



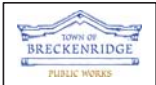
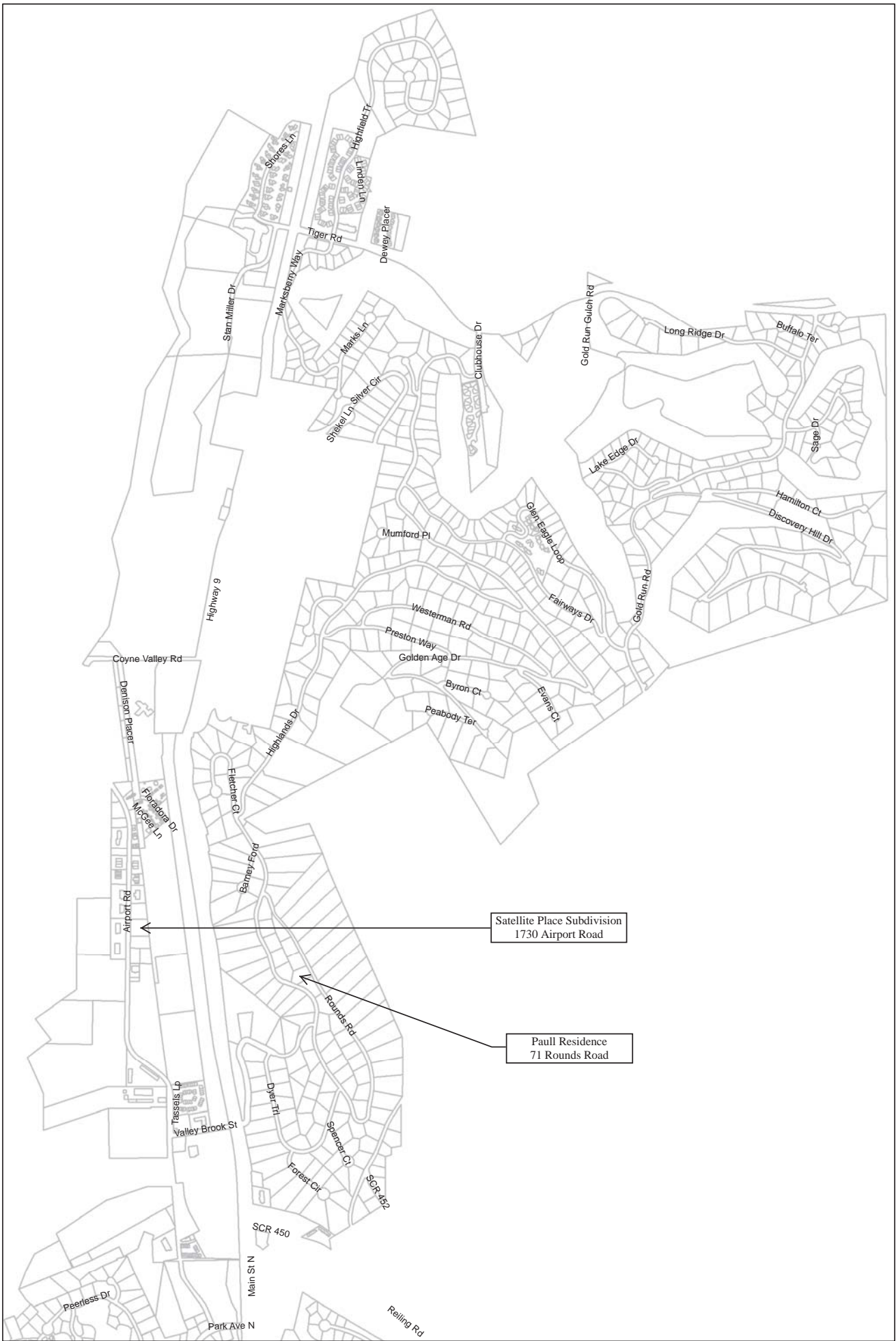
PLANNING COMMISSION AGENDA

Tuesday, May 02, 2017
Breckenridge Council Chambers
150 Ski Hill Road

6:00pm	<i>Call To Order Of The May 2 Planning Commission Meeting; 6:00 P.M. Roll Call</i>	
	<i>Location Map</i>	2
	<i>Approval Of Minutes</i>	4
	<i>Approval Of Agenda</i>	
6:05pm	<i>Public Comment On Historic Preservation Issues (Non-Agenda Items ONLY; 3-Minute Limit Please)</i>	
6:15pm	<i>Consent Calendar</i>	
	1. Shock Hill Overlook Duplex Lot 9 (MM) PL-2017-0096; 10 & 6 West Point Lode	10
	2. Paull Residence (CL) PL-2017-0100; 71 Rounds Road	25
	3. Pilon Residence (CL) PL-2017-0101; 206 Stillsion Placer Terrace	45
6:30pm	<i>Town Council Report</i>	
6:45pm	<i>Final Hearings</i>	
	1. Lincoln Grill (CK) PL-2017-0030; 112 Lincoln Avenue	65
	2. Satellite Place Subdivision (CL) PL-2017-0054; 1730 Airport Road	91
7:30pm	<i>Preliminary Hearings</i>	
	1. Searle Restoration/Addition/Landmarking (MM) PL-2017-0070; 300 East Washington Avenue	101
8:15pm	<i>Combined Hearings</i>	
	1. Gold Pan Saloon Modification (MM) PL-2017-0069; 103 North Main Street	118
9:00pm	<i>Adjournment</i>	

For further information, please contact the Planning Department at 970/453-3160.

***The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**





Gold Pan Saloon Modification
103 North Main Street

Shock Hill Overlook Lot 9
10 & 6 West Point Lode

Lincoln Grill
112 Lincoln Avenue

Searle Restoration / Addition /
Landmarking
300 East Washington Avenue

Pilon Residence
206 Stillson Placer Terrace



printed 4/11/2017

Breckenridge South



PLANNING COMMISSION MEETING

The meeting was called to order at 6:00pm by Vice Chair Leidal.

ROLL CALL

Christie Leidal Gretchen Dudney Jim Lamb
Mike Giller
Steve Gerard, Ron Schuman and Dan Schroder were absent.

APPROVAL OF MINUTES

With no changes, the April 4, 2017, Planning Commission Minutes were approved as presented.

APPROVAL OF AGENDA

With no changes, the April 18, 2017, Planning Commission Agenda was approved.

CONSENT CALENDAR:

1) Browne Residence (CL) PL-2017-0083, 188 Peerless Drive
With no requests for call up, the consent calendar was approved as presented.

CALL UP HEARINGS:

1) Haddock Residence (MM) PL-2017-0062, 86 Victory Lane
Mr. Mosher presented an application for a new, single-family residence with 3 bedrooms, 4.5 bathrooms, 4,550 sq. ft. of density and 5,434 sq. ft. of mass for a F.A.R. of 1:6.89. A photometric plan has now been included showing the site lighting meets the criteria listed in the Town Code.

Commissioner Questions / Comments:

Mr. Giller: I noticed that it had a HERS rating of 45; I was impressed.

Ms. Dudney made a motion to approve the Haddock Residence, PL-2017-0062, 86 Victory Lane, with the presented findings and conditions. Mr. Lamb seconded, and the motion was carried unanimously (4-0).

TOWN COUNCIL REPORT:

Mr. Grosshuesch:

- Crosstab development agreement approved. This is a single-family house on Sawmill Rd. that wanted to add on.
- Dennison Placer Town conveyed to the Breckenridge Housing Authority.
- Karpp terminable easement access from the BGVCC south parking lot. There will be additional landscaping installed elsewhere on the community center site. Reauthorization every five years was requested by Town Council.
- The Huron Landing Authority was created and will be the owner of the property. Neither the town nor the county should be the owner for insurance reasons.
- Union Mill Annexation Agreement amendment. The Town subordinated its position on the title for the purposes of facilitating construction financing. This is a lending requirement, and it will help speed up the development of Lincoln Park.
- Oxbow Park is slated for construction in 2018. GOCO has awarded a \$350,000 grant for the project.
- Four O'Clock roundabout work has begun. Park Avenue road closure April 24th to July 1st.
- Ski Hill Road construction at the Peak 8 base begins April 24th.
- The SustainableBreck Annual Report was presented to Council.

PRELIMINARY HEARINGS:

1) Satellite Place Subdivision (CL) PL-2017-0054, 1730 Airport Road

Mr. LaChance presented a proposal to subdivide Breckenridge Airport Subdivision, Block 5, Lot 4, into three separate lots, creating the Satellite Place Subdivision with access from Fraction Road. The Fraction Road right of way will also be platted with this subdivision.

This subdivision proposal is in general compliance with the Subdivision Standards. Staff had no concerns with this application. This application was noticed as a preliminary hearing and staff believes that it is ready to go to a final hearing with Planning Commission direction.

Applicant Presentation: Mr. Lee Edwards: No Comments.

Ms. Leidal opened the hearing to public comment. There was no public comment and the hearing was closed.

Commissioner Questions / Comments:

Ms. Leidal: Question on the wording in the note regarding the 10 ft. snow storage easement and no private snow storage. Last sentence of note should be reworded I think. I understand what the intent is but the note is confusing. (Mr. LaChance: There is not to be any private snow storage in that area. I met with the Town Attorney this afternoon and we are going to wordsmith it.) I support the analysis and welcome a final hearing soon.

Mr. Lamb: I support.

Mr. Giller: I support.

COMBINED HEARINGS:

1) Grad Duplex Garage and Remodel (MM) PL-2017-0056, 302 South Harris Street

Mr. Mosher presented an application to add a 2-car garage off the east alley, extensively remodel the exterior, add a carport, and remodel the interior of the existing building. There is no change to the overall building height or livable area.

Staff added a Condition of Approval that, prior to a certificate of occupancy, a Class C Subdivision will be approved creating a legal duplex.

Point Analysis: Staff has found that the proposal has incurred negative three (-3) points under Policy 24/R, Social Community, for placing parking in the front yard related to Design Standards 320 and 321. Positive two (+2) points are suggested under Policy 22/R, Landscaping, for the landscaping plan showing some public benefit and positive one (+1) point under Policy 33, Energy Conservation, for obtaining a HERS index report prepared by a registered design professional prior to a Certificate of Occupancy. The proposal passes with a score of zero (0) points.

The applicant and agent have worked thoroughly with staff to present this application as a combined preliminary and final hearing. Staff believes that the issues involved in this proposed project are such that no useful purpose would be served by requiring two separate hearings.

In addition to any general comments, staff asked for Commissioner comments regarding the following:

1. Did the Commission concur with awarding positive two (+2) points for the proposed landscaping plan?
2. Was the Commission comfortable with the proposed carport?
3. Was the Commission comfortable with the setback exemption for the garage off the alley?

The Planning Department recommended the Commission approve the Grad Duplex Garage and Remodel (PL-2017-0056), showing a passing score of zero (0) points along with the presented Findings and Conditions.

Ms. Leidal opened the hearing to public comment. There was no public comment and the hearing was closed.

Commissioner Questions / Comments:

- Mr. Lamb: Is this 2X4 construction? Will it be insulated with urethane? (Ms. Janet Sutterley, Architect for the Applicant: Yes and the plan is to add R-23 foam to improve the insulation.)
- Mr. Giller: Will it be a condo or townhome? (Mr. Mosher: Duplex.) Is there mass above the garage? (Ms. Sutterley: No, it will be a storage area in the framework.)
- Ms. Dudney: I support the point analysis.
- Mr. Lamb: It is one thing to get a HERS report and another to be energy efficient but now I see that it will be energy efficient. I support the analysis.
- Mr. Giller: I support staffs point analysis.
- Ms. Leidal: Great project; I support the analysis.

Ms. Dudney made a motion to approve the Grad Duplex Garage and Remodel, PL-2017-0056, 302 South Harris Street, showing a passing point analysis of zero (0) points and with the presented findings and conditions. Mr. Lamb seconded, and the motion was carried unanimously (4-0).

TOWN PROJECT HEARINGS:

1) Breckenridge Second Water Treatment Plan (MM) PL-2016-0112, 68 Stan Miller Drive

Mr. Mosher presented a proposal for a water treatment facility, support buildings and pump station on Tract 1 of the McCain Master Plan area. The Commission last heard this proposal on April 19, 2016 as a work session. Direction was sought to break up the building masses and provide a more ‘mountain feel’ to the architecture and add visual interest. The Planning Commission reviewed the McCain Master Plan Modification at a work session on November 3, 2015 and at a Town Project Public Hearing on December 1, 2015. The Commission also visited the site as part of their fall field trip. At the December 1st hearing the Planning Commission unanimously recommended that the Town Council approve the McCain Master Plan Modification. On December 8, 2015, the Town Council held a Town Project Public Hearing and approved the McCain Master Plan Modification. The Plan Modification amended the previous 2012 McCain Master Plan, which provided general land use guidance for the McCain property. The 2015 Plan Modification identified specific uses for a total 13 different land use tracts on the McCain Property. Tract 1 is the area to be developed with this application under the Town Project process.

Assignment of Points: Staff has found that the proposal conforms to all absolute policies in the Development Code. Under the Relative Policies:

Negative points were incurred under the following policies:

- 5/R, Architectural Compatibility: Aesthetics, negative six (-6) points for the Clearwell and Pump Station, with 100% of the building exterior finishes being made of non-natural materials.
- 6/R, Building Height Outside Historic District: Negatives fifteen (-15) points for the Blending Tank, which is the tallest at 38.5feet. This is 12.5 feet over the suggested height of 26 feet. Buildings that are more than one story over the land use guidelines recommendation, but are no more than one and one-half (1-1/2) stories over the land use guidelines recommendation.
- 6/R: Broken, interesting roof forms that step down at the edges; negative one (-1) point as the ridgeline on the Treatment Building is unbroken and is 111 feet long.

This adds to a total of negative twenty-two (-22) points.

Positive points were awarded under the following policies:

- 2/R, Land Use Guidelines: Uses, positive eight (+8) points for the proposed uses which will not conflict with the existing uses, but will conform to the desired character and function of the district in which they lie, and where applicable, with an approved master plan, are encouraged. For a project offering this much public benefit and a scope this large, Staff is suggesting positive eight (+8) points under this policy.

- 24/R, Social Community - Community Need: For a project offering this much public benefit and a scope this large, Staff is suggesting positive six (+6) points under this policy.
- 26/R, Infrastructure - Capital Improvements: Positive eight (+8) points for "Capital Improvements: The implementation of capital improvement needs listed in the land use guidelines or town's capital improvements five (5) year program is encouraged; while any action to impede the implementation of any of these items is discouraged. (Ord. 19, Series 1988). The Land Use guidelines specifically identify "water facilities" as District Improvements.
-

This adds to a total of positive twenty-two (+22) points, bringing the overall score to a passing score of zero (0) points.

Staff believes this facility will be an important entry component to anyone arriving (or leaving) along this portion of Highway 9. The desire is to create a modern building that still respects the history and heritage of this portion of Summit County and the Town of Breckenridge. The Town Council has directed staff to proceed with this comprehensive development this year. Upon completion, this will become a vital part of the overall community infrastructure.

Staff had the following questions for the Commission:

1. Did the Commission support awarding positive eights (+8) points under Policy 2/R Uses for providing a use in this district and identified in the McCain Master Plan?
2. Did the Commission support awarding positive eight (+8) points under Policy 26, Infrastructure, for abiding with the Land Use District preferred use of "water facilities" and for the overall benefits of the Town's infrastructure?

The Community Development Department suggested the Planning Commission recommend to the Town Council approval of the Breckenridge Second Water Treatment Plant, PL-2016-0112, showing a passing point score of zero (0) points with the presented Findings.

Mr. Marc Hogan, Architect: Thank you for your time and the opportunity. Ms. Sara Clark will walk you through the project.

Ms. Clark: The purpose of the project is to provide the town a water plant with space to add capacity. (Ms. Clark explained the purpose and use for each building.) A lab will be in the administration building and will be a considerable upgrade from the current lab as well as a training area. (Ms. Dudney: Will the bike path be rerouted?) (Mr. Mosher: The path will be tied in.) (Ms. Dudney: Did the footprint change?) Yes. We downsized the big building. We do have budget constraints. (Mr. Hogan: We reduced admin building and several others. About Ms. Dudney's question: the metal panel use is to control condensation. Landscaping design has been done by Norris Design.)

Ms. Leidal opened the hearing to public comment.

Mr. Lee Edwards: Is the current roadway alignment still the same? (Mr. Mosher: Explained where the road way will be.) Thank you. An observation: I have picked up bicyclists here and a couple parking spaces should be added. (Mr. Mosher: We are currently talking to Engineering about that.) Great, a couple spaces to pull over would be good. Will the mechanical equipment be on the roof? (Mr. Hogan: No. We have integrated mechanical into the building. Although the residual building pump station will be on the ground.) Where will the raw water line run? (Ms. Clark and Mr. Hogan explained.) I am concerned about the bike path disturbance. (Ms. Clark: There will be disturbance and we will have a detour plan.) You could skew the administration building. Use natural lighting by including big opening instead of the small windows shown. (Mr. Hogan: The fenestration locations are a function of all the mechanical inside. Windows are 3' x 3'.)

Commissioner Questions / Comments:

- Ms. Leidal: Is the non-natural material required? (Mr. Mosher: Part of it is. It has to do with how these machines are housed and the resulting humidity.) Do you have any concerns with snow stack? (Mr. Mosher: They have ample space and will have machines to move snow, so it is not a concern.)
- Mr. Lamb: I am concerned it looks very industrial to the entrance of Town. It will need lots of landscaping to shield it from Highway 9. What we see here is skimpy. Overcoming 22 negative points is a lot to overcome. I would like to see a better landscaping job to screen the long flat facade.
- Mr. Giller: Conceptually the structure offered a screening but we are past that. The restroom should be moved away from the project entrance to a better location for biker visibility. Adjustment of 90 degrees of the primary building was a smart thing to do.
- Ms. Dudney: The development code was not made for this. This is being shoehorned with the code to make it pass points. It puts the Commission in an unusual situation. I think it should be an exception to the development code-to function, it has to reach this height and mass. The negative points. As a bike rider, I ask that you please move the bike path off the roundabout, as it is very dangerous.
- Ms. Leidal: I am concerned with giving positive eight (+8) points for 2R under land use just because it meets what the master plan says. That is like giving points for a project that meets the underlying zoning anywhere in town. I do not want to set precedent for other projects. I feel we are stretching the code and setting bad precedence. I suggest we look for other ways to award points than set poor precedence. Maybe it is possible to give points for art or the beefed up landscaping.
- Mr. Lamb: I feel we need to hold a Town project to the same precedence as we do to public projects.
- Ms. Dudney: Yes, but it is a water plant and an unusual example. (Mr. Grosshuesch: We are not concerned about precedents because it's very likely no one else will build a water plant.) Is the positive eight (+8) because of the community benefit? (Mr. Grosshuesch: Yes.) I am ok with the point analysis then.
- Mr. Lamb: I am ok with point analysis but I feel it is important to express my concern about holding the town to the same standards as the public projects.

Ms. Dudney made a motion to recommend the Town Council approve the Breckenridge Second Water Treatment Plant, PL-2016-0112, 68 Stan Miller Drive, showing a passing point analysis of zero (0) points and with the presented findings. Mr. Giller seconded, and the motion was carried unanimously (4-0).

Ms. Leidal called a 5-minute break at 7:20pm. The meeting reopened at 7:25pm.

OTHER MATTERS:

1) Breckenridge Public Art Program Master Plan Review, Resolution and Recommendation (JP)
Ms. Puester and Ms. Jennifer Cram, Director of Public Programs + Engagement, Breckenridge Creative Arts, presented. The updated Public Art Master Plan + Policy is divided into three parts. Part 1 is the Master Plan, which gives creative direction to the Breckenridge Public Art Program. Part 2 is the Public Art Policy, which outlines specific policies and procedures that guide day-to-day operations required to put the plan in action. Part 3 offers a visual tour of the Breckenridge public art collection as it stands today, representing rich stories of local lore, captivating vistas, environmental stewardship and all other aspects that make each piece uniquely Breckenridge.

Formerly managed by the Town of Breckenridge, the Breckenridge Public Art program is now managed by Breckenridge Creative Arts. BCA spearheaded the Public Art Program Master Plan + Policy, which builds on the Town's 2006 Art in Public Places Master plan with input from community representatives to chart the course of public art programs in Breckenridge.

Ms. Cram asked the following questions of the Commission:

1. Would the Planning Commission support BCA returning with a work session item on Section 9-1-19-43 A/R, *Public Art*, of the Development Code with regard to point allocations for public art?
2. Did the Planning Commission support the proposed updates to the 2006 Art in Public Places Master Plan to be named Breckenridge Public Art Program Master Plan + Policy?

Ms. Dudney: Is there a time constraint to complete? (Ms. Cram: No, we have time. It doesn't need to come in with the adoption of the plan.) We give positive points for being part of a specific project. Do you think that is appropriate? (Ms. Cram: Yes, you want positive points to offset on that specific project. The Code does not allow off site points. If you changed the code then we would use off site points.) (Ms. Puester: Informed the Commission that this topic is slated to be discussed further at a future date as a work session.)

Mr. Lamb: It is hard because I am not an artist and I can't tell you what is good art and what is bad. (Ms. Cram: Breckenridge Creative Arts would work with you and help you feel comfortable with the art work. A diverse collection is what we look for to interest a diverse community.) (Mr. Grosshuesch: We will refer the project to Breckenridge Creative Arts for their input on points which is what we currently do.)

Ms. Dudney: I love the arts district and it is spoken highly of.

Mr. Giller: I am a big fan of the district, we love it. (Ms. Puester: The process here is for a motion to be made to adopt the resolution in the packet. This is incorporated through the Comprehensive Plan which the Planning Commission is the keeper of. With approval from the Planning Commission, this will move to the Town Council as a work session item, then Council resolution and ordinance. We have provided a recommended motion for you in the packet.)

Mr. Lamb made a motion to approve Resolution 1, Series 2017, A Resolution recommending the inclusion of the "Breckenridge Public Art Master Plan + Policy 2016" as part of the Town's Comprehensive Plan. Mr. Giller seconded, and the motion was carried unanimously (4-0).

- 2) Class C Subdivisions Approved Q1, 2017 (JP) (Memo Only)
- 3) Class D Majors Approved Q2, 2017 (JP) (Memo Only)

ADJOURNMENT:

The meeting was adjourned at 7:50 pm.

Christy Matthews-Leidal, Vice Chair



2017 - Class C DUPLEX Development Review Checklist

Project Title: Shock Hill Overlook Duplex- Lots 9A & 9B

Proposal: Build a new 4,999 Sq. Ft. Duplex Unit A with 4 Bedrooms & 4.5 Bathrooms; Unit B with 4 Bedrooms & 4.5 Bathrooms

Project Name and PC#: Duplex at Unit A: 10 West Point Lode and Unit B:6 West Point Lode

PL-2017-0096

Project Manager: Michael Mosher, Planner III

Meeting Date: May 2, 2017

Date of Report: April 17, 2017

Property Owner: Shock Overlook / Chris Canfield - MBR

Agent: Allen-Guerra Architecture / Andy Stabile

Proposed Use: Duplex

Land Use District (2A/2R): LUD: 10 Residential (SF to 8-plex, Townhomes)2 UPA

Address (Unit A, Unit B): Unit A: 10 West Point Lode Unit B:6 West Point Lode

Legal Description: Shock Hill Overlook Subdivision, Lots 9A & 9B

Site Areas: Unit A = 5,000 sq. ft. Unit B = 5,000 sq. ft.

Total Site Area: 10,000 sq. ft. 0.23 AC

Existing Site Conditions: The site has been previously graded for subdivision improvements and placement of the Private Drive, West Point Lode. A portion of the existing waste rock consolidation pit lies along the north edge of Lot 6B. This property has not yet been subdivided.

UNIT A

UNIT B

Areas of Building: Proposed Square Footage:

Areas of Building: Proposed Square footage:

Lower Level: 1,205 sq. ft.

Lower Level: 1,211 sq. ft.

Main Level: 1,280 sq. ft.

Main Level: 1,303 sq. ft.

Total Unit A Density: 2,485 sq. ft.

