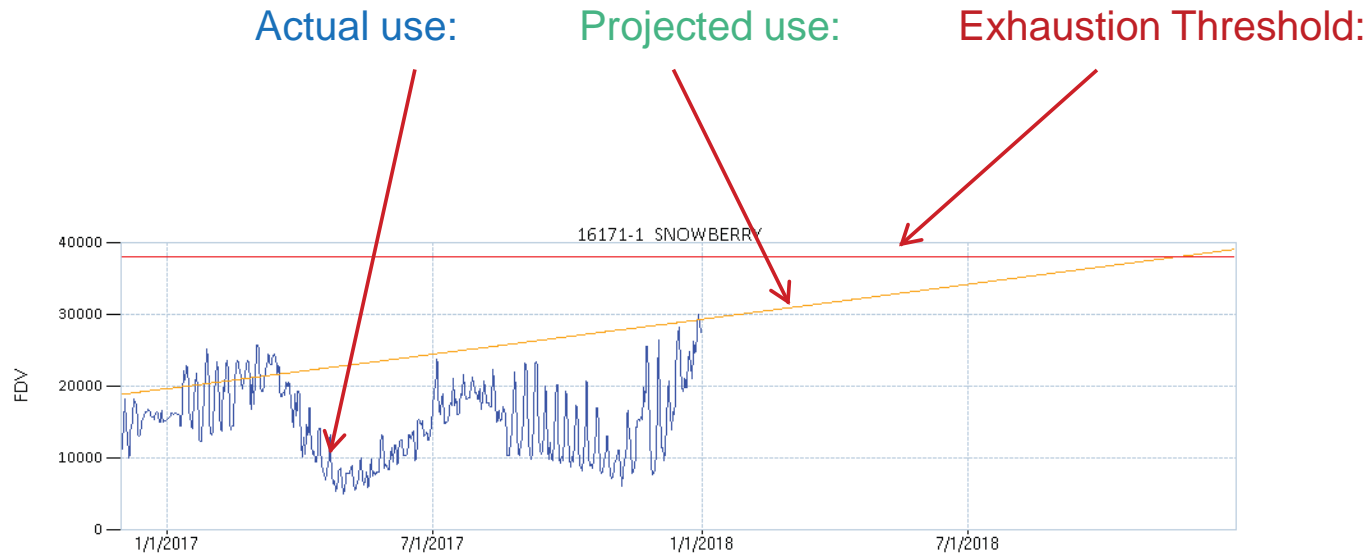


The proposed site footprint on the right will improve both capacity and coverage in the highlighted area. The plots above show the best servers or sectors that cover this area with each sector shown in a different color. The left map shows what sectors currently cover this area with the overloaded sector showing in red. The right map shows the area this new site will cover in blue. This project will improve service by providing necessary capacity to support the growth we are seeing in 4G data traffic. The blue area around the proposed site will see much better service. If the site is not built the area in red on the left map will see data speeds and new 4G voice service start to quickly degrade as the site overloads.





# Capacity Projection:



**Summary:** The existing Snowberry communications site cannot support the data traffic in the large area it covers and is already frequently overloaded as shown above by the blue use line rising above the red exhaustion threshold. When this occurs 4G data speeds slow to unacceptable levels.