Total Unit B Density: 2,514 sq. ft.

Garage: 716 sq. ft.

Garage: 617 sq. ft.

Total Units A Mass: 3,201 sq. ft.

Total Unit B Mass: 3,131 sq. ft.

Number of Bedrooms: 4 Bedrooms

Number of Bedrooms: 4 Bedrooms

Number of Bathrooms: 4.5 Bathrooms

Number of Bathrooms: 4.5 Bathrooms

Fireplaces (30A/30R):

Fireplaces (30A/30R):

Number of Gas Fired: 3 Gas Fired

Number of Gas Fired: 3 Gas Fired

Parking (18A/18/R):

Parking (18A/18/R):

Required: 2 spaces

Required: 2 spaces

Proposed: 2 spaces

Proposed: 2 spaces

Driveway Slope: 4.0%

Driveway Slope: 4.0%

Code Policies (Policy #) for Both Units

Total Building Density (3A/3R): 4,999 sq. ft.
Total Building Mass (3A/3R): 6,332 sq. ft.
F.A.R.: 1:1.58 FAR

Height (6A/6R):* 33 feet overall

Architectural Compatibility (5/A & 5/R):

The architecture and finishes match that of the other homes in the neighborhood.

Exterior Materials: Vertical and horizontal cedar siding satined with Superdeck, metal siding (less than 25% per elevation), natural stone veneer

Exterior Colors: Vertical Siding - "Harbor Gray", Horizontal Siding - "Burnt Hickory", Metal Siding - Mill Scale

Roof: Gaf Timberline Ultra HD - 50 Year, Color Shall Be "Weathered Wood". Metal Roof - US Metals. Standing Seam Color-Dark Bronze

Platted Building/Disturbance /Footprint Envelope? Footprint Lot

Lot Coverage

UNIT A

UNIT B

Drip-line of Building (Nonpermeable)	2,668 sq. ft.	2,504 sq. ft.
Hard Surface (Nonpermeable)	1,200 sq. ft.	805 sq. ft.

Open Space (Permeable) 1,132 sq. ft. or 22.64% 1,691 sq. ft. or 33.82%

Snowstack (13A/13R):

Required Square Footage:	Unit A = 300 sq. ft.	(25% of paved surfaces is required)	Unit B = 201 sq. ft.	(25% of paved surfaces is required)
Proposed Square Footage:	310 sq. ft.	25.8%	325 sq. ft.	40.4%

Landscaping (22A/22R):

Planting Type	Quantity	Size
Aspen	12	(6) 1.5" cal, (6) 2" cal
Colorado Spruce	4	(2) 12', (2) 14'
Native Shrubs	12	5 gal.

Defensible Space (22A): Complies

Drainage (27A/27R): Positive drainage away from Buildings

Energy Conservation (33/R): Heated driveway, sidewalk, plaza, etc.
 481 square feet of heated exterior deck Negative one (-1) point incurred

Point Analysis (Sec.9-1-17-3): This application has met all Absolute Policies and has been awarded negative one (-1) point under Policy 33, Energy Conservation, for providing 481 square feet of exterior heated space. One Positive (+1) point has been provided for providing a draft HERS analysis prepared by a registered design professional resulting in a passing point analysis of zero (0) points.

Staff Action: Staff has approved the Shock Hill Overlook Duplex- Lots 9A & 9B, PL-2017-0096 meeting all Absolute Policies and showing a passing score of zero (0) points and with the attached Findings and Conditions

Additional Conditions of Approval: Prior to Certificate of Occupancy, 30. Applicant shall provide the Town with a HERS index energy analysis that has been prepared by a registered design professional.

TOWN OF BRECKENRIDGE

Shock Hill Overlook, Lot 9 Duplex
Shock Hill Overlook Filing #1- Lot 9
Unit A: 10 West Point Lode/Unit B: 6 West Point Lode
PL-2017-0096

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 17, 2017** and findings made by Community Development with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 2, 2017** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. The property is located on Tract E, Shock Hill Subdivision. As such, the property is also within the Cucumber Gulch Overlay Protection District (but not the Cucumber Gulch Preventative Management Area), which set forth certain design criteria intended to protect the unique biological and environmental character of the Cucumber Gulch Preserve.
7. This property is subject to the terms and conditions of the Declaration of Deed Restriction, Reception #998561, recorded on July 26, 2012.
8. **The Memo (submitted with PL-2014-0174) from David Bohmann of Tetra Tech dated March 12, 2015 and the letter from Fonda Apostolopoulos of the State of Colorado dated August 22, 2012 (on file at Town Hall) regarding “No Action Determination for Shock Hill Tracts C and E, Breckenridge, CO” will serve as a certifications of no risk from the owner with regard to the on-site consolidated waste rock.**

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **November 9, 2018**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.

5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Applicant shall field locate utility service lines to avoid existing trees.
7. **An improvement location certificate of the height of the top of the foundation wall, the second story wall plate, and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.**
8. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
9. **Spas/hot tubs shall be designed so that when these pools/spas/hot tubs are drained, water flows into the sanitary sewer system. At no time will water from these sources be allowed to drain into the stormwater system, nor toward Cucumber Gulch.**
10. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.
11. This property is subject to the terms and conditions of the Declaration of Deed Restriction, Reception #998561, recorded on July 26, 2012.
12. The property is located on Tract E, Shock Hill Subdivision. As such, the property is also within the Cucumber Gulch Overlay Protection District (but not the Cucumber Gulch Preventative Management Area), which set forth certain design criteria intended to protect the unique biological and environmental character of the Cucumber Gulch Preserve.
13. The applicant and future owners of any property within Tract E-1 are required to comply with the Declaration of Deed Restriction, Reception #998561, recorded on July 26, 2012.
 - a. The Applicant's subdivision plat for the property shall more particularly describe and identify the Areas of Consolidated Waste Rock described and referred to in the "Declaration of Deed Restriction" recorded July 26, 2012 at Reception No. 998561 of the records of the Clerk and Recorder of Summit County, Colorado ("Declaration").
 - b. In its development of the property pursuant to this Development Permit, Applicant shall comply with the terms and conditions of the Declaration. Without limiting the generality of the preceding sentence, Applicant shall not make or allow any excavation on, within, or under any of the Areas of Consolidated Waste Rock described and referred to in the Declaration (as more particularly described and identified in the subdivision plat for the property) without prior written approval from the Town and, if applicable, the Colorado Department of Health and Environment. Applicant acknowledges that before approving a proposal to disturb an Area of Consolidated Waste Rock the Town may require the posting of an acceptable financial guarantee assuring the restoration of the Area of Consolidated Waste Rock that is to be disturbed.
 - c. Prior to issuance of the first building permit for the construction of improvements to be made to the property pursuant to this Development Permit, Applicant shall execute and record with the Clerk and Recorder of Summit County, Colorado an agreement running with the land, acceptable in form and substance to the Town Attorney, providing: (i) the Applicant will provide prompt written notice to the Town if the Declaration referred to in Condition No. A is ever modified or terminated, and shall concurrently with such notice provide the Town with written evidence of the modification or

termination of the Declaration; and (ii) if the Declaration is ever terminated, the Applicant will, upon the request of the Town, execute, acknowledge, and deliver an agreement for the benefit of the Town that contains substantive provisions that are substantially similar to the Declaration.

14. Non-pervious patios are not allowed. Patios shall be constructed of pervious set flagstone”

PRIOR TO ISSUANCE OF BUILDING PERMIT

15. Applicant shall submit proof of ownership of the project site.
16. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
17. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
18. **Plans shall show the location of the Cucumber Gulch Wildlife Preserve notice (attached), to be permanently attached inside each entryway.**
19. **Plans shall show the location of the Cucumber Gulch Wildlife Preserve HOT TUB DRAINAGE RESTRICTIONS (attached), to be permanently attached at the location of future hot tub.**
20. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
21. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
22. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
23. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant’s responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
24. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town's water system, including hydrants, prior to any construction with wood. In the event the water system is installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.
25. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15’ in height from finished grade or 7’ above upper decks.
26. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new

landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

27. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
28. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
29. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
- 30. Applicant shall provide the Town with a HERS index energy analysis that has been prepared by a registered design professional.**
31. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
32. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
33. Applicant shall screen all utilities.
34. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
35. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
36. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
37. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions"

generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

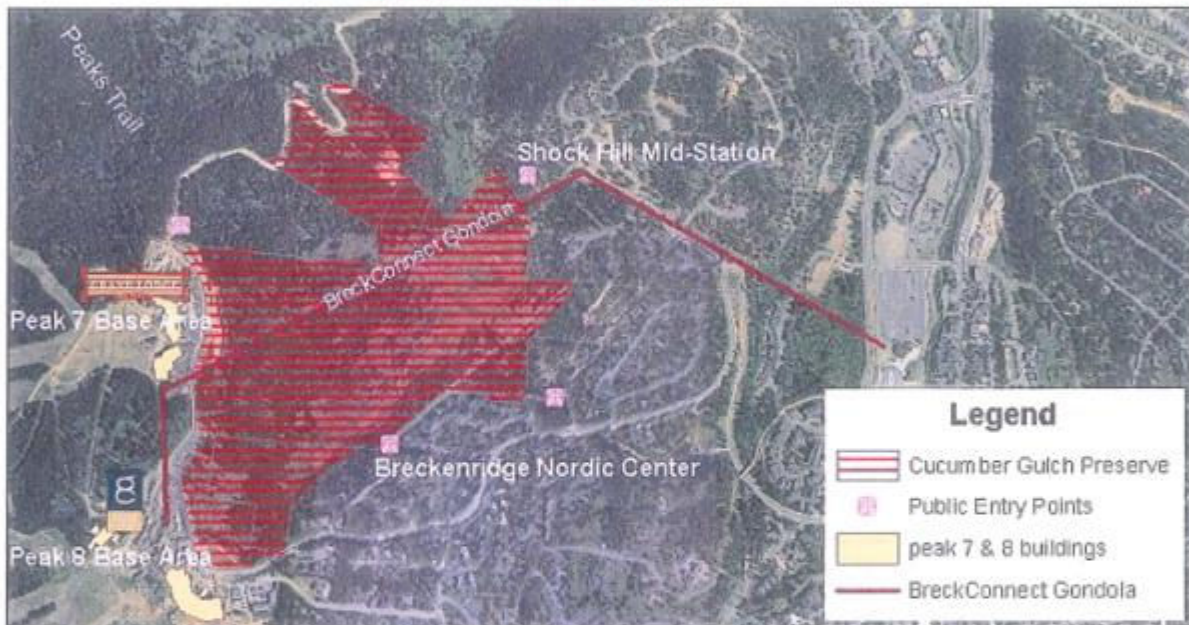
38. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
39. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)



Cucumber Gulch Wildlife Preserve

The Shock Hill Overlook asks that our owners and guests respect the sensitivity of the Cucumber Gulch Wildlife Preserve. This groundwater-fed, fen wetland complex naturally purifies water in Cucumber Creek, while also providing an exceptional habitat for moose, beaver, muskrat, migratory birds and other animals. Within Cucumber Gulch are some of the most biologically diverse and sensitive wetlands within the State of Colorado; thus, this sensitive ecosystem is in great need of protection. Thank you for your help in maintaining this unique wetland area so close to our resort. *- no external loud-speakers*



Seasonal Closures

In order to protect vulnerable wildlife during chick-rearing and moose-calving season, Cucumber Gulch closes each year from the second week of April through the first Monday after July 4th. The Grand Lodge on Peak 7 Activities staff would be happy to suggest alternative trail options near our resort during this time period.


Visitation

Visitors to Cucumber Gulch Wildlife Preserve must remain on designated trails, enter through official entry points and respect seasonal closures. Low intensity, human-powered uses are welcome seasonally as conditions permit. Such activities include hiking, nature-watching, Nordic skiing, snowshoeing, trail running and mountain biking.

Restricted Activities

The following activities are prohibited in the Preserve:

- Off-trail travel
- Pets of any kind
- Special events
- Groups larger than 8
- Hunting or the possession of firearms
- Overnight stays or camping
- Activities between dusk and dawn
- Operation of motor vehicles
- Alcohol consumption
- Horseback riding
- Fishing



Pets disturb the preserve's local wildlife and vegetation. Under no circumstance are they allowed within the Preserve.

Please visit the website
for more information
www.townofbreckenridge.com



Cucumber Gulch Wildlife Preserve

HOT TUB DRAINAGE RESTRICTIONS

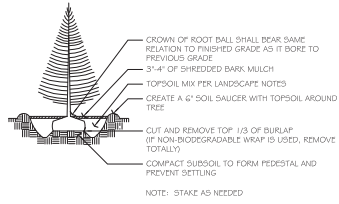
Due to the sensitive nature of the Cucumber Gulch Wildlife Preserve ecosystem, hot tubs within the Shock Hill Overlook Subdivision are NOT permitted to drain into the stormwater system, nor toward the Cucumber Gulch. The floor drain in this deck is the only acceptable location to drain the hot tub.

Jacuzzi restricciones de drenaje debido a la naturaleza sensible del ecosistema pepino quebrada preservar la vida silvestre, bañeras de hidromasaje dentro de la subdivisión de vistas a colina de choque no se permite drenar en el sistema de aguas pluviales, ni hacia la Quebrada de pepino. El drenaje en el piso en este deck es el lugar sólo aceptable para desaguar la tina caliente

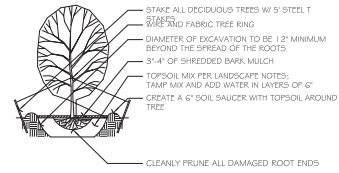
For more information on the Cucumber Gulch Wildlife Preserve, visit

www.townofbreckenridge.com

CONIFEROUS TREE PLANTING



DECIDUOUS TREE PLANTING

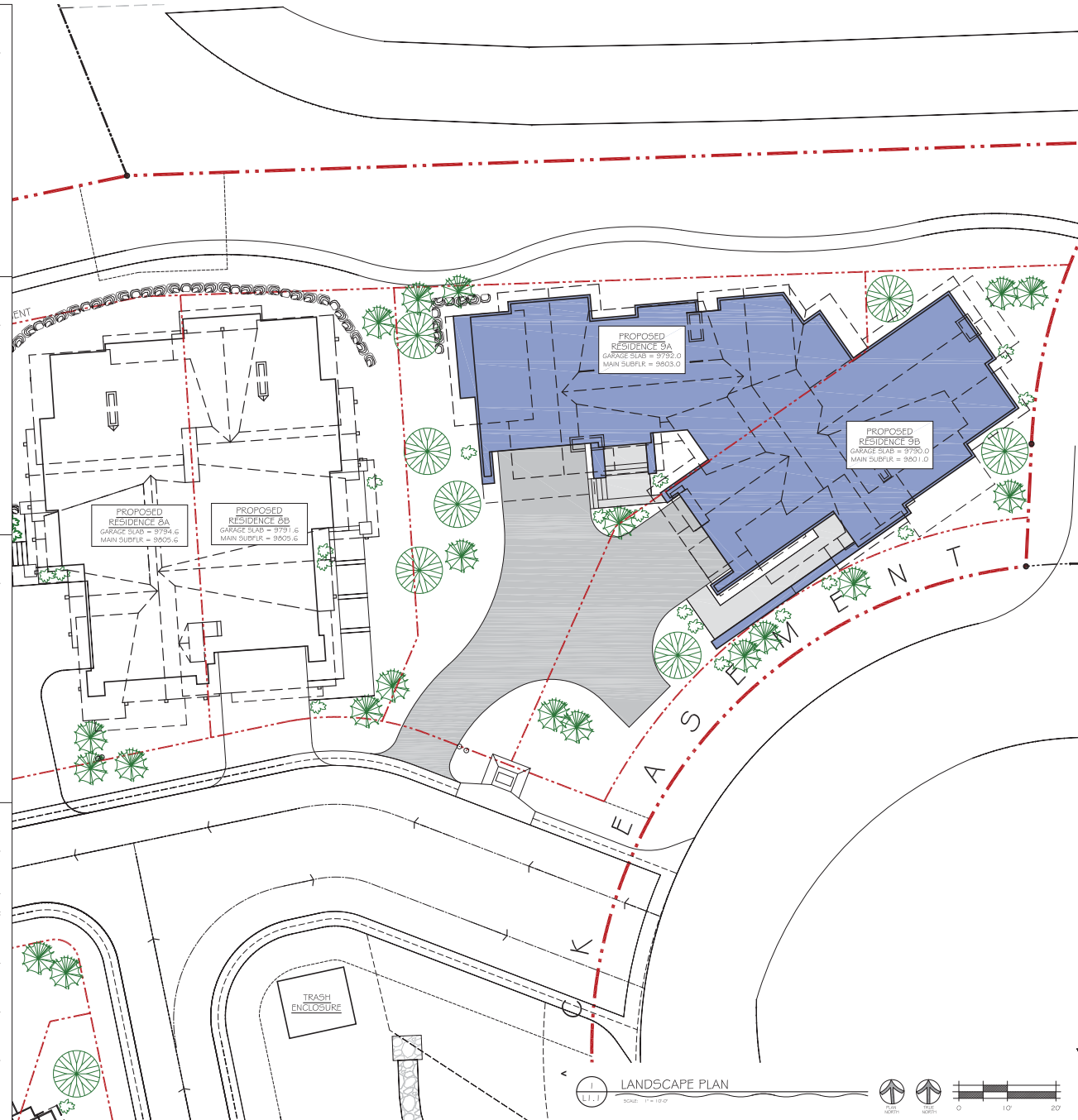


LANDSCAPE NOTES

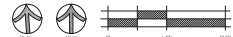
1. EROSION CONTROL METHODS: CONTROL ALL RUNOFF WITHIN SITE PER SUBDIVISION STANDARDS AND COUNTY REQUIREMENTS BY UTILIZING, SINGLY OR IN COMBINATION, NON-EROSIVE DRAINAGE MATS, SILT FENCINGS, DIVERSION SWALES, AND Dikes AS NECESSARY TO TRAP, INTERCEPT, AND DIVERT RUNOFF WITHIN BUILDING ENVELOPE.
2. NATIVE LANDSCAPING AREA IN CONTACT WITH BUILDING ENVELOPE WILL BE PROTECTED FROM ROOF RUNOFF AS SHOWN IN WALL SECTION. RIVER ROCK RIPRAP IS TO EXTEND 3' BEYOND DRIP LINE.
3. EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PROMOTE XERISCAPING - PER TOWN OF BRECKENRIDGE CODE SECTION 3603.03.
4. ALL EXISTING TREES WITHIN 15' OF THE PROPOSED RESIDENCE MUST BE REMOVE TO CREATE DEFENSIBLE SPACE PER TOWN CODE.
5. TREE REMOVAL TO BE COORDINATED BETWEEN OWNER, GENERAL CONTRACTOR, AND TOWN PLANNING STAFF, PRIOR TO REMOVAL.
6. ALL AREAS WITHIN BUILDING ENVELOPE AND WITHIN 40' OF DRIVEWAY OUTSIDE OF ENVELOPE TO BE REVEGETATED WITH 100% NATIVE HIGH COUNTRY GRASS SEED MIXTURE CONSISTING OF:
 - 50% SLENDER WHEATGRASS
 - 15% CANBY BLUEGRASS
 - 1 OR BIG BLUEGRASS
 - 1 OR DAHO FESCUE
 - 1 OR SHEEP FESCUE
 - 10% WESTERN WHEATGRASS
 - 5% BLUE WILDMT
 - 5% TUFTED HARRISGRASS
 ALONG WITH A MIXTURE OF PERENNIALS & GROUND COVER, PER SUMMIT COUNTY DEVELOPMENT CODE. A DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO ALL NEW TYPES OF TREES AND SHRUBS, PER THE TOWN REQUIREMENTS.
7. A DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO ALL NEW TYPES OF TREES AND SHRUBS, PER THE TOWN REQUIREMENTS.

PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	12	RIBES ALPINUM & ROSA WOODSII	ALPINE CURRANT & WOODS ROSE	5 GAL
	12	POPULUS TREMULOIDES	ASPEN	(4) 1.5" CAL (4) 2" CAL
	4	PICEA PUNGENS	COLORADO SPRUCE	(2) 12" (2) 14"
		NATIVE SEED MIX (SEE LANDSCAPE NOTES)		



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"



ALLENSGUERNA ARCHITECTURE
 PO BOX 948
 BRECKENRIDGE COLORADO 80824
 P: 970.450.1000
 FAX: 970.450.1000
 E-MAIL: INFO@ALLEN-GUERNA.COM
 WEBSITE: WWW.ALLEN-GUERNA.COM

SHOCK HILL OVERLOOK - LOT 9
 SHOCK HILL SUBDIVISION - TRACT E, LOTS 9A & 9B, 10 & 6 WEST POINT LODGE
 BRECKENRIDGE, COLORADO

LANDSCAPE PLAN

ISSUE	DATE
PRELIM	2 FEB 2017
REVIEW	4 APR 2017
PLANNING	10 APR 2017

PROJECT # 1511



PRELIMINARY - NOT FOR CONSTRUCTION

- COMPLETE
- UNDER CONSTRUCTION
- CURRENT
- FUTURE



PRELIMINARY - NOT FOR CONSTRUCTION



ALLENSHERRA ARCHITECTURE
 PO BOX 448
 BRECKENRIDGE, COLORADO 80424
 P: 970.468.8800
 F: 970.468.8800
 E: INFO@ALLENSHERRA.COM
 WWW.ALLENSHERRA.COM

SHOCK HILL OVERLOOK - LOT 9
 SHOCK HILL SUBDIVISION - TRACT E - LOT 9A & 9B - 10 & 6 WEST POINT LODGE
 BRECKENRIDGE, COLORADO

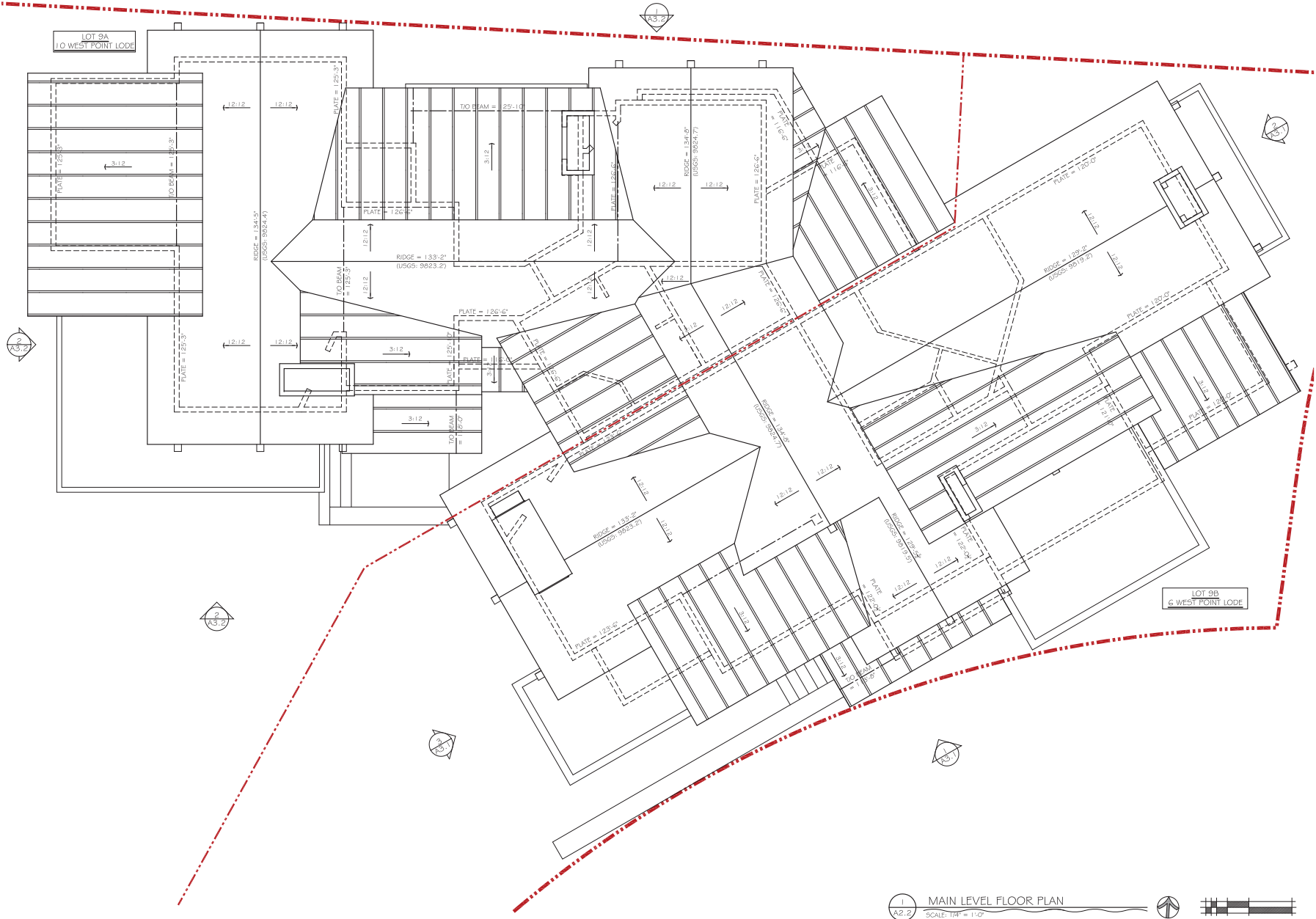
CONSTRUCTION MANAGEMENT PLAN

ISSUE	DATE
PRELIM	2 FEB 2017
REVIEW	4 APR 2017
PLANNING	10 APR 2017

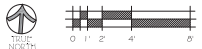
PROJECT # 541



1" = 40' CONSTRUCTION MANAGEMENT PLAN
 0 20 40'