## Detail below:

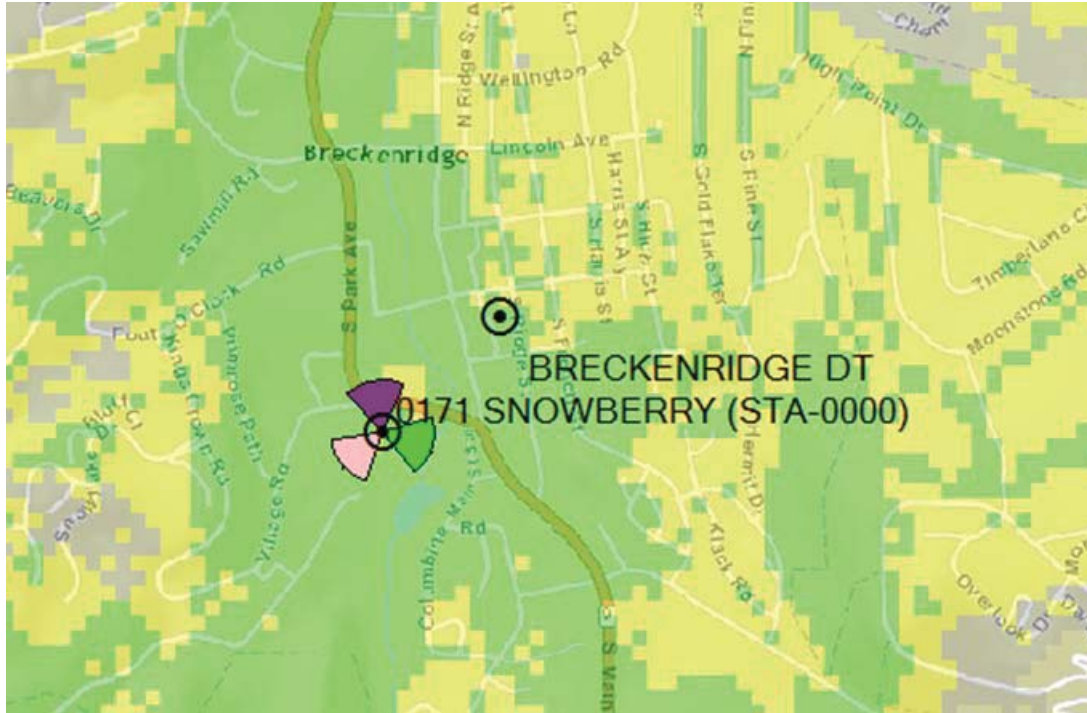
The graph above shows FDV (**F**orward **D**ata **V**olume) which is a measurement of the customer data usage that this sector currently serves. The blue line shows the daily data use on this sector of the wireless facility site. The yellow line is a projection based on the last years usage to show when we expect to see our customers begin to see their data speeds begin to slow down. The red line is the limit where the sector becomes exhausted and service starts to degrade. The point in time where we see the yellow line go above the red line is when we will start seeing service begin to degrade. Service will quickly degrade after that point as usage continues to grow.

To aid in resolving this, we ask to add a 3 sector communications facility as proposed to improve wireless service capacity and coverage in this area by offloading commercial traffic from this overloaded sector with the proposed site.

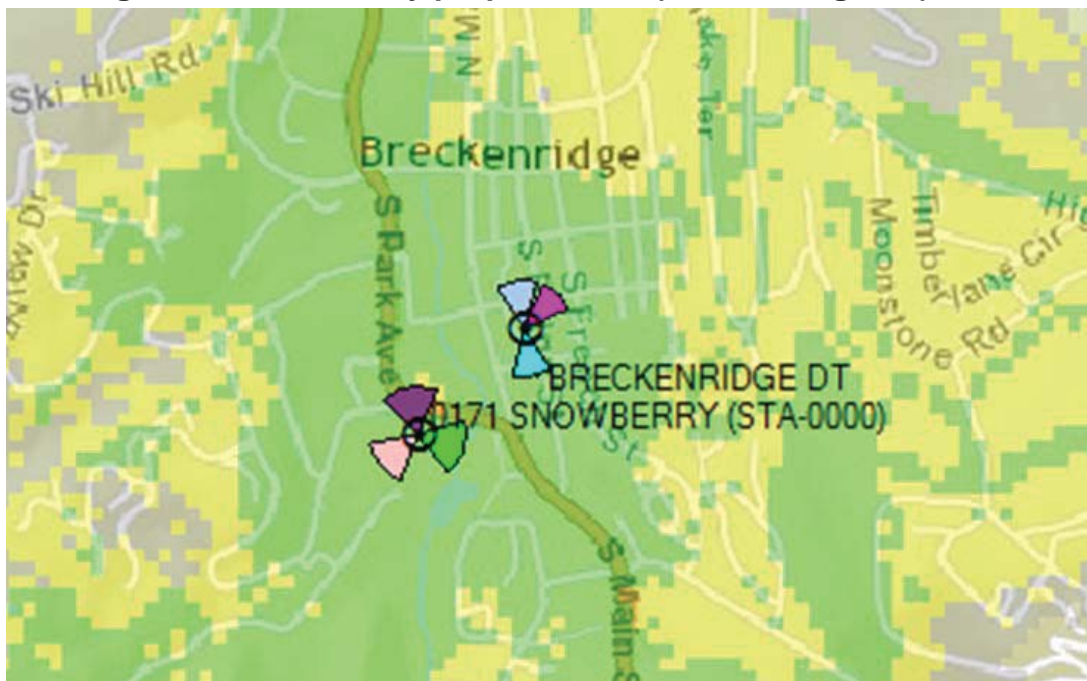


Simply put, the existing site cannot carry the data traffic that exists in the area. The new site, Breckenridge DT, will provide additional resources to the downtown area, alleviating the capacity constraint on Snowberry. Without this new site, the existing site will soon reach capacity and will result in poor service when it is most needed.

**Coverage area of existing downtown site (Snowberry)**

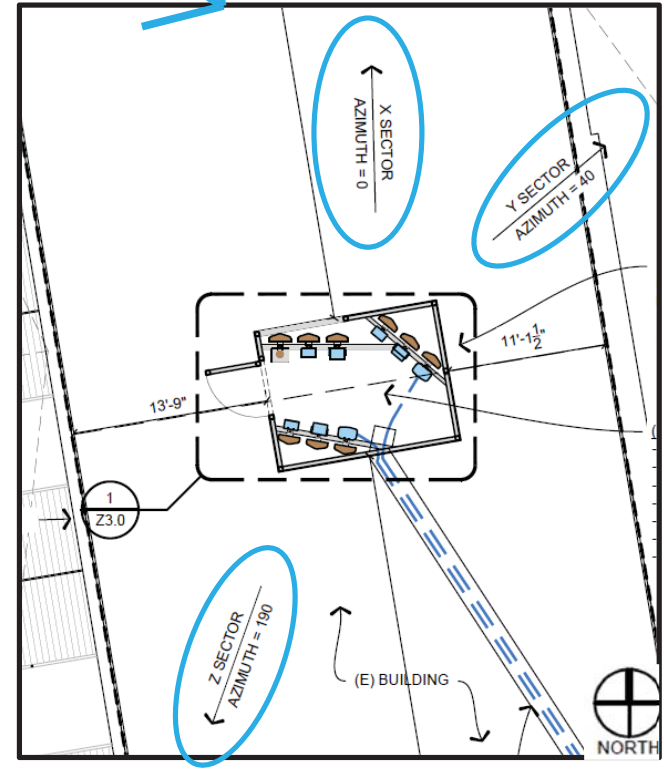
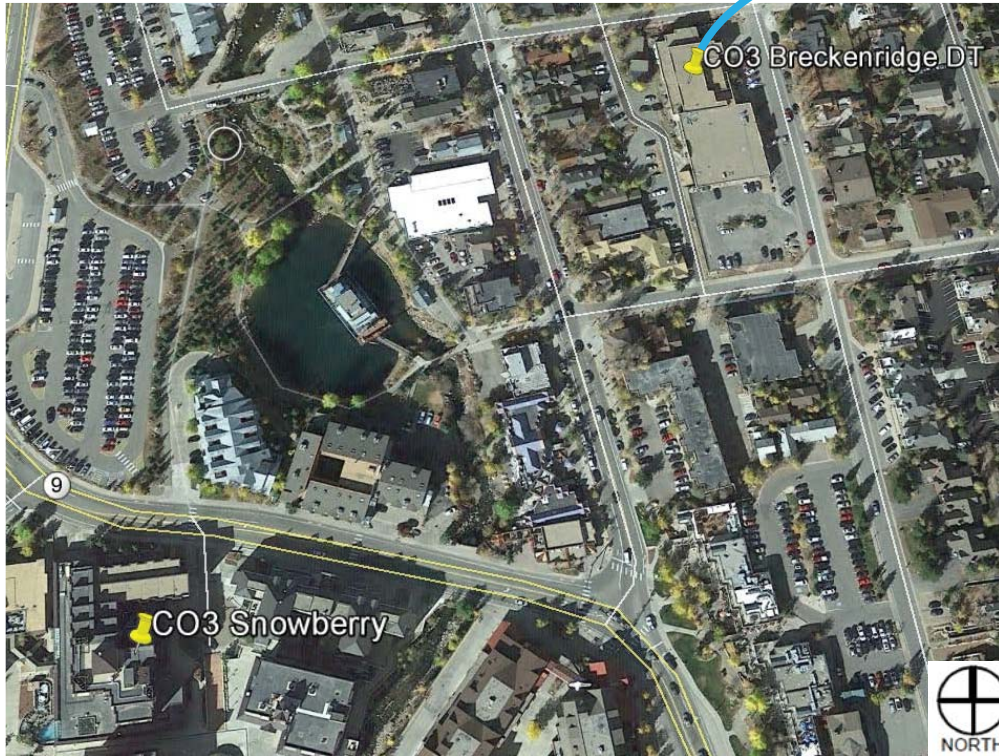


**Coverage area offloaded by proposed site (Breckenridge DT)**





*Looking SW from proposed rooftop antenna location of CO3 Breckenridge DT towards existing site CO3 Snowberry. Façade mounting at this location would not be able to get over the surrounding clutter (buildings, trees, and terrain) to provide sufficient capacity offload to our Snowberry site that is at capacity. Additionally, we have non-standard azimuths and we are generally limited to 15 degrees of skewing from the mounting wall. We would not be able to achieve the needed azimuths with facade mounts.*