1
A2.2
MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION



ALLENSGERRA ARCHITECTURE
PO BOX 948
BRECKENRIDGE COLORADO 80424
PH: 303.539.0303
FAX: 303.539.0304
E-MAIL: INFO@ALSENSGERRA.COM
WEBSITE: WWW.ALSENSGERRA.COM

SHOCK HILL OVERLOOK - LOT 9
SHOCK HILL SUBDIVISION - TRACT F - LOT 9A & 9B - 10 & 6 WEST POINT LODGE
BRECKENRIDGE, COLORADO

ISSUE	DATE
PRELIM	2 FEB 2017
REVIEW	4 APR 2017
PLANNING	10 APR 2017

PROJECT # 1511
A2.3



ALLEN GUERRA ARCHITECTURE
 P.O. BOX 188
 BRECKENRIDGE, COLORADO 80304
 PH: 970.533.1022
 FAX: 970.533.0240
 E-MAIL: INFO@ALLEN-GUERRA.COM
 WEB SITE: WWW.ALLEN-GUERRA.COM



3 SOUTH ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"

7 EAST ELEVATION
 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

SHOCK HILL OVERLOOK - LOT 9
 SHOCK HILL SUBDIVISION, TRACT E, LOTS 9A & 9B, 10 & 6 WEST POINT LODGE
 BRECKENRIDGE, COLORADO

WALL ELEVATIONS

ISSUE	DATE
PRELIM	1 NOV 2016
PLANNING	10 APR 2017

PROJECT # 531

A31

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ALLEN GUERRA ARCHITECTURE
P.O. BOX 188
BRECKENRIDGE, COLORADO 80424
PH: 970.521.1111
FAX: 970.521.0400
E-MAIL: INFO@ALLEN-GUERRA.COM
WEB SITE: WWW.ALLEN-GUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION
 SHOCK HILL OVERLOOK - LOT 9
 SHOCK HILL SUBDIVISION - TRACT E, LOTS 9A & 9B, 10 & 6 WEST POINT LODGE
 BRECKENRIDGE, COLORADO

ISSUE	DATE
PRELIM	1 NOV 2016
PLANNING	10 APR 2017
PROJECT # 570	

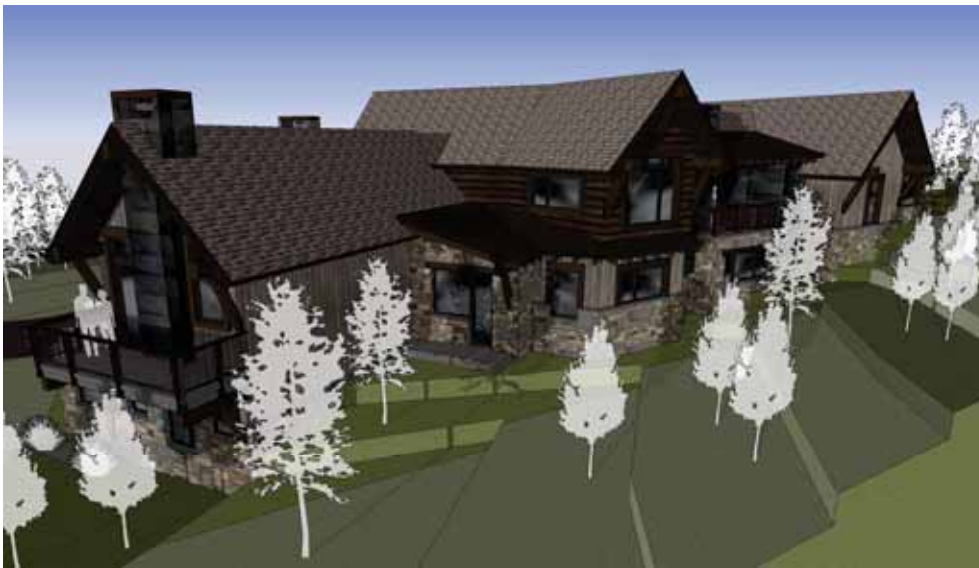
A3.2



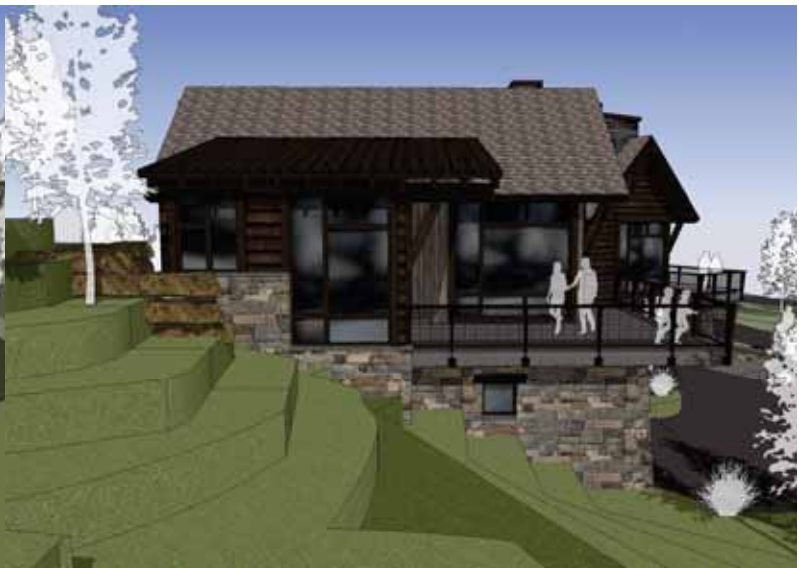
Ⓜ A3.4 SOUTHWEST PERSPECTIVE



Ⓜ A3.4 SOUTHEAST PERSPECTIVE



Ⓜ A3.4 NORTHEAST PERSPECTIVE



Ⓜ A3.4 NORTHWEST PERSPECTIVE



ALLEN GUERRA ARCHITECTURE
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 WEB SITE: WWW.ALLEN-GUERRA.COM

PRELIMINARY - NOT FOR CONSTRUCTION

SHOCK HILL OVERLOOK - LOT 9
 SHOCK HILL SUBDIVISION, TRACT E, LOTS 9A & 9B, 10 & 6 WEST POINT LODGE
 BRECKENRIDGE, COLORADO

TITLE PERSPECTIVE RENDERINGS

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ISSUE	DATE
PRELIM	1 NOV 2016
PLANNING	10 APR 2017

PROJECT# 531

A3.4



2017 - Class C Single Family Development Staff Report

Project Title:	Paull Residence	
Proposal:	Build a new 4,613 Sq. Ft. Single Family Residence with 4 bedrooms and 6 bathrooms	
Project Name and PC#:	Single Family Residence at 71 Rounds Road	PL-2017-0100
Project Manager:	Chapin LaChance, Planner II	
Date of Report:	April 27, 2017	
Property Owner:	Lianno Resources Capital LLC (Mark and Dayna Paull)	
Agent:	Yves Mariethoz with Allen-Guerra Architecture	
Proposed Use:	Single Family Residence	
Address:	71 Rounds Road	
Legal Description:	The Highlands Subdivision, Filing 4, Lot 116	
Area of Site in Square Feet:	44,060 sq. ft.	1.01 acres
Existing Site Conditions:	This lot has frontage on both Rounds Road and Highlands Drive, although there is a platted access restriction along Highlands Drive. A 30' Sanitary Sewer Easement crosses the western portion of the lot from north to south. This lot shares a 25' Sanitary Sewer and Access Easement (running east to west) with Lot 115 to the south. This lot does not have a Building or Disturbance Envelope. There is a thin vegetation cover of Lodgepole Pines throughout the lot, except for the 30' Sanitary Sewer Easement, which is devoid of tree cover. There is a total of 54' of elevation change across the lot, as the lot slopes downward from Rounds Road towards the west at an average grade of approximately 18%.	
Areas of building:	Proposed Square Footage	
Lower Level:	1,806 sq. ft.	
Main Level:	2,129 sq. ft.	
Upper Level:		
Accessory Apartment:		
Total Density:	3,935 sq. ft.	
Garage:	678 sq. ft.	
Total:	4,613 sq. ft.	
Code Policies (Policy #)		
Land Use District (2A/2R):	LUD 1: Residential, Recreation LUD 6: Subject to the Highlands at Breckenridge and Delaware Flats Master Plans	
Density (3A/3R):	Unlimited	Proposed: 3,935 sq. ft.
Mass (4R):	1:8.5 or 9,000 sq. ft., whichever is less	Proposed: 4,613 sq. ft.
F.A.R.:	1:9.55 FAR	
No. of Main Residence Bedrooms:	4 bedrooms	
No. of Main Residence Bathrooms:	6.0 bathrooms	
Height (6A/6R):*	31.6 feet overall	
*Max height of 35' for single family outside Conservation District unless otherwise stated on the recorded plat		
Platted Building/Disturbance /Footprint Envelope?	No Envelope	
Setbacks (9A/9R):		
Front:	Required: 25'	Proposed: 37'
Side:	Required: 50' (Combined)	Proposed: 67'
Rear:	Required: 15'	Proposed: 190.5'
Site and Environmental Design (7R):	Staff recommends negative two (-2) points for retaining walls proposed in excess of four feet in height.	
Lot Coverage/Open Space (21R):		
Drip line of Building/Non-Permeable Sq. Ft.:	4,620 sq. ft.	10.49%
Hard Surface/Non-Permeable Sq. Ft.:	2,517 sq. ft.	5.71%
Open Space / Permeable:	36,923 sq. ft.	83.80%
Snowstack (13A/13R):		

Required Square Footage:	629 sq. ft.	25% of paved surfaces is required
Proposed Square Footage:	995 sq. ft.	(39.53% of paved surfaces)
Energy Conservation (33A/33R):		
Outdoor heated space:	YES	1,042 sq. ft.
HERS Index:	41-60	
	Staff recommends negative three (-3) points under Policy 33R for excessive energy use by the heated driveway, and positive three (+3) points for the applicant achieving a HERS Index of 41-60.	
Parking (18A/18/R):		
Required:	2 spaces	
Proposed:	2 spaces	
Fireplaces (30A/30R):		
Number of Gas Fired:	3 Gas Fired	
No. of EPA Phase II Wood Burning:	0 Wood Burning	
Architectural Compatibility (5/A & 5/R):		
	The architecture and finishes match that of the other homes in the neighborhood.	
	Roofing: standing seam metal (color: Slate Grey, non-reflective) and asphalt shingles (Color: "Charcoal") Fascia: 2x rough sawn Cedar (color: "English Walnut" stain) Soffit: 1x6 tongue and groove Cedar (color: "Coastal Grey" stain) Vertical siding: reclaimed wood (color: "weathered") Doors/windows cladding: (color: "Black Licorice") Metal siding, gaurdrails, exposed steel beams: Coated steel panels (color: "pre-weathered galvalume", non-reflective) Stone veneer: stone (color: "Chopped Charcoal") Stone veneer cap: stone (color: "Vals Quartzite") Window and door trim: 2" x 3" Cedar (color: "English Walnut") Exposed posts/beams: timber posts and glue-laminated beams (color: "Coastal Grey" stain) Decking: composite decking (color: "Weathered Wood") Horizontal deck railing: coated steel (color: "pre-weathered galvalume, non-reflective") Garage doors: 1x & 2x Cedar per details (color: "Coastal Grey") Flashing, gutters, and downspouts: (color: dark grey)	
Exterior Materials and Colors:	Staff recommends positive two (+2) points for landscaping that will provide some public benefit.	
	Precedent: <u>Schumacher Residence (PC#2014040, The Highlands at Breckenridge, Golf Course Filing No. 1, Lot 27: 192 Marks Lane)</u> Aspen: 11 @ 3" caliper (minimum) Spruce: 6 @ 10' tall Shrubs: 27 @ 5 gallon	
Landscaping (22A/22R):	<u>F.I. Lot 3A Residence IPC#2103052, Abbott Addition (Hermanson Subdivision) Lot 3A, 112 N. Ridge St.</u> Aspen: 4 @ 2.5" caliper Spruce: 5 @ 8-12' tall Crabapple: 1 @ 2.5" caliper (minimum) Shrubs: 10 @ 5 gallon	
	Planting Type	Quantity
	Size	
	Quaking Aspen	17
		2.5" caliper (50% multi-stem) minimum
	Colorado Spruce	11
		8' tall minimum
	Alpine Currant and Woods Rose	42
		5 gal.
Defensible Space (22A):	Complies	
Drainage (27A/27R):	Positive drainage away from building	
Driveway Slope:	8.00%	
Point Analysis (Sec. 9-1-17-3):	This application has met all Absolute Policies. Staff recommends negative three (-3) points under Policy 33R for excessive energy use by the heated driveway, and negative two (-2) points for retaining walls proposed in excess of four feet in height. Staff also recommends positive two (+2) points under Policy 22R for landscaping that will provide some public benefit, and positive three (+3) points under Policy 33R for a HERS Index of 41-60.	
Staff Action:	Staff has approved the Paull Residence, PL-2017-0100 showing a passing score of zero (0) points and with the attached Findings and Conditions	
	Prior to Issuance of a Building Permit: 13. Applicant shall provide the Town with a projected HERS Certificate prepared by a registered design professional estimating a HERS Index of 60 or less.	
	Prior to Issuance of a Certificate of Occupancy: 25. Applicant shall provide the Town with a final HERS Index energy analysis prepared by a registered design professional confirming a HERS Index of 60 or less.	
Additional Conditions of Approval:	30. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.	

Final Hearing Impact Analysis				
Project:	Paull Residence	Positive	Points	+5
PC#:	PL-2017-0100			
Date:	4/27/2017	Negative	Points	- 5
Staff:	Chapin LaChance, Planner II			
		Total Allocation:	0	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)	- 2	Staff recommends negative two (-2) points for retaining walls proposed in excess of four feet in height.
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x (-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		

18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)	+2	Staff recommends positive two (+2) points for landscaping that will provide some public benefit.
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)	- 3	Staff recommends negative three (-3) points for excessive energy use by the heated driveway.
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings		+3	Staff recommends positive three (+3) points under Policy 33R for a HERS Index of 41-60.
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		

33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

TOWN OF BRECKENRIDGE

**Paull Residence
Highlands, Filing 4, Lot 116
71 Rounds Road
PL-2017-0100**

STAFF RECOMMENDATION: Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 27, 2017** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 2, 2017** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **November 9, 2018**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.

7. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
8. Applicant shall field locate utility service lines to avoid existing trees.
9. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
10. At no time shall site disturbance extend beyond the limits of the platted building/site disturbance envelope, including building excavation, and access for equipment necessary to construct the residence.
11. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
12. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

- 13. Applicant shall provide the Town with a projected HERS Certificate prepared by a registered design professional estimating a HERS Index of 60 or less.**
14. Applicant shall submit proof of ownership of the project site.
15. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
16. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
17. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
18. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
19. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
20. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

21. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town's water system, including hydrants, prior to any construction with wood. In the event the water system is installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.
22. Applicant shall install construction fencing and erosion control measures at the 25-foot no-disturbance setback to streams and wetlands in a manner acceptable to the Town Engineer.
23. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
24. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

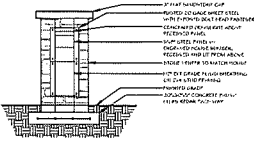
PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

- 25. Applicant shall provide the Town with a final HERS Index energy analysis prepared by a registered design professional confirming a HERS Index of 60 or less.**
26. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
27. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
28. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
29. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
- 30. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property, to be awarded the positive two (+2) points. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.**
31. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
32. Applicant shall screen all utilities.
33. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
34. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in

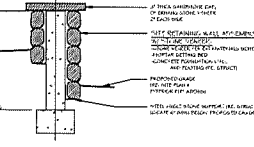
cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.

35. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
36. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
37. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
38. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

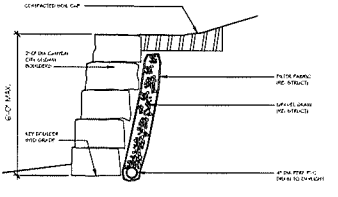
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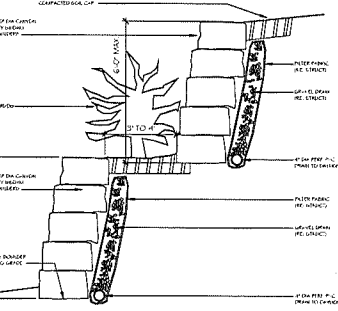
ADDRESS MONUMENT DETAIL
SCALE 3/4" = 1'-0"



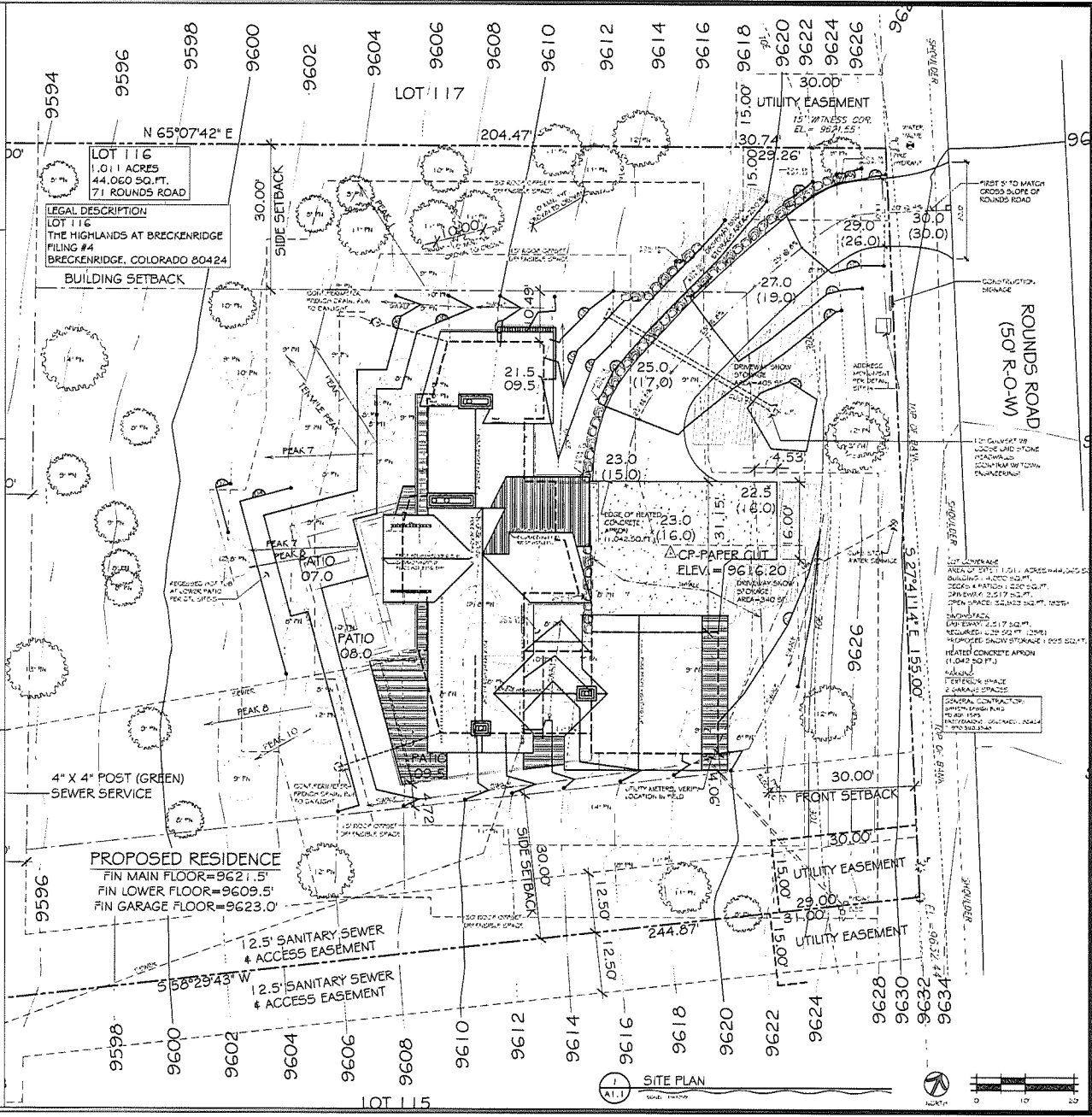
CONCRETE RETAINING WALL
SCALE 3/4" = 1'-0"



SILOAM BOULDER WALL DETAIL
SCALE 3/4" = 1'-0"



SILOAM BOULDER WALL DETAIL
SCALE 3/4" = 1'-0"



SITE PLAN
SCALE 1" = 10'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



ALLEN GUERRA ARCHITECTURE
1111 1/2 PINE
BRECKENRIDGE, COLORADO 80424
761.466.4666
WWW.ALLENGUERRA.COM

PAULL RESIDENCE
LOT 116 THE HIGHLANDS AT BRECKENRIDGE FILING 4
71 ROUNDS ROAD BRECKENRIDGE SUMMIT COUNTY COLORADO
SITE PLAN

DATE	DATE
OWNER	31 OCT 2016
OWNER	10 NOV 2016
OWNER	18 NOV 2016
OWNER	22 NOV 2016
PRELIMINARY DKG	23 FEB 2017
PRELIMINARY DKG	10 MAR 2017
PLANNING	6 APR 2017

ALL

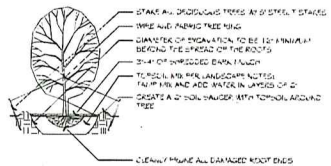
PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	42	RIBES ALPINUM	ALPINE CURRANT	5 GAL
	17	ROSA WOODSII	WOODS ROSE	2.5" CAL
	11	POPULUS TREMULOIDES	QUAKING ASPEN	2.5" CAL
	11	PICEA PUNGENS	COLORADO SPRUCE	8' MIN.
		ALL DISTURBED LOCATIONS	NATIVE SEED MIX (SEE LANDSCAPE NOTES)	

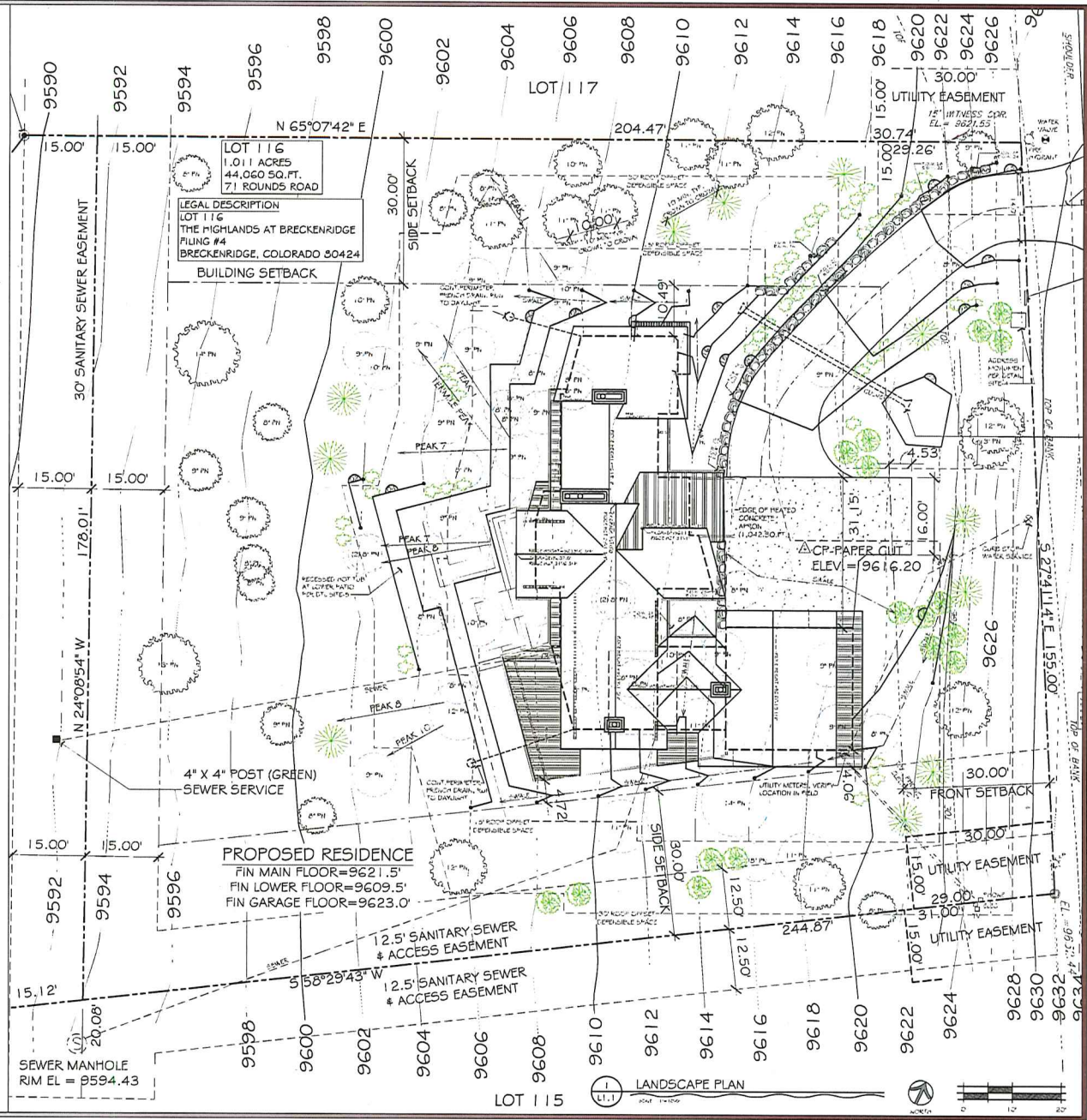
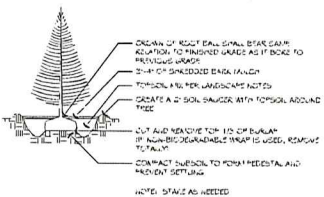
LANDSCAPE NOTES

1. DESIGN CONTROL METHODS CONTROL ALL PLANTS AT THE SITE PER SUBSERVING STATE AND COUNTY REQUIREMENTS BY UTILIZING STAKES OR IN COORDINATION WITH PROPOSED DRAINAGE MATS, SILT TRAPPING, TRAP AND FILTERS, AND OTHER NECESSARY TO MAINTAIN STORMWATER QUALITY FROM THE BUILDING LANDSCAPE.
2. WATER AND SOIL AREAS IN CONTACT WITH BUILDING FOUNDATIONS SHALL BE PROTECTED FROM ROOT PENETRATION AS MUCH AS POSSIBLE BY INSTALLING WATER STOPPING MEMBRANE AS MUCH AS POSSIBLE IN FULL CONTACT WITH FOUNDATION. WATER STOPPING MEMBRANE IS TO EXTEND TO BEYOND DAM LINE.
3. EXISTING FOUNDATION SHALL BE PROTECTED AS MUCH AS POSSIBLE TO MAINTAIN VERTICALITY. PER TOWN OF BRECKENRIDGE CODE SECTION 12.02.02.
4. ALL EXISTING TREES WITHIN 15' OF THE PROPOSED RESIDENCE MUST BE REMOVED TO CREATE DISTANCE SPACE PER TOWN CODE REQUIREMENTS.
5. ALL EXISTING TREES WITHIN 15' OF THE PROPOSED RESIDENCE MUST BE TENDONED PER TOWN CODE REQUIREMENTS.
6. REMOVE ALL EXISTING BEETS AND DISBURSED TREES PER TOWN ORDINANCES AND TOWN CODES REQUIREMENTS.
7. TREE REMOVAL TO BE COORDINATED BETWEEN OWNER, DESIGN CONTRACTOR, HOA, AND TOWN PLANNING STAFF PRIOR TO REMOVAL.
8. ALL WEEDS WITHIN BUILDING ENVELOPE AND WITHIN 40' OF DELIVERED OUTSIDE OF ENVELOPE TO BE REMOVED WITH 100% IN THE HIGH COUNTRY GRASS SEED MIXTURE CONSISTING OF: 25% SPURGE, 15% BLUEGRASS, 15% JARVIS BERMUDA, 15% BEARD GRASS, 15% SHEEP FESCUE, 15% WESTERN WHEATGRASS, 5% BLUE PALMS, 5% BLUE GRASS.
9. WEEDS WITHIN 40' OF ENVELOPE TO BE REMOVED WITH 100% IN THE HIGH COUNTRY GRASS SEED MIXTURE CONSISTING OF: 25% SPURGE, 15% BLUEGRASS, 15% JARVIS BERMUDA, 15% BEARD GRASS, 15% SHEEP FESCUE, 15% WESTERN WHEATGRASS, 5% BLUE PALMS, 5% BLUE GRASS.
10. A SOIL MODIFICATION SYSTEM SHALL BE INSTALLED TO ALL NEW TYPES OF PAVED AND GRASS PER THE TOWN REQUIREMENTS.

DECIDUOUS TREE PLANTING



CONIFEROUS TREE PLANTING



PRELIMINARY - NOT FOR CONSTRUCTION



ALLEN GUERRA ARCHITECTURE
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 FAX: 970.536.5253
 WWW.ALLENGUERRA.COM

PAULL RESIDENCE
 LOT 116 - THE HIGHLANDS AT BRECKENRIDGE FILING #4
 71 ROUNDS ROAD BRECKENRIDGE, SUMMIT COUNTY, COLORADO
 LANDSCAPE PLAN

DATE	DATE
OWNER	31 OCT 2016
OWNER	10 NOV 2016
OWNER	18 NOV 2016
OWNER	22 NOV 2016
PRELIMINARY DSG	28 FEB 2017
PRELIMINARY DSG	10 MAR 2017
PRELIMINARY	20 MAR 2017
PLANNING	2 APR 2017

PROJECT # 117





ALLEN GUERR ARCHITECTURE
 800 666 7446
 2076 HIGHLANDS AT BRECKENRIDGE, COLORADO 80401
 1175 WINDYBROOK DRIVE, BRECKENRIDGE, COLORADO 80424
 719 463-2300
 1175 WINDYBROOK DRIVE, BRECKENRIDGE, COLORADO 80424
 WWW.ALLENGUERR.COM

PAULL RESIDENCE
 LOT 16, THE HIGHLANDS AT BRECKENRIDGE, PHASE 4
 71 ROUNDS ROAD, BRECKENRIDGE, SUMMIT COUNTY, COLORADO
 THE EXTERIOR ELEVATIONS
 (SEE NORTH ELEVATION FOR VERTICAL DIMENSIONS AND FINISH SCHEDULE)

DATE	DATE
OWNER	31 OCT 2014
OWNER	10 NOV 2016
OWNER	18 NOV 2016
OWNER	22 NOV 2016
PRELIMINARY DC	2 FEB 2017
PRELIMINARY DC	10 MAR 2017
PRELIMINARY DC	30 MAR 2017
PLANNING	2 APR 2017

A3.1

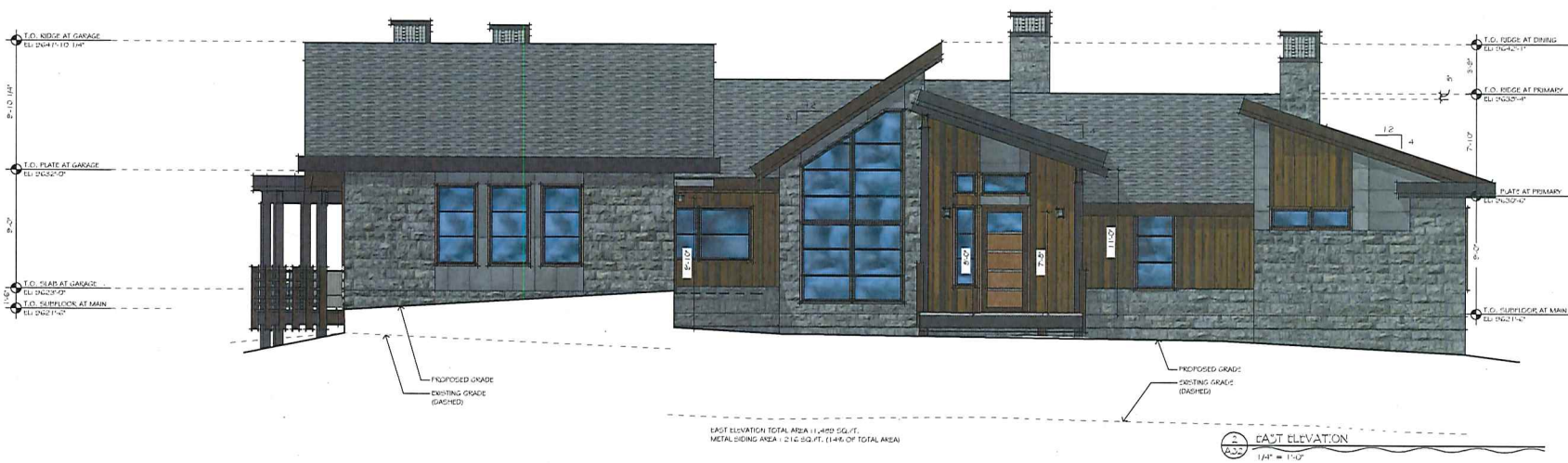




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 www.allenguerra.com

PAUL RESIDENCE
 LOT 16, THE HIGHLANDS AT BRECKENRIDGE, PHASE 4
 71 ROUND ROAD, BRECKENRIDGE, SUMMIT COUNTY, COLORADO
 THE EXTERIOR ELEVATIONS

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DATE	DATE
OWNER	31 OCT 2016
OWNER	10 NOV 2016
OWNER	18 NOV 2016
OWNER	22 NOV 2016
PERMISSIONS DL	2 FEB 2017
PERMISSIONS DL	10 MAR 2017
PERMISSIONS DL	30 MAR 2017
PLANNING	6 APR 2017

PROJECT 1507

A3.2



1 EAST RENDERING
A3.3



2 NORTHEAST RENDERING
A3.3



3 WEST RENDERING
A3.3



4 SOUTHWEST RENDERING
A3.3



ALLEN-GUERRA ARCHITECTURE
PO BOX 1448
BRECKENRIDGE, COLORADO 80424
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BRECKENRIDGE, CO 80424
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PAULL RESIDENCE
LOT 16, THE HIGHLANDS AT BRECKENRIDGE, PHASE 4
71 ROUNDABOUT, BRECKENRIDGE, SUMMIT COUNTY, COLORADO
THE EXTERIOR RENDERINGS

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DATE	DATE
OWNER	31 OCT 2016
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OWNER	22 NOV 2016
PRELIMINARY DC	2 FEB 2017
PRELIMINARY DC	10 MAR 2017
PRELIMINARY DC	20 MAR 2017
PLANNING	6 APR 2017

PROJECT # 007

A3.3

PAULL RESIDENCE

EXTERIOR MATERIALS SCHEDULE - PAGE 1 OF 2
DATE: 25 APRIL 2017

LABEL	ITEM	COLOR	DESCRIPTION
M1	ROOF SHINGLES		GAF TIMBERLINE ULTRA HD 50 YR SHINGLES COLOR "CHARCOAL"
M2	METAL ROOF		US METALS STANDING SEAM STEEL, COLOR - SLATE GRAY NON-REFLECTIVE
M3	FASCIA		RS 2X CEDAR - STAINED WITH SUPER-DECK # 2319 - "ENGLISH WALNUT"
M4	SOFFIT		1X6 S4S CEDAR T&G - STAIN WITH SUPER-DECK #2114 - "COASTAL GRAY"
M5	VERTICAL SIDING		CENTENNIAL WOODS RECLAIMED WOOD "WEATHERED"
M6	DOORS/ WINDOWS		JELD WEN WINDOW COMPANY BLACK LICORICE
M7	METAL SIDING, GUARDRAILS EXPOSED STEEL BM'S		COATED STEEL PANELS "PREWEATHERED GALVALUME" NON-REFLECTIVE
M8	STONE VENEER		GALLEGOS STONE 335G CHOPPED CHARCOAL






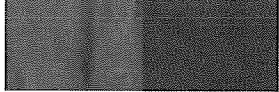



PAULL RESIDENCE

EXTERIOR MATERIALS SCHED

ULE - PAGE 2 OF 2

DATE: 25 APRIL 2017

LABEL	ITEM	COLOR	DESCRIPTION
M9	CAP AT STONE VENEER		GALLEGOS STONE - 3226 VALS QUARTZITE
M10	WINDOWS AND DOORS TRIM		2" X 3" CEDAR - STAINED WITH SUPER-DECK # 2319 - "ENGLISH WALNUT"
M11	EXPOSED POSTS/ BEAMS		TIMBER POSTS AND GLULAM BEAMS STAIN W/ TIMBERDECK # 2114 "COASTAL GREY"
M12	WOOD DECKS		EVERGRAIN COMPOSITE DECKING - COLOR SHALL BE "WEATHERED WOOD" OR EQUAL
M13	HORIZONTAL DECK RAILING		COATED STEEL "PREWEATHERED GALVALUME" NON-REFLECTIVE
M14	GARAGE DOORS		1X & 2X CEDAR PER DETAILS - STAIN W/ SUPERDECK # 2114 "COASTAL GREY"
M15	FLASHING, GUTTERS & DOWNSPOUTS		COLOR SHALL BE DARK GREY

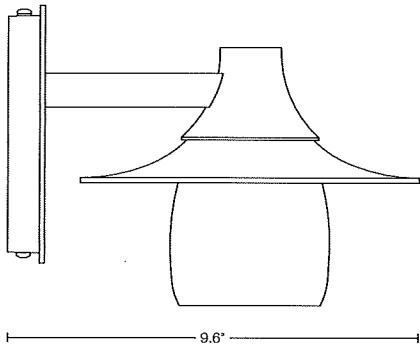
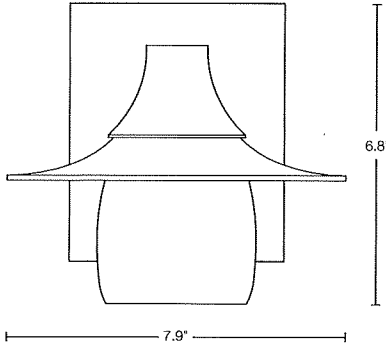
NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, FLASHING, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC,
SHALL BE DARK GREY



306563
HOOD SMALL OUTDOOR SCONCE
As shown: 306563-18

306563
HOOD

Outdoor aluminum dark-sky friendly sconce, small. Patent Pending



Dimensions

Height	6.8"
Width	7.9"
Projection	9.6"
Backplate	5.0" x 6.0"
Mounting Height	3.8"
ADA Compliant?	No

Max Hanging Weight

3 lbs

Incandescent Lamping

Socket: medium
Bulb: A-15, 60 watt max

UL Listing

Outdoor wet

Updated 1.13

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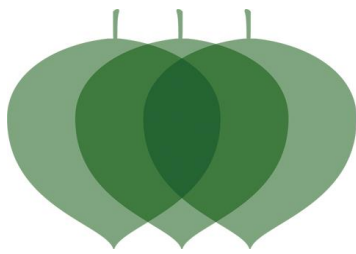
FOR MORE INFORMATION CALL CUSTOMER SERVICE AT 800-826-4766

OR EMAIL CUSTOMERSERVICE@VTFORGE.COM FOR RESIDENTIAL;

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DEEPERGREEN CONSULTING

4/26/2017

Planning Department
Town of Breckenridge
150 Ski Hill Road
Breckenridge, CO 80424

To whom it may concern,

Deeper Green Consulting has been contracted by Allen-Guerra Architecture to provide a HERS Index Score for the Paull Residence at 71 Rounds Road. The project can gain (+3) points for a HERS rating under Policy 33R for energy conservation. This would require a HERS Index Score between 41 and 60.

After reviewing the plans and energy specifications, I believe a score in the mid to high 50's is achievable. Deeper Green will be consulting Allen-Guerra Architecture and the builder prior to and during construction to ensure a score of 60 or below on the HERS Index will be attained. A projected HERS Certificate will be ready for the Planning Commission meeting on 5/2/17.

Please feel free to contact me with any questions or concerns you may have concerning this project.

Sincerely,

Matt Wright
Deeper Green Consulting
970-389-2448
matt@deepergreenconsulting.com



2017 - Class C Single Family Development Staff Report

Project Title:	Pilon Residence	
Proposal:	Build a new 8,100 Sq. Ft. Single Family Residence with 6 bedrooms and 7 bathrooms	
Project Name and PC#:	Single Family Residence at 206 Stillson Placer Terrace	PL-2017-0101
Project Manager:	Chapin LaChance, Planner II	
Date of Report:	April 26, 2017	
Property Owner:	Jeff & MC Pilon	
Agent:	Ben Henson with Allen-Guerra Architecture	
Proposed Use:	Single Family Residence	
Address:	206 Stillson Placer Terrace	
Legal Description:	Gold Flake Subdivision, Filing 3, Lot 2	
Area of Site in Square Feet:	91,517 sq. ft.	2.10 acres
Existing Site Conditions:	The lot is mostly vegetated with Lodgepole Pine up to 13" in diameter. The lot slopes downward from west to east, at an average grade of approximately 14%. There is an existing 20' Drainage Easement that crosses the lot from the southwest to the northeast. A 25' Public Trail Easement exists along the eastern property line. There is also an existing 40' Public Trail and Drainage Easement along the southwestern property line (shared with Lot 3), through which the existing Bonanza Trail switchbacks. A recent survey shows that portions of the Bonanza Trail are outside of the 40' Public Trail and Drainage Easement.	
Areas of building:	Proposed Square Footage	
Lower Level:	2,996 sq. ft.	
Main Level:	3,372 sq. ft.	
Upper Level:	696 sq. ft.	
Accessory Apartment:		
Total Density:	7,064 sq. ft.	
Garage:	1,036 sq. ft.	
Total:	8,100 sq. ft.	
Code Policies (Policy #)		
Land Use District (2A/2R):	LUD:1	Residential, Recreation
Density (3A/3R):	7,500 sq. ft. (per plat note #16)	Proposed: 7,064 sq. ft.
Mass (4R):	Allowed: 9,000 sq. ft.	Proposed: 8,100 sq. ft.
F.A.R.:	1:11.30 FAR	
No. of Main Residence Bedrooms:	6 bedrooms	
No. of Main Residence Bathrooms:	7.0 bathrooms	
Height (6A/6R):*	34.3 feet overall	
*Max height of 35' for single family outside Conservation District unless otherwise stated on the recorded plat		
Platted Building/Disturbance /Footprint Envelope?	Disturbance Envelope	
Site and Environmental Design (7R):	Staff recommends negative four (-4) points for the location of the proposed garage, which creates a long driveway and excessive site disturbance. Staff also recommends negative two (-2) points for retaining walls proposed in excess of four feet in height.	
Recreation Facilities (20R):	<p>Precedent: Huron Landing (PL-2015-0498; Parcel E-1, Industrial Area Sub & Government Lot 45, 30-6-77, 0143 Huron Road)</p> <p>An existing, heavily utilized trail connection from Huron Road to the Upper / Lower Flume Trail was already in existence crossing the eastern portion of the Huron Landing site, yet did not have a formalized trail easement. The Planning Commission awarded positive three (+3) points for the dedication of a trail easement</p>	
Lot Coverage/Open Space (21R):		
Drip line of Building/Non-Permeable Sq. Ft.:	7,175 sq. ft.	7.84%
Hard Surface/Non-Permeable Sq. Ft.:	4,835 sq. ft.	5.28%
Open Space / Permeable:	79,507 sq. ft.	86.88%
Snowstack (13A/13R):		
Required Square Footage:	1,209 sq. ft.	25% of paved surfaces is required

Proposed Square Footage:	1,209 sq. ft.	(25.01% of paved surfaces)
Energy Conservation (33A/33R):		
Outdoor heated space:	YES	1,111 sq. ft.
HERS Index:	41-60	
	Staff recommends negative three (-3) points under Policy 33R for excessive energy use by the heated driveway, and positive three (+3) points for the applicant achieving a HERS Index of 41-60.	
Parking (18A/18/R):		
Required:	2 spaces	
Proposed:	5 spaces	
Fireplaces (30A/30R):		
Number of Gas Fired:	4 Gas Fired	
No. of EPA Phase II Wood Burning:	0 Wood Burning	
Architectural Compatibility (5/A & 5/R):	The architecture and finishes match that of the other homes in the neighborhood.	
Exterior Materials and Colors:	<p>Roofing: standing seam metal (Color: Dark Bronze) and composite multi-width shake shingles (Color: "Mountain")</p> <p>Fascia: 2x Cedar (Color: "Cape Blackwood" stain)</p> <p>Soffit: 1x tongue and groove cedar (Color: "Light Walnut" stain)</p> <p>Horizontal siding: 2 x 12 hand hewn Cedar (Color: "Cape Blackwood" stain)</p> <p>Chinking: log jam chinking (Color: "Mortar White")</p> <p>Vertical Siding: 2x board by board (Color: "Western")</p> <p>Door and window cladding: aluminum clad wood (Color: "Anodized Extra Dark Bronze")</p> <p>Door and window trim: 3x & 4x Cedar (Color: "Cape Blackwood" stain)</p> <p>Wood decking: 2x Brazilian hardwood (Ipe) (Color: Natural oil seal)</p> <p>Chimney cap: 6" buff sandstone cap with chiseled edge</p> <p>Stone veneer: Siloam stone sandstone, full veneer dry stack</p> <p>Stone veneer cap: 3" buff sandstone cap with chiseled edge per details</p> <p>Exposed posts/beams: hand hewn Douglas Fir timber posts and beams per details (Color: "Cape Blackwood" stain)</p> <p>Deck gaurdrails: custom steel and wood per details</p> <p>Garage doors: Cedar cladding with 2x reclaimed at vertical, per details (Color: "Cape Blackwood" stain)</p> <p>Beam end flashing, exposed steel, etc.: custom steel per details (Color: "Dark Bronze")</p> <p>Staff recommends positive four (+4) points for an above average landscape plan.</p> <p>Precedent: <u>Three Fourteen Peerless Residence (314 Peerless Dr.; PC#2014057)</u> Aspen: 16 @ 3" caliper Spruce: 9 @ 10' - 14' Bristlecone Pine: 5 @ 10-12' Shrubs: 22 @ 5 gallon</p> <p><u>Summit Premier Residence (284 Timber Trail Rd.; PC#2014065)</u> Aspen: 31 @ 2.5" caliper Spruce: 16 @ 8' - 12' Shrubs: 62 @ 5 gal</p>	
Landscaping (22A/22R):		
	Planting Type	Quantity
		Size
	Quaking Aspen	33
		3" caliper (50% multi-stem) minimum
	Colorado Spruce	15
		8 @ 12' 7 @ 14'
	Alpine Currant and Woods Rose	52
		5 gal.
Defensible Space (22A):	Complies	
Drainage (27A/27R):	Positive drainage away from building	
Driveway Slope:	8.00%	
Point Analysis (Sec. 9-1-17-3):	This application has met all Absolute Policies. Staff recommends negative three (-3) points under Policy 33R for excessive energy use by the heated driveway. Staff also recommends negative four (-4) points under Policy 7R for the location of the garage which creates excessive driveway, as well as negative two (-2) points for retaining walls proposed in excess of four feet. Staff recommends positive three (+3) points under Policy 20R for providing additional Public Trail easement on site, positive four (+4) points under Policy 22R for an above average landscape plan, and positive three (+3) points under Policy 33R for a HERS Index of 41-60.	
Staff Action:	Staff has approved the Pilon Residence, PL-2017-0101 showing a passing score of one (1) point and with the attached Findings and Conditions.	
	Prior to Issuance of a Building Permit: 13. Applicant shall provide the Town with a projected HERS Certificate prepared by a registered design professional estimating a HERS Index of 60 or less.	
	Prior to Issuance of a Certificate of Occupancy: 25. Applicant shall provide the Town with a final HERS Index energy analysis prepared by a registered design professional confirming a HERS Index of 60 or less.	
Additional Conditions of Approval:	26. Applicant shall submit and receive Town approval of a plat showing the modified Public Trail and Drainage Easement, as shown on the approved site plan, and shall record the plat with the Summit County Clerk and Recorder.	
	31. Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.	