*Aerial view and detail of azimuths from site plan (page Z1.1). Given that we are limited to 15 degrees of skewing from the mounting wall, façade-mounting on this building is not feasible.*



Existing View  
Ridge St



117



Existing View  
Ridge St Corner





Existing View  
Main St



119



Existing View  
Main Street



Proposed View  
Main Street  
2/2/17

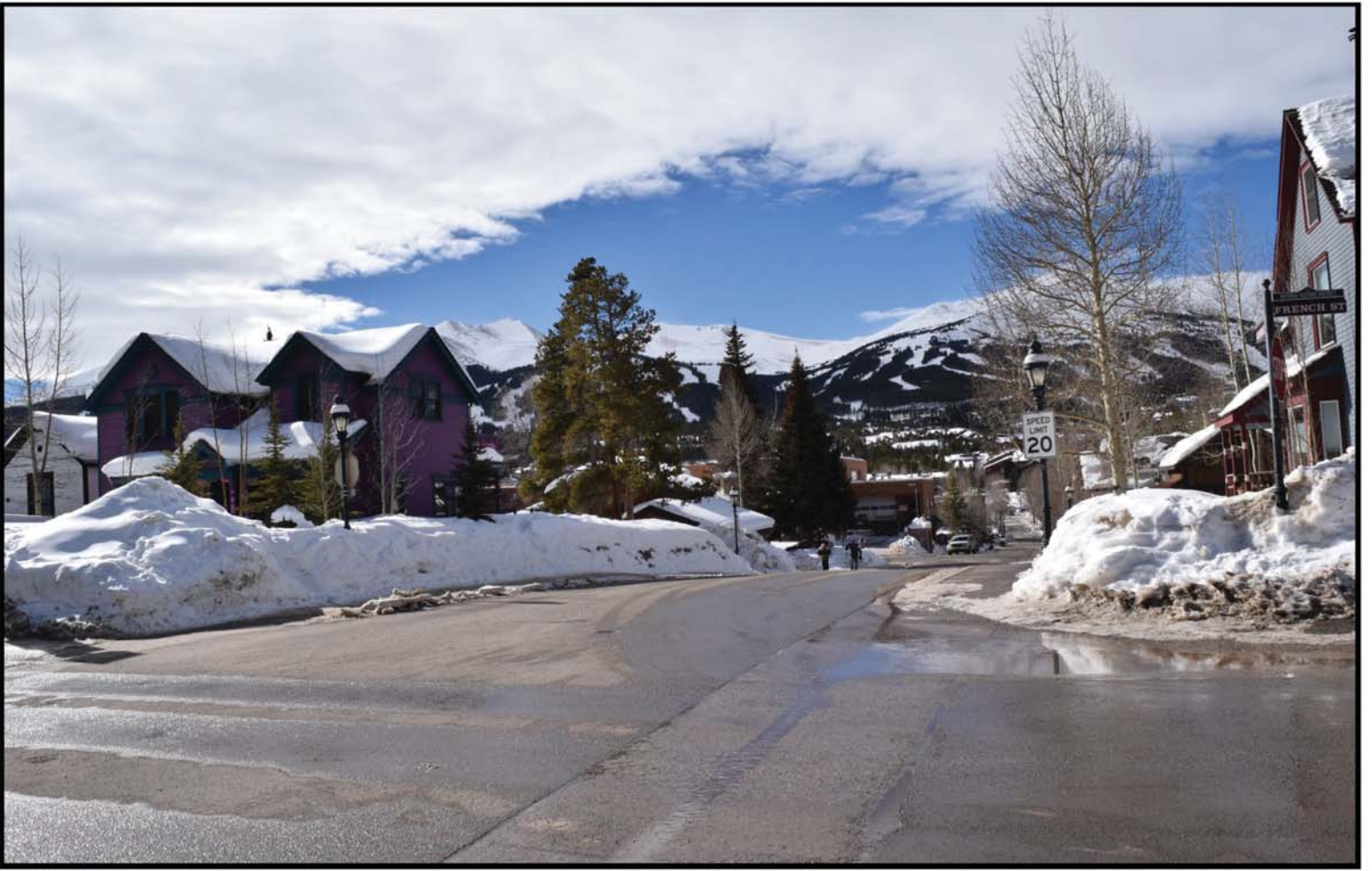




Existing View  
French Street



121



Existing View  
French St Corner



Screen behind tree - Road

125

YEARS

SHERMAN & HOWARD

633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

**Melissa Kerin Reagan**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8310**  
**E-mail: mreagan@shermanhoward.com**