Final Hearing Impact Analysis				
Project:	Pilon Residence	Positive	Points	+10
PC#:	PL-2017-0101			
Date:	4/26/2017	Negative	Points	- 9
Staff:	Chapin LaChance, Planner II			
		Total Allocation:		+1
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)	- 2	Staff recommends negative two (-2) points for retaining walls proposed in excess of four feet.
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)	- 4	Staff recommends negative four (-4) points for the location of the garage which creates excessive driveway.
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x (-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		

18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)	+3	Staff recommends positive three (+3) points for providing additional Public Trail Easement on site.
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)	+4	Staff recommends positive four (+4) points for an above average landscape plan.
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)	- 3	Staff recommends negative three (-3) points for excessive energy use by the heated driveway.
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings		+3	Staff recommends positive three (+3) points under Policy 33R for a HERS Index of 41-60.
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		

33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

TOWN OF BRECKENRIDGE

Pilon Residence
Gold Flake Subdivision, Filing 3, Lot 2
206 Stillson Placer Terrace
PL-2017-0101

STAFF RECOMMENDATION: Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 26, 2017** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 2, 2017** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **November 9, 2018**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Driveway culverts shall be 18-inch heavy-duty corrugated polyethylene pipe with flared end sections and a minimum of 12 inches of cover over the pipe. Applicant shall be responsible for any grading necessary to allow the drainage ditch to flow unobstructed to and from the culvert.

7. At the point where the driveway opening ties into the road, the driveway shall continue for five feet at the same cross slope grade as the road before sloping to the residence. This is to prevent snowplow equipment from damaging the new driveway pavement.
8. Applicant shall field locate utility service lines to avoid existing trees.
9. An improvement location certificate of the height of the top of the foundation wall and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.
10. At no time shall site disturbance extend beyond the limits of the platted building/site disturbance envelope, including building excavation, and access for equipment necessary to construct the residence.
11. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
12. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

- 13. Applicant shall provide the Town with a projected HERS Certificate prepared by a registered design professional estimating a HERS Index of 60 or less.**
14. Applicant shall submit proof of ownership of the project site.
15. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
16. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height.
17. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
18. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
19. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
20. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

21. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town's water system, including hydrants, prior to any construction with wood. In the event the water system is installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.
22. Applicant shall install construction fencing and erosion control measures at the 25-foot no-disturbance setback to streams and wetlands in a manner acceptable to the Town Engineer.
23. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
24. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

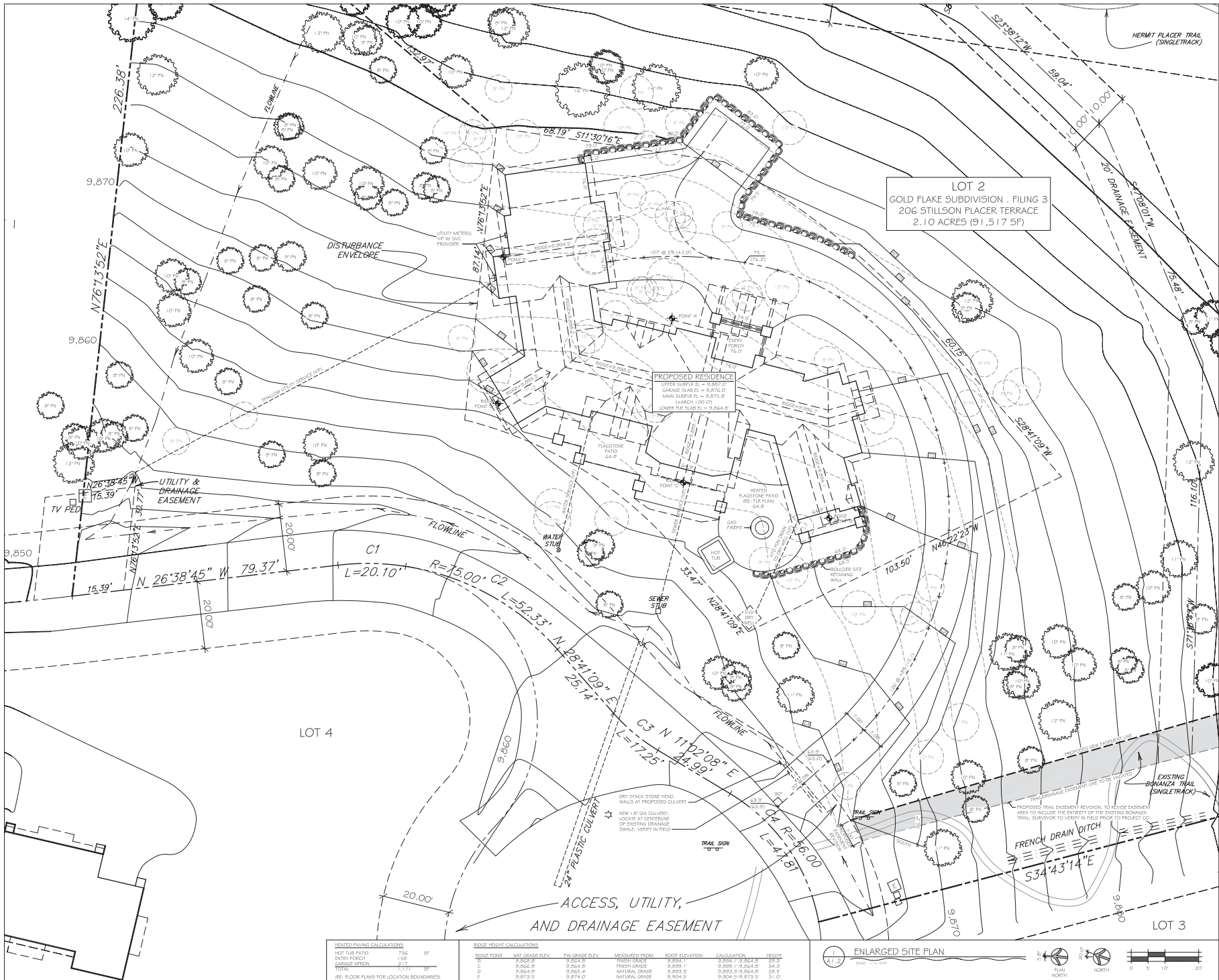
PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

25. **Applicant shall provide the Town with a final HERS Index energy analysis prepared by a registered design professional confirming a HERS Index of 60 or less.**
26. **Applicant shall submit and receive Town approval of a plat showing the modified Public Trail and Drainage Easement, as shown on the approved site plan, and shall record the plat with the Summit County Clerk and Recorder.**
27. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
28. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
29. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
30. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
31. **Applicant shall execute and record with the Summit County Clerk and Recorder a covenant and agreement running with the land, in a form acceptable to the Town Attorney, requiring compliance in perpetuity with the approved landscape plan for the property. Applicant shall be responsible for payment of recording fees to the Summit County Clerk and Recorder.**
32. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
33. Applicant shall screen all utilities.
34. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
35. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this

condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.

36. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
37. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
38. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
39. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)



LOT 2
GOLD FLAKE SUBDIVISION, FILING 3
206 STILLSON PLACER TERRACE
2.10 ACRES (91,517.9F)

PROPOSED RESIDENCE

UTILITY METER EL. = 9,876.0
GARAGE SLAB EL. = 9,876.0
BASE SLURB EL. = 9,875.0
GARAGE 100'-0" EL. = 9,864.0
LOWER TIE 20'-0" EL. = 9,864.0

HEATED RAISING CALCULATIONS

HOT TUB PATIO	794	SF
ENTRY PORCH	198	SF
GARAGE AREA	212	SF
TOTAL	1,204	SF

REF: FLAGOR PLANS FOR LOCATION BOUNDARIES

ROOF HEIGHT CALCULATIONS

ROOF POINT	VERT. GRADE (F)	FIN. GRADE (F)	MIN. ROOF RISE	MIN. ROOF RISE	ROOF FIN. ELEVATION	HEIGHT
A	9,862.0	9,864.0	2'-0"	2'-0"	9,864.0	2'-0"
B	9,864.0	9,864.0	0'-0"	0'-0"	9,864.0	0'-0"
C	9,864.0	9,865.4	1'-4"	1'-4"	9,865.4	1'-4"
D	9,864.0	9,865.4	1'-4"	1'-4"	9,865.4	1'-4"
E	9,875.0	9,874.0	NATURAL GRADE	NATURAL GRADE	9,874.0	0'-0"

ENLARGED SITE PLAN
SCALE: 1" = 10'-0"

PROJECT: 206

DATE: 23 APR 2017

PLANNING: 7 APR 2017

ISSUE: 23 APR 2017

PROJECT: 206



ALLEN GUERRA ARCHITECTURE
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PRELIMINARY - NOT FOR CONSTRUCTION

PILON RESIDENCE
LOT 2, GOLD FLAKE SUBDIVISION, FILING #3, 206 STILLSON PLACER TERRACE
BRECKENRIDGE, COLORADO, 80424

ENLARGED SITE PLAN

PROJECT: 206

DATE: 23 APR 2017

PLANNING: 7 APR 2017

ISSUE: 23 APR 2017

PROJECT: 206

AI.2

CONIFEROUS TREE PLANTING



- CROWN OF ROOT BALL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE
- 3"-4" OF SHREDDED BARK MULCH
- TOPSOIL MIX PER LANDSCAPE NOTES
- CREATE A 6" SOIL SAUCER WITH TOPSOIL AROUND TREE
- CUT AND REMOVE TOP 1/3 OF BURLAP IF NON-BIODEGRADABLE WRAP IS USED, REMOVE TOTALLY
- COMPACT SUBSOIL TO FORM PEDESTAL AND PREVENT SETTLING
- NOTE: STAKE AS NEEDED

DECIDUOUS TREE PLANTING



- STAKE ALL DECIDUOUS TREES W/ 5" STEEL 1 STAKES
- WIRE AND FABRIC TREE RING
- DIAMETER OF EXCAVATION TO BE 12" MINIMUM BEYOND THE SPREAD OF THE ROOTS
- 3"-4" OF SHREDDED BARK MULCH
- TOPSOIL MIX PER LANDSCAPE NOTES
- PAINT MIX AND ADD WATER IN LAYERS OF 6" CREATE A 6" SOIL SAUCER WITH TOPSOIL AROUND TREE
- CLEANLY PRUNE ALL DAMAGED ROOT ENDS

LANDSCAPE NOTES

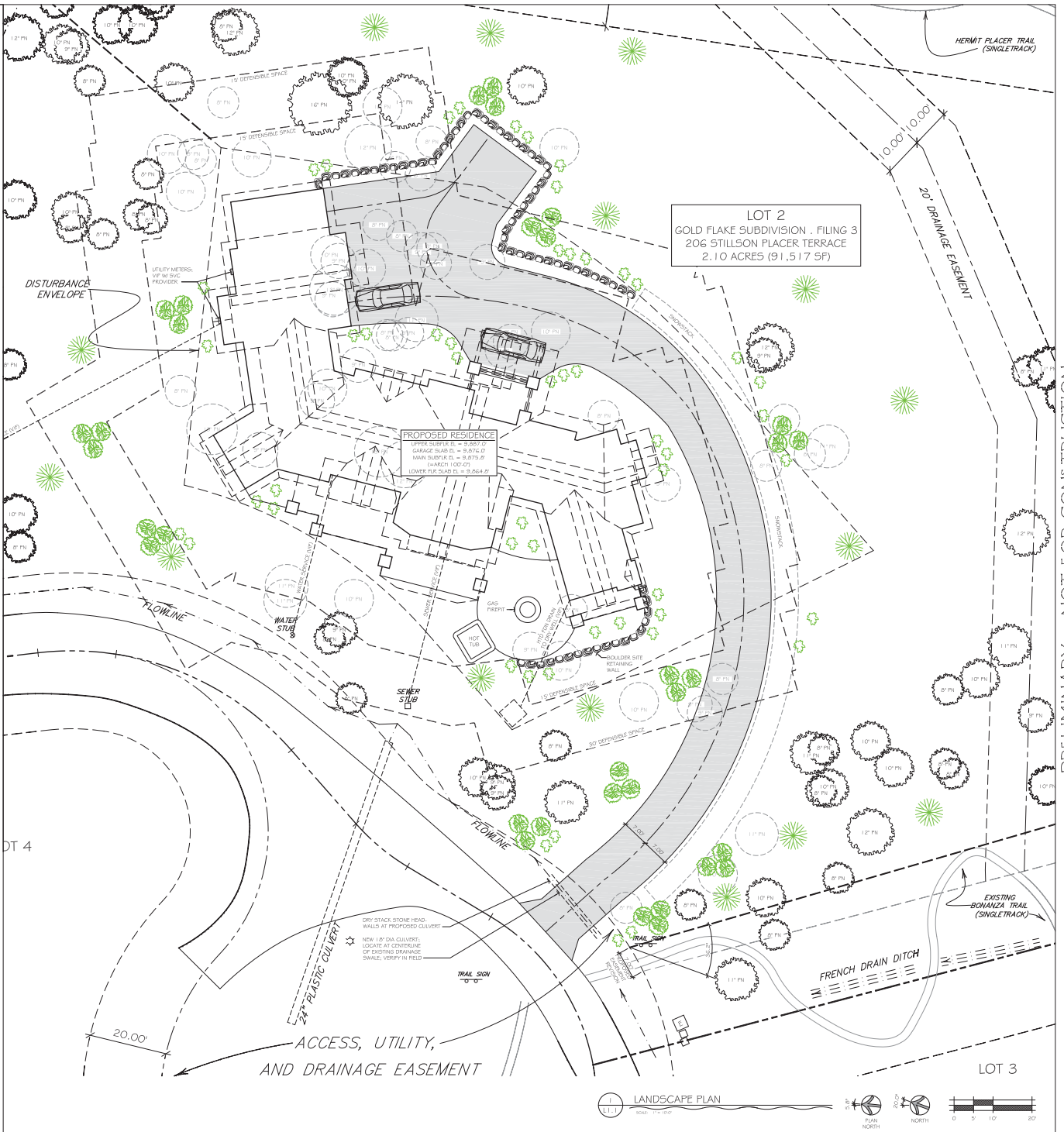
- EROSION CONTROL METHODS: CONTROL ALL RUNOFF WITHIN SITE PER SUBDIVISION STANDARDS AND/OR COUNTY REQUIREMENTS BY UTILIZING, SINGLE OR IN COMBINATION, NON-RESITIVE DRAINAGE MATS, SILT FENCING, DIVERSION SWALES, AND DICES AS NECESSARY TO TRAP, INTERCEPT, AND DIVERT RUNOFF WITHIN BUILDING ENVELOPE.
- NATIVE LANDSCAPING AREA IN CONTACT WITH BUILDING WILL BE PROTECTED FROM ROOF RUNOFF AS SHOWN IN WALL SECTION, RIVER ROCK PAVEMENT IS TO EXTEND AT LEAST 2' BEYOND DWP LINE.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PROMOTE XERISCAPING - PER TOWN OF BRECKENRIDGE CODE SECTION 2605 C3.
- ALL EXISTING TREES WITHIN 15' OF THE PROPOSED RESIDENCE MUST BE REMOVED TO CREATE DEFENSIBLE SPACE. PER TOWN CODE REQUIREMENTS.
- ALL EXISTING TREES WITHIN 15'-75' OF THE PROPOSED RESIDENCE MUST BE THINNEO, PER TOWN CODE REQUIREMENTS.
- REMOVE ALL DISTING BOTTLE KILL AND DISEASED TREES, PER SUBDIVISION GUIDELINES AND/OR TOWN CODE REQUIREMENTS.
- TREE REMOVAL TO BE COORDINATED BETWEEN OWNER, GENERAL CONTRACTOR, ISA, AND TOWN PLANNING STAFF. PRIOR TO REMOVAL.
- ALL AREAS WITHIN BUILDING ENVELOPE AND WITHIN 40' OF DRIVEWAY OUTSIDE OF ENVELOPE TO BE RE-VEGETATED WITH 100% NATIVE HIGH COUNTRY GRASS SEED MIXTURE (CONDITIONS OF IOR SIMILAR):
 - 20% SLIPPER WITGRASS
 - 10% CANBY BLUEGRASS
 - 10% BIG BLUEGRASS
 - 10% SHARP FESCUE
 - 10% SHEEP FESCUE
 - 10% MICHXIN WITGRASS
 - 5% BLUE WEDGEE
 - 5% TUFTED FENNELGRASS
- ALONG WITH A MIXTURE OF PERENNIALS & GROUND COVER, PER SUMMIT COUNTY DEVELOPMENT CODE
- A DWP DRAINAGE SYSTEM SHALL BE INSTALLED TO ALL NEW TYPES OF TREES AND SHRUBS, AS WELL AS ALL NEW SOI AREAS, PER THE TOWN AND SUBDIVISION REQUIREMENTS.
- REFER TO PROJECT MANUAL AND SPECIFICATIONS FOR ADDITIONAL SITE WORK, LANDSCAPING, AND PAVING DETAILS.

EXISTING TREE LEGEND

SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	92	RIBES ALPINUM & ROSA WOODSII	ALPINE CURRANT & WOODS ROSE	5 GAL
	33	POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL (50% MULTI-STEM)
	15	PICEA PUNGENS	COLORADO SPRUCE	(8) 12 (7) 14
		NATIVE HIGH COUNTRY GRASS SEED MIX (SEE LANDSCAPE NOTES)		



PRELIMINARY - NOT FOR CONSTRUCTION



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PILON RESIDENCE
LOT 2, GOLD FLAKE SUBDIVISION, FILING #3, 206 STILLSON PLACER TERRACE
BRECKENRIDGE, COLORADO, 80424

PROJECT # 2400

DATE: 7 APR 2017
PLANNING REVIEW: 26 APR 2017

DATE: 7 APR 2017
PLANNING REVIEW: 26 APR 2017

PROJECT # 2400

L.I.I

112' 1/4"

TOP OF FIN FLOOR AT UPPER
FIN. E.L. 111'-4" 1/2"

11' 11' 1/2"

TOP OF FIN FLOOR AT MAIN
FIN. E.L. 100'-2" 1/4"
(+USGS 9,875.8)

11' 1' 1/2"

TOP OF FIN FLOOR AT LOWER
FIN. E.L. 89'-0" 3/4"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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PILON RESIDENCE
LOT 2, GOLD FLAKE SUBDIVISION, FILING #3, 206 STILLSON PLACER TERRACE
BRECKENRIDGE, COLORADO, 80424

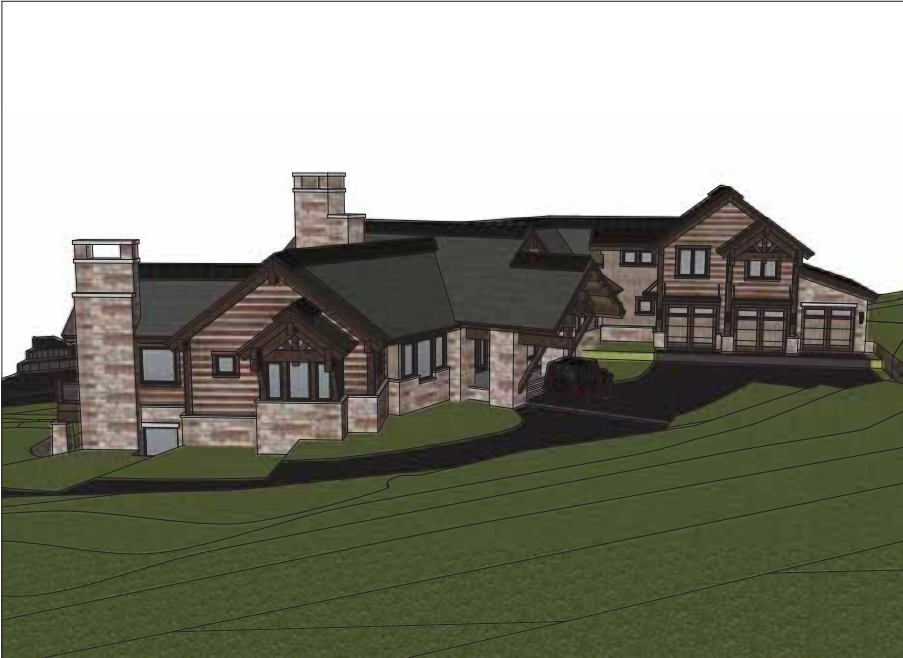
TITLE
EXTERIOR ELEVATIONS

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ISSUE	DATE
SCHEMATIC	1/28/22

PROJECT #667

A3.3



 **SOUTHEAST VIEW**
SCALE: NTS



 **EAST VIEW**
SCALE: NTS



 **NORTHEAST VIEW**
SCALE: NTS



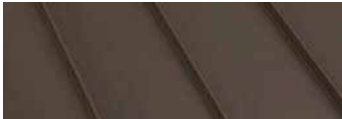
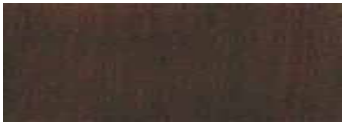
 **NORTH VIEW**
SCALE: NTS

ISSUE	DATE
SCHEMATIC	10/20/22
DESIGN DEVELOPMENT	
PERMITTING	
CONSTRUCTION	
POST-CONSTRUCTION	
PROJECT #667	

PILON RESIDENCE

EXTERIOR MATERIALS SCHEDULE

DATE: 7 APRIL 2017

LABEL	ITEM	COLOR	DESCRIPTION
M1	ROOF - SHINGLE		DAVINCI COMPOSITE SHINGLES MULTI-WIDTH SHAKE: 'MOUNTAIN'
M2	ROOF - METAL		SNAP LOCK STANDING SEAM: KYNAR 'DARK BRONZE'
M3	FASCIA		2x CEDAR PER DETAILS: SW SUPERDECK STAIN '2320 CAPE BLACKWOOD'
M4	SOFFIT		1x T&G CEDAR PER DETAILS: DALYS STAIN '191 LIGHT WALNUT'
M5	HORIZONTAL SIDING		2x12 HAND HEWN CEDAR: SW SUPERDECK STAIN '2320 CAPE BLACKWOOD & 25% THINNER'
M6	CHINKING		LOG JAM CHINKING: 'MORTAR WHITE'
M7	VERTICAL SIDING		2x BOARD BY BOARD MONTANA TIMBER PRODUCTS RANCHWOOD 'WESTERN'
M8	DOOR & WINDOW CLADDING		JELD-WEN EPIC VUE ALUMINUM CLAD WOOD: 'ANODIZED EXTRA DARK BRONZE'
M9	DOOR & WINDOW TRIM		3x & 4x CEDAR PER DETAILS: SW SUPERDECK STAIN '2320 CAPE BLACKWOOD'

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, TYPICAL FLASHING, DOWNSPOUTS, GUTTERS, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC, SHALL BE KYNAR 'DARK BRONZE.

ALL MATERIALS TO HAVE MATTE (NONREFLECTIVE) FINISH.

PILON RESIDENCE

EXTERIOR MATERIALS SCHEDULE

DATE: 7 APRIL 2017

LABEL	ITEM	COLOR	DESCRIPTION
M10	WOOD DECKING		2x BRAZILIAN HARDWOOD (IPE): NATURAL OIL SEALER
M11	CHIMNEY CAP		6" BUFF SANDSTONE CAP W/ CHISELED EDGE PER DETAILS
M12	STONE VENEER		SILOAM STONE SANDSTONE FULL VENEER DRY STACK
M13	STONE VENEER CAP		3" BUFF SANDSTONE CAP W/ CHISELED EDGE PER DETAILS
M14	EXPOSED POSTS/BEAMS		HAND HEWN DF TIMBER POSTS & BEAMS PER DTLS; SW SUPERDECK 'CAPE BLKWOOD & 25 % THINNER'
M15	DECK GUARDRAILS		CUSTOM STEEL & WOOD PER DETAILS: CEDAR STAIN 'CAPE BLKWOOD W/ THINNER' & POWDER COATED STL KYNAR 'MATTE BLACK'
M16	GARAGE DOORS		CEDAR CLAD, PER DETAILS; STAIN W/ SW SUPERDECK 'CAPE BLACKWOOD AT TRIM & 2x RECLAIMED AT VERTICAL
M17	BEAM END FLASHING, EXPOSED STEEL, ETC		CUSTOM STEEL PER DETAILS: KYNAR 'DARK BRONZE'

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, TYPICAL FLASHING, DOWNSPOUTS, GUTTERS, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC, SHALL BE KYNAR 'DARK BRONZE'. ALL MATERIALS TO HAVE MATTE (NON-REFLECTIVE) FINISH.

PILON RESIDENCE

LOT 2, GOLD FLAKE SUBDIVISION, FILING #3
206 STILLSON PLACER TERRACE
BRECKENRIDGE, COLORADO



MODEL # OD2209
W/ CUSTOM INSERT TO MEET DARK SKY REQUIREMENTS (SEE BELOW)

MANUFACTURER: HAMMERTON

DIMENSIONS: 22" HEIGHT; 11" WIDTH; 13" DEPTH

FINISH & GLASS: FLAT BRONZE W/ ACRYLIC-DARK W/O SHEEN LENS
& PERMANENTLY WELDED OPAQUE INSERT TO MEET DARK SKY ORDINANCE
(LIGHT EMITS DOWNWARD FROM FIXTURE ONLY)

MAX WATTAGE: 60 WATTS

Planning Commission Staff Report

Subject: Lincoln Grill
(Class A Development, Final Hearing; PL-2017-0030)

Proposal: The proposal is for a two-story building with a basement containing a total of 2,678 sq. ft. of restaurant space.

Project Manager: Chris Kulick, AICP

Date: April 25, 2017 (for the meeting of May 2, 2017)

Applicant/Owner: GHW Associates – Jon Gunson

Agent: Jon Gunson, Custom Mountain Architecture

Address: 112 Lincoln Avenue

Legal Description: Lot 41, Bartlett and Shock Subdivision

Lot 5 Site Area: 0.061 acres (2,678 sq. ft.)

Land Use District: 18.2: 1:1 FAR, Commercial and 20 UPA, Residential

Historic District: Core Commercial - Character Area #6

Site Conditions: The property slopes downhill towards the southwest at a rate of about 8%. The site is vacant and a portion of the Courthouse Parking lot encroaches onto the north portion of the site (378 sq. ft.). Native vegetation covers the rest of the site (2,300 sq. ft.). The Town sidewalk encroaches into the south side of the lot. There is a platted pedestrian easement along the north and east sides on the property that upon construction of a walkway will provide access from Lincoln Avenue to the Courthouse Lot. Additionally there is a parking easement located on the northern edge of the property that is dedicated to the Town and County. This easement credits the property for 3 spaces. A Town light pole and parking meter is located on the property. They will need to be moved to Town property with this application.

Adjacent Uses: North: Courthouse Parking Lot West: Salt Creek Saloon
South: Lincoln Avenue East: Blue Front Bakery

Density: Allowed (1:1 FAR, Commercial): 2,678 sq. ft.
Proposed density: 2,678 sq. ft.

Above Ground: In Character District 6: Core Commercial, above ground density is not restricted.

Mass: Allowed (No mass bonus for commercial): 2,678 sq. ft.
Proposed mass: 1,888 sq. ft.

Height (measured to the top of the parapet):

Recommended: 26' (30' max)
Proposed: 23'-10 3/4"

Parking:

Required:
Restaurant Use (3.5/1,000 SF): 9.373 spaces
Proposed (on-site): 3.00 spaces (per Mutual Easement)
To be purchased in Parking Service Area: 6.373 spaces

Setbacks:

Required (Absolute/ Relative): 0'

Proposed:
Front: 1' 6"
Sides: 2' and 0"
Back: 23"

Changes Since March 21, 2017
Preliminary Hearing

1. Landscaping – the applicant has revised the landscape plan to have a buffer of spruce trees behind the building to provide screening from the adjacent parking lot.
2. Colored Architectural Rendering – at the request of the Commission, the applicant has provided a detailed colored rendering.
3. Full Size Plans – the applicant has provided full size plans for the meeting.

Item History

The Lincoln Grill was reviewed by the Planning Commission as a Work Session on January 17, 2017 and as a Preliminary Hearing on March 21, 2017. At the preliminary hearing, staff received direction on several policies. Below is a summary of the policies that achieved a majority consensus and remain unchanged from the previous preliminary hearing. These items include:

- **Policy 21/R Open Space:** Negative three (-3) points because only 6.9% of the site (195 sq. ft.) is designed as open space.
- **Policy 16/R Internal Circulation:** Positive three (+3) points for providing a public mid-block crossing.
- **Policy 18/R Parking:** The proposal shows 3 onsite parking spaces. The remaining required parking (6.373 spaces) will be purchased per the Parking Service Area requirements. This is a condition of approval. Additionally, positive one (+1) point was recommended by the Commission because the onsite parking is accessed from shared access points.
- **Land Use (Policies 2/A & 2/R):** Land Use District 18-2 suggests both residential and commercial uses. The applicant intends to have the building serve as a restaurant.
- **Placement of Structures (9/A & 9/R):** As a commercial use, zero setbacks are allowed. The submitted plans show setbacks of 1'-6" from the front property line facing Lincoln Avenue, the building being attached to the Salt Creek Restaurant on the Westside, 2' from the east property line

facing the pedestrian easement and 22' from the north property line bordering the Courthouse Parking Lot.

- **Snow Removal and Storage (13/A & 13/R):** Snow storage meets 25% requirement.
- **Refuse (15/R):** Refuse for this development will be accommodated by an existing waste facility located behind the Town Square Mall that is shared by the surrounding uses (Town Square Mall, and the Blue Front Bakery tenants).
- **Drainage (27/A & 27R):** Drainage for the site will be handled through an existing storm sewer line that is located within the pedestrian easement. The applicant paid for this drainage improvement in 2008.
- **Social Community / Employee Housing (24/R):** Since the development is less than 5,000 square feet in density, no employee housing is required.
- **Utilities Infrastructure (26/A & 26/R; 28/A):** All necessary utilities are located in the adjacent ROWs.

Staff Comments

The Social Community (24/A):

B. Historic And Conservation District: Within the conservation district, which area contains the historic district (see special areas map) substantial compliance with both the design standards contained in the "handbook of design standards" and all specific individual standards for the transition or character area within which the project is located is required to promote the educational, cultural, economic and general welfare of the community through the protection, enhancement and use of the district structures, sites and objects significant to its history, architectural and cultural values.

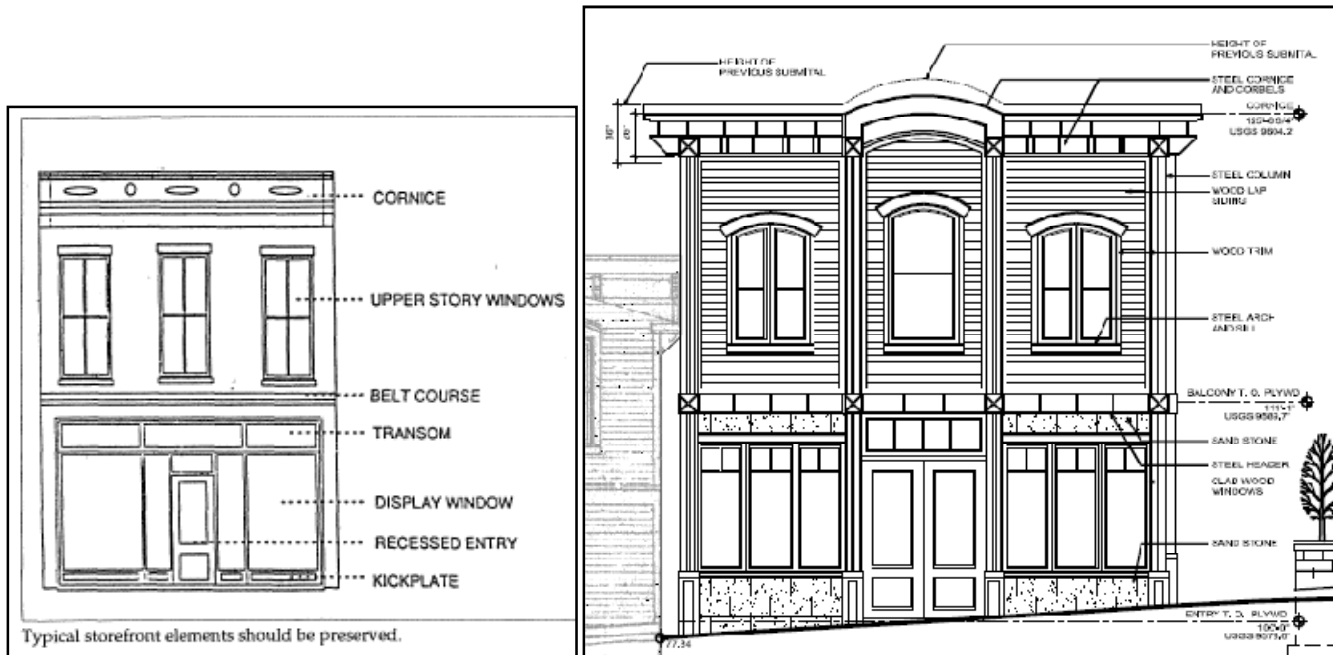
Since this policy addresses the design criteria found in the Handbook of Design Standards for the Historic and Conservation Districts along with the individual Character Areas, discussion of all historic details will be reviewed under this policy and are to follow:

Elevations: The typical building details for this Character Area included large display windows at the street level with simple smaller rectangular windows above. Historically, the upper level of a building exhibited more solid than the typical solid-to-void ratio we see in other Districts.

Section 4.3 of the Handbook of Design Standards for the Historic and Conservation Districts describes the specific building components found on typical historic commercial buildings found in Breckenridge. This is exhibited in the illustration below and compared with the proposed front facade:

Illustration From Handbook

Proposed Front Facade



The proposed building shows a recessed entrance store-front design, with storefront windows, sandstone kick plate and sandstone above transom windows on the lower level with wood lap siding with arched windows on the second story. At the Preliminary Hearing the Commission found the design to abide with the Handbook of Design Standards. The design is unchanged from the design the Commission reviewed at the Preliminary Hearing. Staff has no concerns with the form.

Building Materials: The design features wood 4” reveal lap siding as the primary second story building material, and sandstone and glass on the lower level to comply with the design standards of the Core Commercial Character Area.

Design Standard 225 states “*Maintain the present balance of building materials found in the Core Commercial Area.*” and further emphasizes;

- “*Use painted wood lap siding as the primary building material. An exposed lap dimension of approximately 4 inches is appropriate. This helps establish a sense of scale for buildings similar to that found historically.*”
- “*Masonry (brick or stone) may only be considered as an accent material. Stone indigenous to the mountains around Breckenridge may be considered.*”

At the Preliminary Hearing, the Commission achieved consensus that the proposed primary materials were in compliance with Design Standard 225 (Mr. Giller & Mrs. Leidal were supportive of how the primary materials complied with Design Standard 225, however they did not believe the metal ornamentation complied).

Windows: The windows in the present design are unchanged from the Preliminary Hearing.

Priority Design Standard 95 states “*The proportions of window and door openings should be similar to historic buildings in the area*” and that “*this is an important design standard.*” Priority Design Standard 96

further emphasizes the importance of window proportions, *“Use a ratio of solid to void that is similar to those found on historic and supporting buildings.”* The importance of windows is again repeated in Priority Design Standard 222, *“Maintain the alignment of upper story windows.”*

At the Preliminary Hearing the Commissioners present supported the design of the second story elevation and determined the design abided with Priority Design Standards 95, 96 and 222 due to their historic profile and narrow height to width ratio.

The elevations also show arched upper level window heads, rather than a simple rectangle. Historic arched windows do exist in Town, but simple rectangular windows are more prevalent on upper levels of commercial buildings. Arched windows are seen on some historic buildings such as the Breckenridge Grand Vacations Community Center and new construction on the Centennial Bank Building next door (116 Lincoln Ave.) and the Rounds building (137 S. Main St.).

Design Standard 223 states: *“Maintain the pattern created by upper story windows.”*

- *“Windows of a similar size and shape to those found historically should be used, and other façade elements that establish the same pattern should be incorporated.”*

Since this is new construction and there is established precedent, both from historic buildings and new construction, the Commission found the arched windows on the second story acceptable at the Preliminary Hearing because they adhere to recommended solid to void ratios.

Ornament and Detail: The cornice and trim detail of the building is unchanged from the preliminary hearing. Specifically, the proposed cornice is made of metal, has a height of 24” and the cornice openings are 10” H x 14” W (140 sq. in.). The applicant has provided color renderings to better illustrate the look of the ornamentation.

Design Standard 228 states *“Use ornament and detail that will reinforce the established pedestrian character of the area.”* and additionally specifies:

- *“In particular, windows, details, ornaments and cornice moldings reoccur frequently and are encouraged to enhance visual interest.”*

Staff further notes, the Handbook states under Design Standard 228 *“Contemporary interpretations of traditional details may be considered”* and language on page 53 specifically recommends using style defining features as a means of distinguishing old from new.

“Using different styles to distinguish old from new

One option is to develop a design that is different stylistically from original buildings, but that retains enough similar characteristics to remain compatible with the context. One way to be compatible is to use a vocabulary of basic building elements that are similar to those used on historic structures, but without actually imitating the detail of historic styles. Using this approach, a design for a new building would be similar in size, shape, and materials to those in the historic context and basic proportions of major architectural features such as porches, window openings and roofs, would be similar to those of historic structures. The style-defining features of the historic period, such as decorative cornices and brackets, however would not be used. In this way, the new building would be distinguishable from the older structures in the area.

When buildings of this type are inserted into the historic district, two benefits result: First, we are able to distinguish the new from the old and therefore can clearly interpret the evolution of the street as it

has changed in time. Second, although we are able to distinguish between individual building periods, the overall image of the street is cohesive because of the basic similarities in the forms of the buildings themselves. Designing in new styles that are compatible yet distinguishable from historic buildings in the district is therefore an approach that is encouraged.”

Staff believes the applicant has designed a building that sympathetically balances old from new by utilizing all of the historic forms and materials at the macro level and differentiates itself subtly at the micro level by using metal instead of wood for cornice and trim details. At the Preliminary Hearing the Commission achieved a narrow consensus (Mr. Lamb, Mr. Schuman, Mrs. Dudney and Mr. Gerard – yes; Mr. Giller and Mrs. Leidal – no) that the proposed cornice and trim detail abided with Design Standard 228. We find the language on page 53 to further support this consensus.

Site Plan: The project follows the historic settlement pattern for this block (Priority Design Standard 4). It also matches the Town grid (Priority Design Standard 5). Staff believes that the new construction reinforces the unity of the block (Priority Design Standard 8).

All parking is located at the rear of the lot in a portion of the site and a small portion of the existing Courthouse Parking Lot (discussion below). Landscaping (Design Standard 213) has been kept to a minimum along the street edge to be harmonious with the functions of the Core Commercial Character Area.

At the Preliminary Hearing, the Commission was supportive of placing the building as currently shown on the site plan. This positioning is similar to other buildings located in the Core Commercial Area, having little to no side yards. The proposal maintains a strong “building wall” along the sidewalk per the Core Commercial design standards, complying with Priority Design Standard 210.

Landscaping (22/A & 22/R): Requirements for any landscaping in the Core Commercial Area is limited. Design Standard 214 states that the majority of plantings within the property should be native while perennial plantings may be used as accents. There is no requirement for substantial planting in this Character Area. The applicant has revised his landscape plan to include a buffer of spruce trees behind the building to provide screening from the adjacent parking lot. Additionally, the plan uses planters along the walkways to beautify the site while still allowing full pedestrian access to the walkways. Staff is supportive of the landscape plan.

Point Analysis (Section: 9-1-17-3): Staff believes that all absolute policies have been met and that the proposal warrants the following points for a total passing point analysis of positive one (+1) point.

Negative points are incurred for:

- Policy 21/R Open Space: Negative three (-3) points because only 6.9% of the site (195 sq. ft.) is designed as open space.

Positive points are awarded for:

- Policy 16/R Internal Circulation: Positive three (+3) points for providing a public mid-block crossing.

- Policy 18/R Parking: Positive one (+1) point because the onsite parking is accessed from shared access points.

Staff Recommendation

The applicant has worked with Staff closely to bring this proposal into compliance with the Development Code and the Handbooks of Design Standards for the Historic and Conservation Districts. Key design issues were discussed and the changes addressed with this submittal.

Staff has no specific questions for the Commission with this final review. However, we welcome any comments and questions.

The Planning Department recommends the Commission approve the Lincoln Grill, (PL-2017-0030), showing a passing score of positive one (+1) point along with the attached Findings and Conditions.

Final Hearing Impact Analysis				
Project:	Lincoln Grill	Positive Points	+4	
PC#	PL-2017-0030			
Date:	4/7/2017	Negative Points	- 3	
Staff:	Chris Kulick, AICP			
		Total Allocation:	+1	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility / Historic Priority Policies	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)	+3	Mid-block pedestrian connection
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		

18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)	+1	Shared driveway that serves more than one property.
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)	-3	6.9% is Open Space (<15%)
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		

42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		

TOWN OF BRECKENRIDGE

Lincoln Grill
Lot 41, Bartlett & Shock Subdivision
112 Lincoln Avenue
PL-2017-0030

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve this application with the following findings and conditions.

FINDINGS

1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 7, 2017** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 2, 2017** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires three years from date of issuance, on **May 9, 2020**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy

should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

6. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
7. Applicant shall field locate utility service lines to avoid existing trees.
8. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

9. Applicant shall submit proof of ownership of the project site.
10. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
11. **Per section 9-3-12 of the Town Code, the applicant shall pay a fee in lieu 6.37 spaces. The amount of the in lieu fee shall be adjusted annually to reflect the percentage increase, if any, in the consumer price index (CPI-U) for all items for the Denver-Boulder, Colorado area produced by the bureau of labor statistics, or any successor index. This fee is on record with the Town.**
12. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road or parking lot shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
13. Applicant shall submit a 24"x36" mylar copy of the final site plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar.
14. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

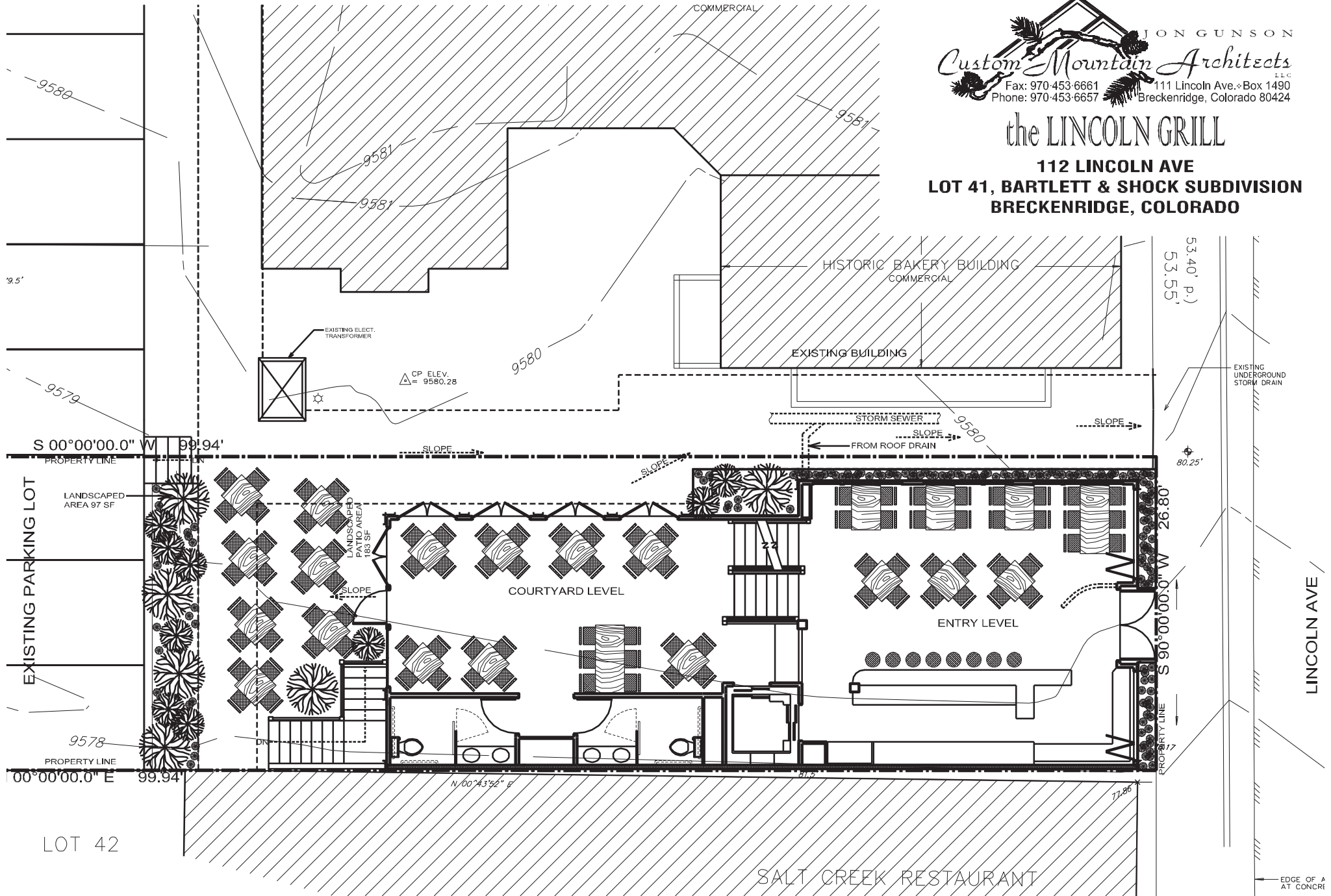
15. Applicant shall revegetate all disturbed areas where revegetation is called for, with a minimum of 2 inches topsoil, seed and mulch.
16. Applicant shall remove leaf clutter, dead standing and fallen trees and dead branches from the property. Dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above ground.
17. Applicant shall paint all flashing, vents, flues, rooftop mechanical equipment and utility boxes on the building a flat, dark color or to match the building color.
18. Applicant shall screen all utilities.

19. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward.
20. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
21. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.
22. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
23. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
24. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)

the LINCOLN GRILL

112 LINCOLN AVE
LOT 41, BARTLETT & SHOCK SUBDIVISION
BRECKENRIDGE, COLORADO



SALT CREEK RESTAURANT

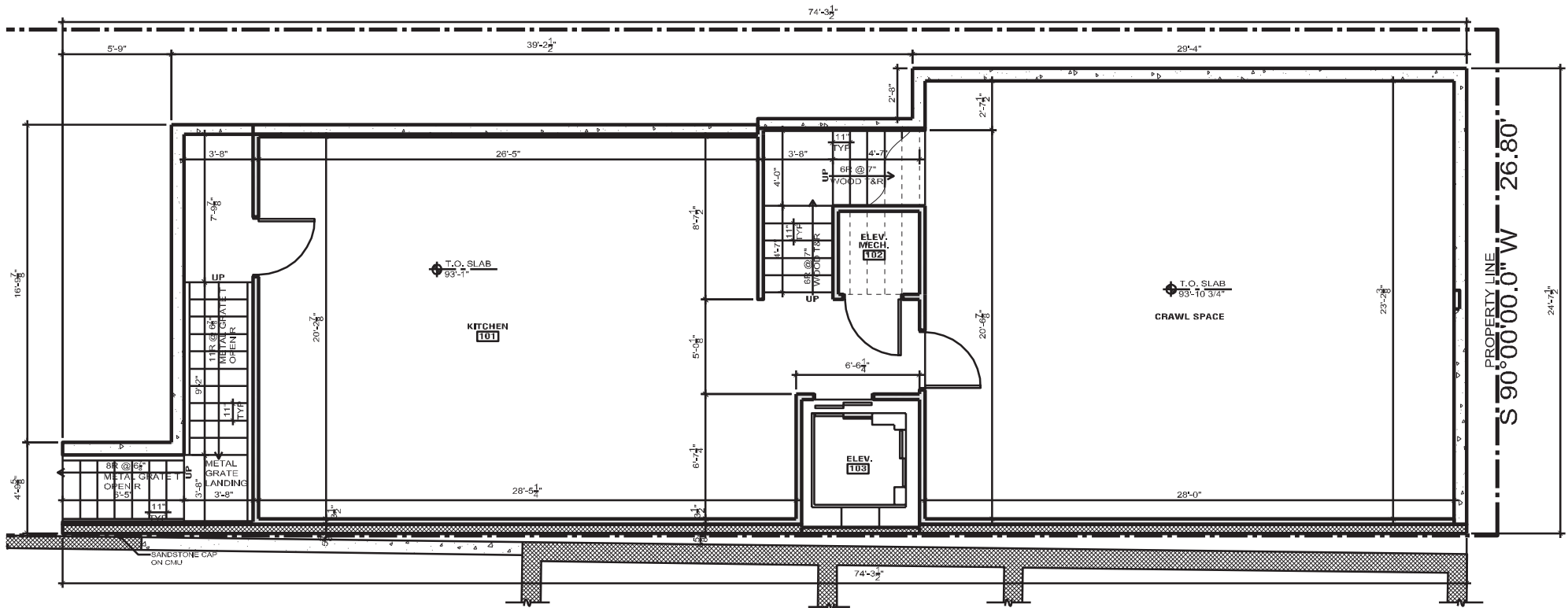
SITE PLAN

SCALE: 3/32" = 1'-0"



the LINCOLN GRILL

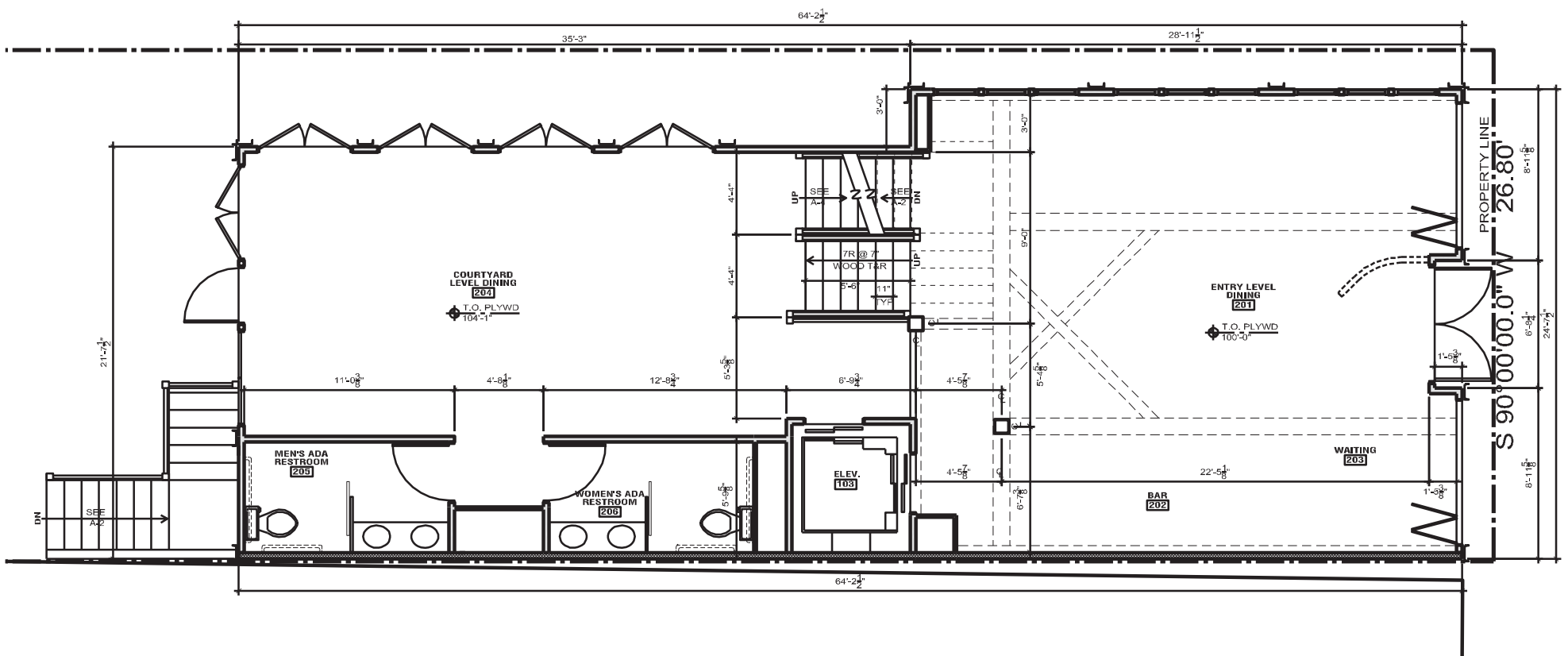
112 LINCOLN AVE
LOT 41, BARTLETT & SHOCK SUBDIVISION
BRECKENRIDGE, COLORADO



A
LOWER LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



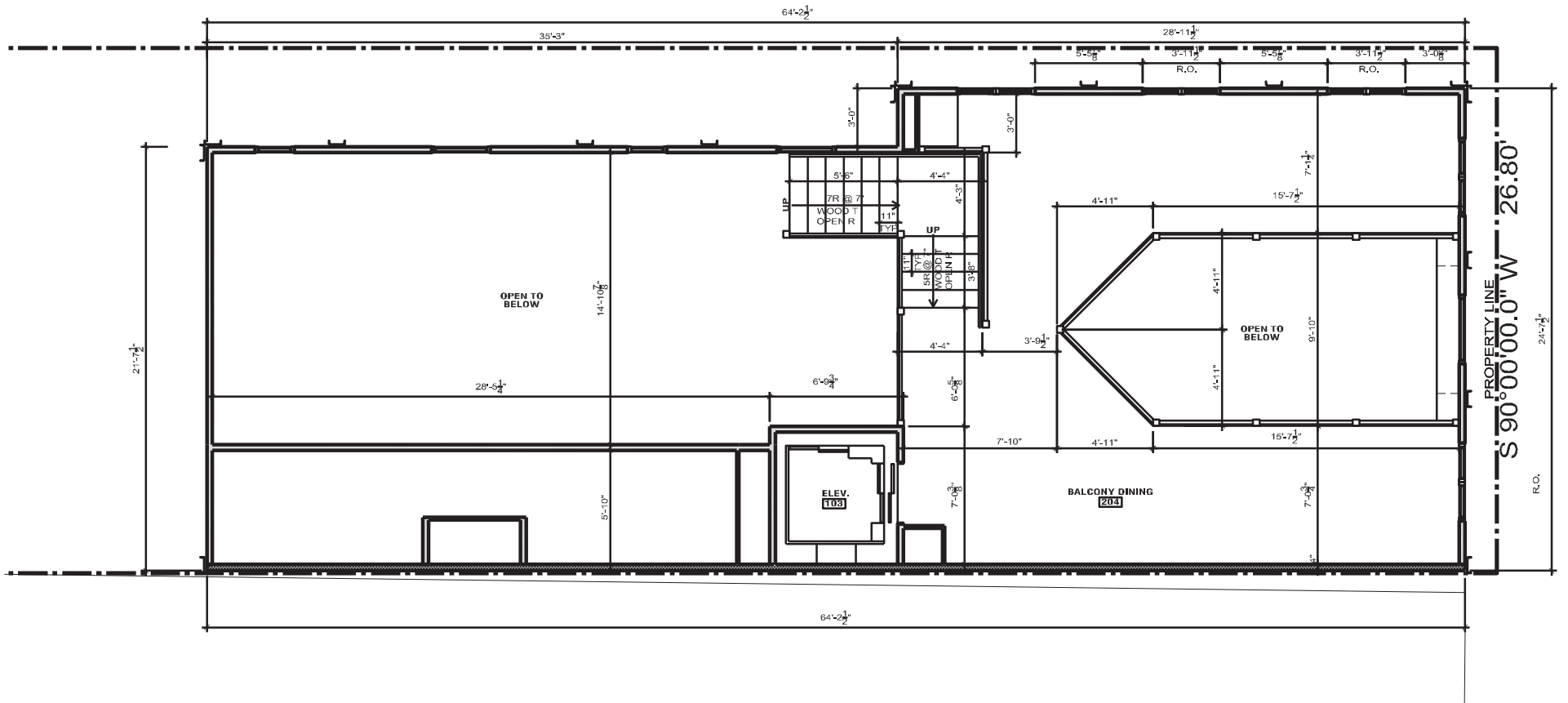
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BRECKENRIDGE, COLORADO



(B) ENTRY LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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BRECKENRIDGE, COLORADO

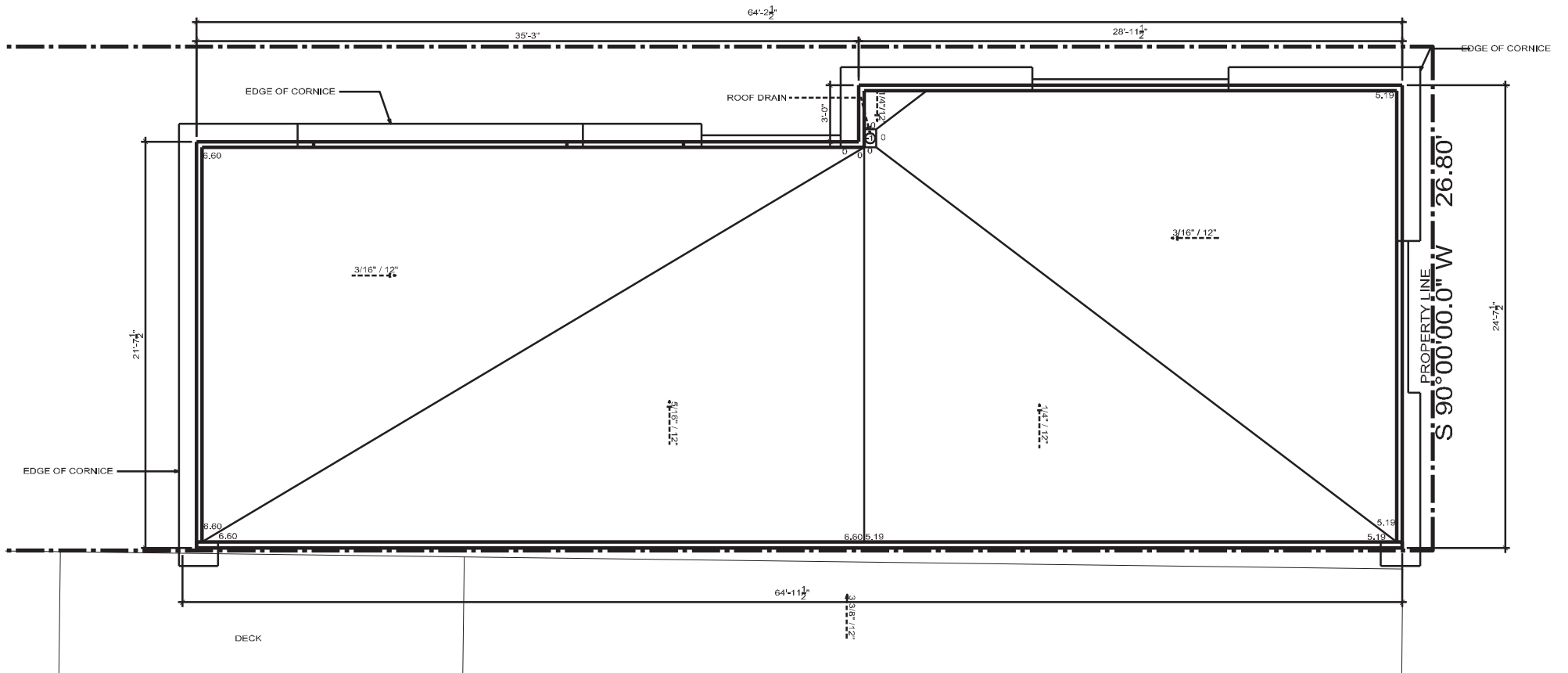


UPPER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



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BRECKENRIDGE, COLORADO



ROOF PLAN

SCALE: 1/8" = 1'-0"



the LINCOLN GRILL

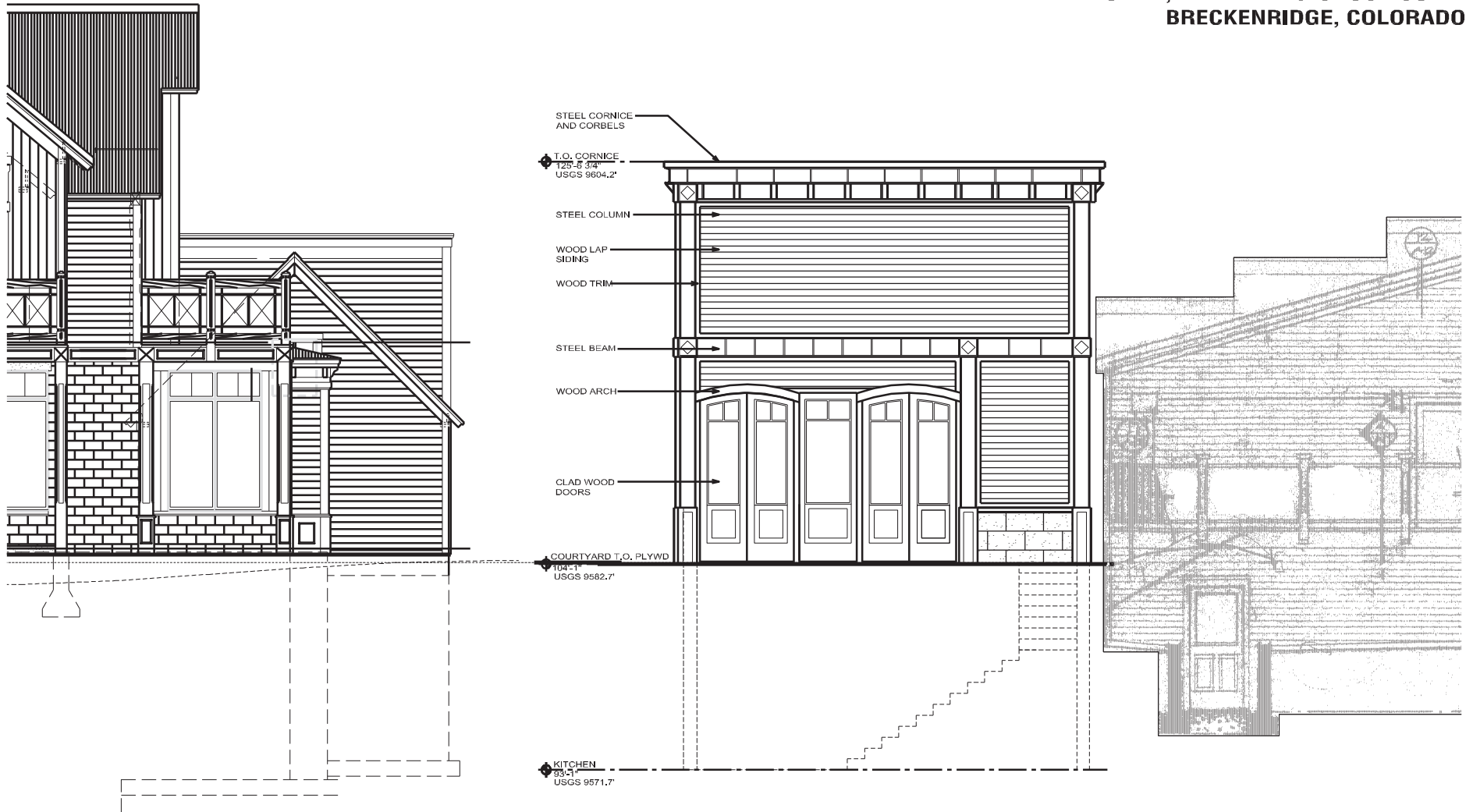
112 LINCOLN AVE
LOT 41, BARTLETT & SHOCK SUBDIVISION
BRECKENRIDGE, COLORADO



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

the LINCOLN GRILL
112 LINCOLN AVE
LOT 41, BARTLETT & SHOCK SUBDIVISION
BRECKENRIDGE, COLORADO



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

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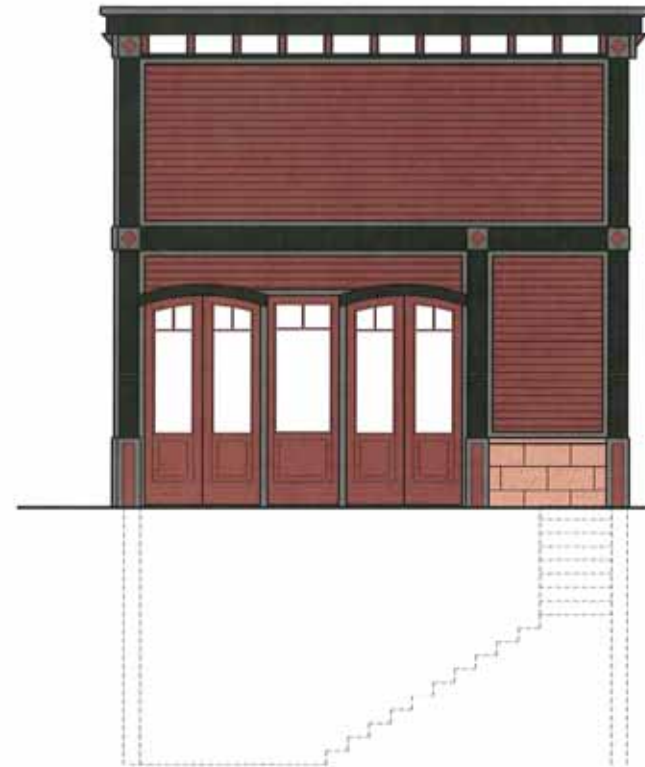
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0" ARCH 100.0' = USGS 9578.6'



NORTH ELEVATION

SCALE: 3/16" = 1'-0" ARCH 100.0' = USGS 9579.0'



EAST ELEVATION

SCALE: 3/16" = 1'-0" ARCH 100.0' = USGS 9579.0'







VANFOREST

Architectural Renderings | 3D Animation | Physical Model | Website Design

www.vanforest.com | info@vanforest.com | +86 15900164705

Planning Commission Staff Report

Project Name: Satellite Place Subdivision
(Class B Final Hearing; PL-2017-0054)

Project Manager: Chapin LaChance, Planner II

Date: April 27 for meeting of May 2, 2017

Applicant/Owner: JIJA Enterprises, LLC

Agent: Lee Edwards, DRC Company

Proposal: Subdivide Breckenridge Airport Subdivision, Block 5, Lot 4 into three separate lots, creating the Satellite Place Subdivision with access from Fraction Road. The Fraction Road right of way will also be platted with this subdivision.

Address: 1730 Airport Road

Legal Description: Lot 4, Block 5, Breckenridge Airport Sub Amended Resubdivision

Total Site Area: 58,327 sq. ft. (1.339 Acres)

Land Use District: 31: Commercial, Industrial, Public Open Space, Public Facilities (including, without limitation, Public Schools and Public Colleges), child care facilities, and surface parking. Employee housing is an allowed land use in this District but only on Block 11 of the Breckenridge Airport Subdivision, 1:4 FAR

Site Conditions: This is an undeveloped parcel with an existing bus stop along Airport Road frontage and an existing curb cut and concrete curb along Fraction Road which was recently constructed by the Town. Fraction Road connects Airport Road to the Town owned Satellite parking lot to the east of the property.

Adjacent Uses:

North: mixed use (1st floor commercial/office, 2nd floor residential)

South: commercial (auto-repair)

East: Satellite Skier Parking Lot (town owned Block 11/future residential use)

West: mixed use (1st floor commercial/office, 2nd floor residential)

Changes Since April 18, 2017

Preliminary Hearing

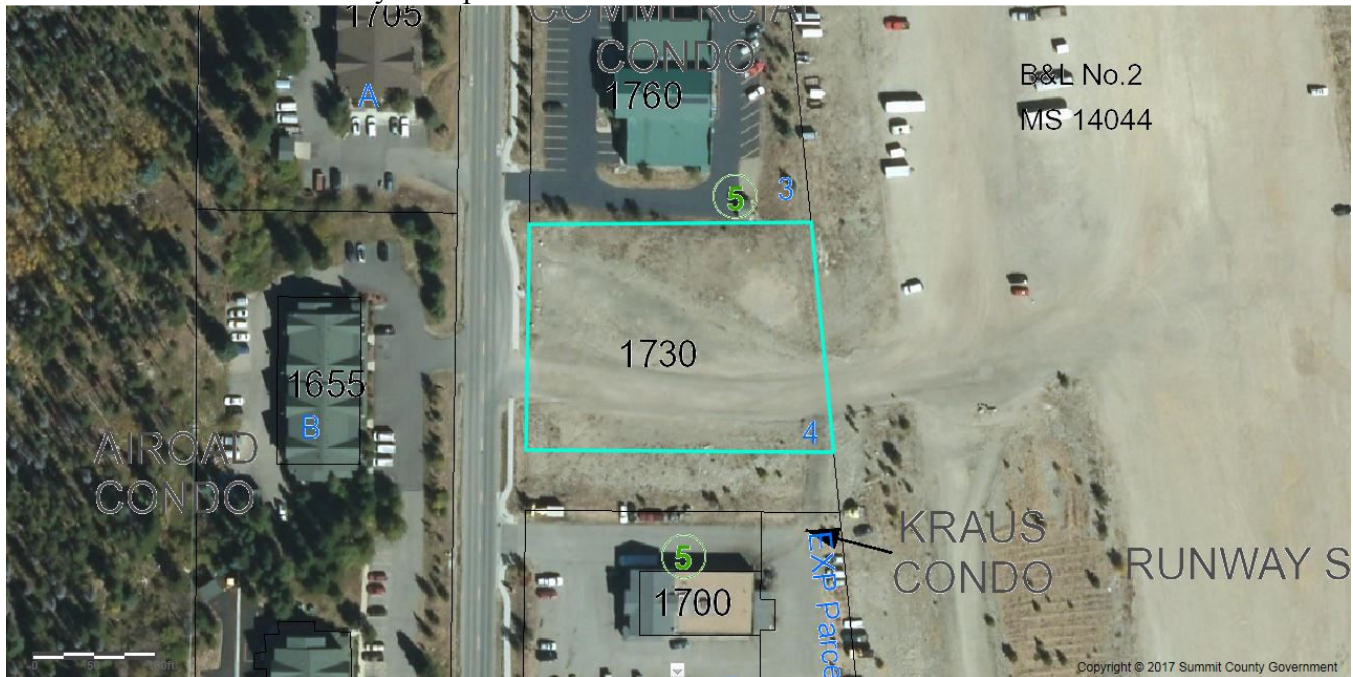
1. The bearing shown on the north boundary of the provided survey has been corrected.
2. The lot line dimension on the west side of proposed lot Lot 3 was previously called out as "93.04" on the provided survey, and has been corrected to "94.04."
3. The lot numbers have been modified from "Lot 4A, Lot 4B, Lot 4C" to "Lot 1, Lot 2, Lot 3" on the proposed plat, plat notes, and survey. Staff has reflected this change in the staff report.
4. Proposed plat note #5 has been updated to include a reference to a reception number for the Satellite Place Subdivision Declarations.