February 15, 2018

**VIA EMAIL**

Town of Breckenridge  
Planning Commission  
150 Ski Hill Road  
PO Box 168  
Breckenridge, CO 80424

Re: Verizon Wireless - Application for Wireless Telecommunications Tower  
Site Location: 305 S Ridge Street, Breckenridge, Colorado

Dear Commissioners:

We are counsel to Verizon Wireless in connection with the above-referenced application for the installation of a new wireless telecommunications facility at 305 S Ridge Street, Breckenridge Colorado (“Facility”). Verizon Wireless respectfully requests the Planning Commission continue the hearing for the review and consideration of Verizon Wireless’ application for the proposed Facility as good cause exists for the continuance and the Planning Commission may do so upon its own initiative.

In order to provide the citizens of and tourists who visit the Town of Breckenridge with quality wireless services as are needed and sought after by local citizens, visitors, and those traveling through in today’s fast-paced and evolving communications environment, Verizon Wireless submitted an application for a Class A Development WCF Permit dated December 10, 2018 and submitted on December 22, 2017, to install a personal wireless communications facility and associated equipment on the rooftop of the above referenced property (the “Application”). This facility is located in and will serve an area with a significant gap in coverage/capacity and, thus, will allow Verizon Wireless to comply with federal law, which mandates that Verizon Wireless address this gap and enhance and improve service in this area.

Verizon Wireless filed its Application after reviewing available and feasible locations and participating in a pre-application meeting with the Town of Breckenridge Planning Department. On January 19, 2018 and January 25, 2018, the Planning Department requested additional information from Verizon Wireless in support of its Application regarding whether the antennas could have been façade mounted. Verizon Wireless submitted the additional information to the Planning Department in advance of the January 30 Hearing. The Application complied with all instructions given by the Department, as well as the Town of Breckenridge Development Code. The Application was heard by the Planning Commission on January 30, 2018. At the January 30, 2018 hearing, the Planning Commission continued the hearing due to concerns raised by citizens regarding the mailing list for the notice and the opportunity to review the Application in advance of the hearing. On February 5, 2018, Verizon Wireless and the Planning Department participated in a conference call to discuss the Planning Commission's request for additional submittals from Verizon Wireless regarding the Application and requested that the information be submitted by February 9, 2018. The additional information submittals requested on February 6, 2018 were not requested in the January 25 Request.

Verizon Wireless wants to comply with the February 6 additional submittal requests from the Planning Commission and be in a position to present the information to the Planning Commission at the Planning Commission hearing. In order to do so, Verizon Wireless needs additional time to put together the additional submittal requests and submit the accompanying materials as a supplement to its original December 22, 2017 Application.<sup>1</sup>

Verizon Wireless is diligently working on the additional submittal requirements requested by the Planning Commission, and it is working to schedule an in-person meeting with the Planning Department and Town Attorney to review and promptly complete this process so it may obtain the WCF Permit and proceed to build the needed and planned facility, and better serve citizens, businesses, and emergency service providers of the Town of Breckenridge, as well as those travelling through the area. Please let us know if you have any questions. Verizon Wireless will have representatives in attendance at the Planning Commission hearing on Tuesday to address any questions related to this continuance.

Thank you.

---

<sup>1</sup> In accommodating the Town's request for additional information outside the scope of its January 19 and 25 Request and to work cooperatively with the Town in this process, Verizon Wireless does not waive and expressly reserves its rights and defenses, including that its Application submitted on December 22, 2017 was a complete Application, it complied with the Town's initial request for additional information on January 19 and 25, 2018, and the additional submittal request on February 6, 2018 does not comply with Section 9-1-19-50A(G)(d) of the Town Development Code or federal law. Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(b) to Ensure Timely Siting Review & to Preempt Under Section 253 State & Local Ordinances That Classify All Wireless Siting Proposals As Requiring A Variance, WT Docket No. 08-165, *Declaratory Ruling*, 24 FCC Rcd 13994 (2009) ("2009 Declaratory Ruling"); FCC Report and Order 14-153 dated October 17, 2014, ¶ 259. Verizon Wireless' additional submittal is not a waiver of any of Verizon Wireless' rights, claims, and defenses pursuant to the Town Development Code, the federal Telecommunications Act, the FCC's 2009 Declaratory Ruling, and FCC Report and Order 14-153.

Sincerely,

A handwritten signature in blue ink, appearing to read 'MKR', with a long horizontal stroke extending to the right.

Melissa Kerin Reagan

c: (via e-mail, w/out encls.)  
Chapin LaChance, Town Planner  
Tim Berry, Esq., Town Attorney  
Carey Gagnon, Esq., Verizon Wireless