- Proposed plat note #4 has been updated to clarify that the “no portions of [The 10’ Snow Stack and Utility Easement] may be used for storage of snow from Lots 1, 2 or 3.” per Commissioner Mathews-Leidal’s comment at the Preliminary Hearing (easement runs along Airport Road).

Item History

Breckenridge Airport Subdivision, Block 5, Lot 4 was platted in 1997. Per a June 2015 Deed of Dedication, the Town of Breckenridge dedicated “a 50 foot road right of way across the south 50 feet of Lot 4, Block 5, Breckenridge Airport Subdivision...containing 12,876 square feet or 0.296 acres more or less...to the perpetual benefit of the public for use as a public right-of-way.” Upon the Recording of the Deed of Dedication, the density (3,219 sq. ft.) associated with the dedicated land remained on the remainder of Block 5, Lot 4. This was not deemed a density transfer. The use of this density was specified to still “be subject to the applicable requirements and limitations of the Town of Breckenridge Development Code and related land use regulations.” No assurance was given or implied that the “remaining density may actually be developed or otherwise used by the owner” of Block 5, Lot 4. The public road (Fraction Road) was installed last year by the Town and will be platted as part of this application.

It was also a condition of the purchase and sale contract that the purchaser create a valid and enforceable Restrictive Covenant and Agreement running with the land prohibiting the growing, processing, or cultivating of marijuana. A Restrictive Covenant and Agreement to this effect was executed and recorded with Summit County in September of 2015.



Staff Comments

Plat Notes:

At a 1:4 FAR, 11,362.55 square feet of density is available for the three proposed lots. In addition, the 3,219 sq. ft. of density associated with the right-of-way (as noted above under Item History) is also assigned to the property. Thus a total of 14,582 square feet of density is available. The proposed plat

notes assigns 8,582 sq. ft. of density to proposed Lot 1, and 3,000 sq. ft. of density each to proposed Lots 2 and 3.

Staff has required the applicant to include a plat note referencing a Declaration of Covenants, Conditions, and Restrictions of Satellite Place recorded with the Summit County Clerk and Recorder which describes the easements shown on the plat and assigning the responsible parties for those easements and maintenance.

Staff has required the applicant to include a plat note stating that no private stacking of snow is permitted to occur inside the existing public 10' Snow Stack and Utility Easement along the Airport Road right of way.

Staff has required the applicant to include a plat note prohibiting vehicular access from Airport Road. Additional plat note comments which have been incorporated into the Findings and Conditions include:

1. Per the Town Attorney's request, staff has requested the applicant remove "*for the purposes stated*" from plat note #4. The applicant has communicated to staff that they desire their attorney review this modification and the revision has not been made at this time, however the Town Attorney will have an opportunity to review and approve the final plat notes prior to recording of the plat.
2. Per the Town Attorney's request, staff has requested the applicant add an additional plat note, stating that the subdivided property is subject to the Restrictive Covenant and Agreement, recorded at Reception # 1091640. The applicant has communicated to staff that they desire their attorney review this modification and the revision has not been made at this time, however the Town Attorney will have an opportunity to review and approve the final plat notes prior to recording of the plat.

9-2-4-1: General Requirements:

Staff finds that the land is suitable for subdivision and development. There are no concerns regarding flooding, improper drainage, steep slopes, rock formations, adverse earth formations or topography, adverse visual impacts, or other features which could be harmful to the safety, health and welfare of the inhabitants of the subdivision, its surrounding area, or the town in general. There is an existing 10' Snow Stack and Utility Easement along the Airport Road right of way, but the remainder of the property does not contain any other existing easements.

9-2-4-2: Design Compatible With Natural Features:

There is approximately 8 feet of elevation change across the site, as it generally slopes downwards from the south to the north at an average grade of approximately 4-5%. There are no trees or significant natural features on the site.

9-2-4-2: Design Compatible With Natural Features, states:

3. In addition to the landscaping required above, the subdivider of land containing little or no tree cover as determined by the town shall provide one tree having a minimum trunk diameter (measured 12 inches above ground level) of not less than two inches (2") suitable for the Breckenridge climate for every ten (10) linear feet of roadway platted within or immediately adjacent to the subdivision. It is further encouraged that landscaping be placed on the downhill side of any retaining structures to screen the visibility of the road cut when viewed from off site. Where cut and fill slopes are used, they shall be revegetated with native plant materials to reestablish ground cover and reduce the potential for soil erosion. (emphasis added)

The proposed lots have 254 feet of frontage along the new Fraction Road right of way, and 186 feet of frontage along Airport Road, for a total of 440 feet of public right of way immediately adjacent to the subdivision. Therefore, a total of 44 trees are required across the total area within the lots which will be a minimum of 2" caliper. Staff has added the quantity and size requirement as a condition of approval to ensure compliance.

9-2-4-3: Drainage, Storm Sewers And Flood Prevention:

The Town has installed an existing curb and gutter system in the Fraction Road and Airport Road right of ways. There are existing culverts on the west side of Lot 4 which manage storm water from Fraction Road and from existing Lot 4 by draining to the north. The proposed plat provides a 15 foot Drainage Easement on proposed Lot 2. This has been reviewed and supported by the Town Engineer. Staff does not have any concerns.

9-2-4-4: Utilities:

There is an existing water line servicing the proposed shared utility easement from the Fraction Road right of way, as well as from Airport Road to proposed Lot 2. There is an existing underground electric line along the eastern property boundary. Sanitary sewer service lines are located in the Airport Road right of way. Staff does not have any concerns.

9-2-4-5: Lot Dimensions, Improvements And Configuration:

The depth and width of the proposed lots are adequate to provide for sufficient ingress and egress to the lots. The lot depth to width ratios are appropriate (depths are less than twice the width). Staff finds that the depth and width of the proposed lots are adequate to provide off street parking for commercial use. Although a development permit has not been submitted at this time, the applicant has provided a preliminary site plan showing a commercial building and 14 parking spaces on proposed Lot 1, and 6 parking spaces and a commercial building on both proposed Lots 2 and 3. The summary below shows the required number of parking spaces based on the maximum permitted density by proposed lot, per the current Off Street Parking Regulations, which require 1.4 spaces per 1,000 sq. ft. of general commercial and office use:

Proposed Lot 2 & 3:

Maximum permitted density per proposed plat: 3,000 sq. ft.

$3,000 \text{ sq. ft.} / 1,000 \text{ sq. ft.} = 3 \times 1.4 = 4.2 \text{ spaces required (6 shown on preliminary site plan)}$

Proposed Lot 1:

Maximum permitted density per proposed plat: 8,582 sq. ft.

$8,582 \text{ sq. ft.} / 1,000 \text{ sq. ft.} = 8.582 \times 1.4 = 12.02 \text{ spaces required (14 shown on preliminary site plan)}$

The area shown for parking should be accurate however, staff will review parking counts and dimensions at a development permit application level. All future development is required to meet a fit test with all applicable policies in the Development Code.

Per the Town's Subdivision Standards, the minimum drive aisle width is 24'. The applicant has provided a preliminary site plan showing a 25' wide drive aisle. Staff does not have any concerns regarding available space for ingress, egress, and parking. Side lot lines are at right angles and lots are in plain, relatively rectangular shapes. Lots are proposed in appropriate sizes and further resubdivision is not expected. The anticipated use of the proposed lots is commercial. Policy 9A Placement of Structures in the Development Code requires a minimum of 1' setback for all structures from adjacent property in this

Land Use District, and a disturbance envelope is required to be platted for all residential lots. As the proposed lots are located in Land Use District #31 for which residential uses are not acceptable, it is not appropriate for a Building or Disturbance Envelope to be shown on the plat.

9-2-4-6: Blocks: This section does not apply, as new blocks are not being created.

9-2-4-7: Pedestrian And Bicycle Circulation Systems:

An existing sidewalk has been installed by the Town in the Fraction Road and Airport Road right of ways. Staff does not find it appropriate to require additional sidewalks, bicycle paths, trail dedications, or open space dedications, due to the size of the existing lot.

9-2-4-8: Street Lighting:

Considering the small size of the subdivision and that no streets are proposed in the subdivision, staff does not find it appropriate to require streetlights to be installed. The Town has installed street lights in the Fraction Road right of way.

9-2-4-9: Traffic Control Devices And Signs:

As there are not any internal streets proposed with this subdivision, this section is not applicable.

9-2-4-10: Subdivision And Street Names:

There are not any new internal roads or streets proposed with this subdivision. All vehicular ingress and egress will occur from the existing two-lane road that the Town has installed (along with curb and gutter, street lighting, and street signs), shown in the 50' right of way on the proposed plat as "Fraction Road." The Public Works Dept. has selected the name "Fraction Road" and has coordinated with Summit County to confirm the road name does not duplicate or too closely approximate the names of other streets or subdivisions in the town or Upper Blue Valley.

9-2-4-11: Existing And Proposed Streets:

There are not any new internal roads or streets are proposed with this subdivision. A plat note has been provided prohibiting access to Airport Road, as there is an existing public transit stop in the Airport Road right of way adjacent to the proposed lots. All vehicular ingress and egress will occur from the publicly dedicated Fraction Road 50' right of way. Fraction Road is installed in the location specified in the Block 11 Master Plan. The three proposed lots are shown to have access to Fraction Road through an Access Easement shared by all three lots. Staff does not have any concerns regarding circulation or traffic generated from the proposed subdivision. Both Airport Road and Fraction Road have been constructed by the Town to Town Standards. Staff does not find that there is any additional right of way dedication or construction of improvements in the right of way required for this subdivision.

9-2-4-12: Nonresidential Subdivisions:

Staff finds that the proposed subdivision is compatible in character to other lots that have been created in the vicinity and along Airport Road, and is appropriate for commercial use. There are other commercial lots along Airport Road (Such as Breckenridge Airport Subdivision, Block 4, Lot 3B) that are not directly accessible from Airport Road, but rather have access from easements across other lots. Staff does not have any concerns.

9-2-4-13: Dedication Of Park Lands, Open Space And Recreational Sites Or The Payment Of Fees In Lieu Thereof: Open space land along the River parcel was dedicated with original Airport Subdivision and no further dedication is required. Staff does not have any concerns.

Staff Recommendation

This subdivision proposal is in general compliance with the Subdivision Standards. Staff does not have any concerns with this application or any questions for the Commission.

Staff recommends the Planning Commission approve the Satellite Place Subdivision (PL-2017-0054), located at 1730 Airport Road, with the attached Findings and Conditions.

TOWN OF BRECKENRIDGE

Satellite Place Subdivision
Lot 4 Block 5 Breckenridge Airport Sub Amended Resub, Lot 3, Block 5
1730 Airport Road
PL-2017-0054

STAFF RECOMMENDATION: The staff recommends the Planning Commission approve this application with the following Findings and Conditions

FINDINGS

1. The proposed project is in accord with the Subdivision Ordinance and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 27, 2017** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 2, 2017** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.

CONDITIONS

1. The Final Plat of this property may not be recorded unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, refuse to record the Final Plat, issue a stop order requiring the cessation of any work being performed under this permit, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit will expire three (3) years from the date of Town Council approval, on **May 9, 2020** unless the Plat has been filed. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Applicant shall construct the subdivision according to the approved subdivision plan. All construction shall be in accordance with Town regulations.

6. This permit contains no agreement, consideration, or promise that a certificate of occupancy or certificate of compliance will be issued by the Town. A certificate of occupancy or certificate of compliance will be issued only in accordance with the Town's planning requirements/codes and building codes.

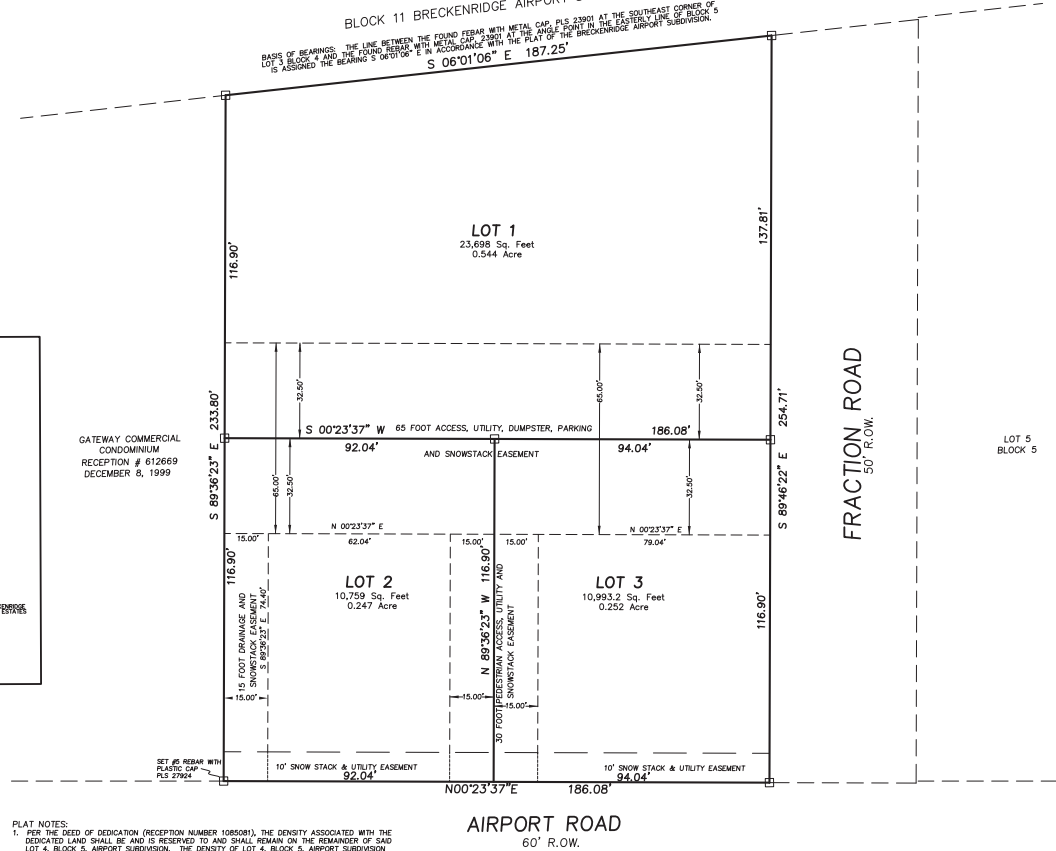
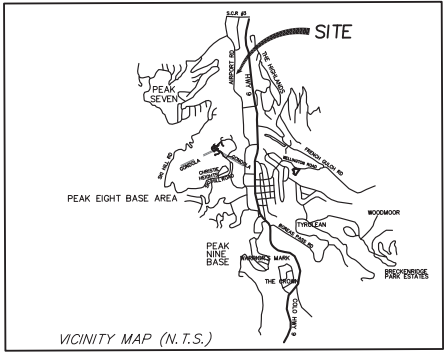
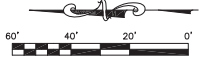
PRIOR TO RECORDATION OF FINAL PLAT

7. **Applicant shall enter into a Subdivision Improvement Agreement requiring a submittal and approval from Town staff of a landscaping plan in compliance with the Subdivision Ordinance requirements, specifying revegetation consisting of native grasses and other native vegetation. A minimum of 44 trees measuring 2” in caliper shall be installed.**
8. Applicant shall submit and obtain approval from Town staff of a final plat that meets Town subdivision requirements and the terms of the subdivision plan approval.
9. **Applicant shall submit and obtain approval from the Town Attorney for the Declaration of covenants, Conditions and Restrictions which addresses easements and responsible parties for those easements and maintenance.**
10. Applicant shall submit and obtain approval from the Town Engineer of final grading, drainage, utility, and erosion control.
11. **Per the Town Attorney’s request, staff has requested the applicant remove “for the purposes stated” from plat note #4. The applicant has communicated to staff that they desire their attorney review this modification and the revision has not been made at this time, however the Town Attorney will have an opportunity to review and approve the final plat notes prior to recording of the plat.**
12. **Per the Town Attorney’s request, staff has requested the applicant add an additional plat note, stating that the subdivided property is subject to the Restrictive Covenant and Agreement, recorded at Reception # 1091640. The applicant has communicated to staff that they desire their attorney review this modification and the revision has not been made at this time, however the Town Attorney will have an opportunity to review and approve the final plat notes prior to recording of the plat.**
13. Applicant shall either install all public and private improvements shown on the subdivision plan, or a Subdivision Improvements Agreement satisfactory to the Town Attorney shall be drafted and executed specifying improvements to be constructed and including an engineer’s estimate of improvement costs and construction schedule. In addition, a monetary guarantee in accordance with the estimate of costs shall be provided to cover said improvements.
14. Per Section 9-2-3-5-B of the Subdivision Standards, the following supplemental information must be submitted to the Town for review and approval prior to recordation of the final plat: title report, errors of closure, any proposed restrictive covenants, any dedications through separate documents, and proof that all taxes and assessments have been paid.

SATELLITE PLACE RESUBDIVISION PLAT LOT 4 BLOCK 5

A RESUBDIVISION OF LOT 3, BLOCK 5 OF
A RESUBDIVISION OF LOT 3, BLOCK 5 AND
LOT 3, BLOCK 4, AN AMENDED PLAT OF
BRECKENRIDGE AIRPORT SUBDIVISION
SECTION 25, TOWNSHIP 6 SOUTH, RANGE 78 WEST
SIXTH PRINCIPAL MERIDIAN
TOWN OF BRECKENRIDGE
SUMMIT COUNTY, COLORADO

BLOCK 11 BRECKENRIDGE AIRPORT SUBDIVISION
BASIS OF BEARINGS: THE LINE BETWEEN THE FOUND FEARNS WITH METAL CAP, PLS 23901 AT THE SOUTHEAST CORNER OF LOT 3 BLOCK 5 AND THE FOUND POINT IN THE EASTELY LINE OF BLOCK 5 IS EXTENDED TO THE POINT OF BEGINNING IN ACCORDANCE WITH THE PLAT OF THE BRECKENRIDGE AIRPORT SUBDIVISION. S 06°01'06" E 187.25'



- PLAT NOTES:
- PER THE DEED OF DEDICATION (RECEPTION NUMBER 108508), THE DENSITY ASSOCIATED WITH THE DEDICATED LAND SHALL BE AND IS RESERVED TO AND SHALL REMAIN ON THE REMAINDER OF SAID LOT 4, BLOCK 5, AIRPORT SUBDIVISION. THE DENSITY OF LOT 4, BLOCK 5, AIRPORT SUBDIVISION SHALL BE ALLOCATED THUSLY: LOT 1 - 8,600 SQUARE FEET; LOT 2 - 3,000 SQUARE FEET AND LOT 3 - 3,000 SQUARE FEET FOR A TOTAL DENSITY OF 14,600 SQUARE FEET AS OF THE DATE OF THIS PLAT RECORDED. NOTHING IN THIS ALLOCATION SHALL PROHIBIT THE REDISTRIBUTION OF DENSITY ASSOCIATED WITH LOT 4, BLOCK 5, AIRPORT SUBDIVISION PER THE TOWN OF BRECKENRIDGE DEVELOPMENT CODE.
 - THERE SHALL BE NO VEHICULAR ACCESS FROM AIRPORT ROAD.
 - SATELLITE PLACE IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF SATELLITE PLACE, RECORDED _____ AT RECEPTION NUMBER _____ WITH THE SUMMIT COUNTY CLERK AND RECORDER'S OFFICE (THE "SATELLITE PLACE DECLARATION").
 - THE 10' SNOW STACK AND UTILITY EASEMENT ON THE WEST BOUNDARY OF LOTS 2 AND 3 WAS DEDICATED TO THE PUBLIC AND THE TOWN OF BRECKENRIDGE FOR THE PURPOSES STATED PURSUANT TO THE RESUBDIVISION OF LOT 3, BLOCK 5 RECORDED AUGUST 26, 1997 AT RECEPTION NUMBER 548577. NO PORTIONS OF SUCH EASEMENT MAY BE USED FOR STORAGE OF SNOW FROM LOTS 1, 2 OR 3.
 - AS PROVIDED IN NOTE 4, ALL EASEMENTS SHOWN ARE FOR THE BENEFIT OF THE OWNERS OF LOTS 1, 2 AND 3. THE SATELLITE PLACE OWNERS ASSOCIATION AND THE DECLARANT AS PROVIDED IN THE SATELLITE PLACE DECLARATION RECORDED _____ 2017 AT RECEPTION NUMBER _____ WITH THE SUMMIT COUNTY CLERK AND RECORDER'S OFFICE.

I, ROBERT E. ANDREWS, BEING A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE PINS AND CAPS SHOWN HEREON AS FOUND OR SET ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ROBERT E. ANDREWS R.L.S. 27924

NOTICE: UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HEREON.

OWNER'S CERTIFICATE
KNOW ALL MEN BY THESE PRESENTS THAT JJA ENTERPRISES, LLC, BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY SET FORTH IN THE TOWN OF BRECKENRIDGE, COUNTY OF SUMMIT, STATE OF COLORADO:

LEGAL DESCRIPTION
LOT 4, BLOCK 5, A RESUBDIVISION OF LOT 3, BLOCK 5, BRECKENRIDGE AIRPORT SUBDIVISION, A RESUBDIVISION OF LOT 3, BLOCK 5 AND LOT 3, BLOCK 4, THE PLAT RECORDED AUGUST 26, 1997 UNDER RECEPTION NUMBER 548577, EXCEPT THE SOUTHWEST CORNER 10 FEET AS SHOWN ON THE DEED RECORDED AUGUST 26, 1997 UNDER RECEPTION NUMBER 548577, COUNTY OF SUMMIT, STATE OF COLORADO.

CONTAINING 64,640.7 SQUARE FEET OR 1.484 ACRES MORE OR LESS HAS Laid OUT AND SURVEYED THE SAME INTO LOTS, TRACTS, OPEN SPACE AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND STYLE OF "SATELLITE PLACE, RESUBDIVISION PLAT, LOT 4, BLOCK 5, A RESUBDIVISION OF LOT 3, BLOCK 5 AND LOT 3, BLOCK 4, AN AMENDED PLAT OF THE BRECKENRIDGE AIRPORT SUBDIVISION" AND BY THESE PRESENTS DOES HEREBY SET APART AND REDECIATE TO THE FOREGOING USE OF THE PUBLIC, ALL OF THE INTERESTS AND RIGHTS OF WAY AS SHOWN HEREON AND HEREBY DEDICATE THOSE PORTIONS OF LAND Labeled AS EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND SUCH OTHER PURPOSES AS SHOWN HEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED, BEING THE DECLARANT HEREIN, HAS CAUSED ITS NAME TO BE HERETOBY SUBSCRIBED:
BY: JAMES FREDRICK COLBOURNE AS MANAGER OF JJA ENTERPRISES, LLC

ACKNOWLEDGEMENT
STATE OF COLORADO } SS
COUNTY OF SUMMIT }
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY ____ A.D. 2017 BY JAMES FREDRICK COLBOURNE AS MANAGER OF JJA ENTERPRISES, LLC.
MY COMMISSION EXPIRES _____
WITNESSES MY HAND AND OFFICIAL SEAL _____
NOTARY PUBLIC _____

TITLE COMPANY CERTIFICATE
BE LAND TITLE GUARANTEE COMPANY DO HEREBY CERTIFY THAT WE HAVE SEARCHED THE TITLE TO ALL LOTS SHOWN HEREON AND ALL LANDS HEREON ADJACENT HERETO AND THE GENERAL DESCRIPTION MADE BY THIS PLAT, THE DECISION MADE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:
DATED THIS ____ DAY OF _____, A.D. 2017.

AGENT
SURVEYOR'S CERTIFICATE
I, ROBERT E. ANDREWS, A COLORADO REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS RESUBDIVISION PLAT, LOT 4, BLOCK 5, AIRPORT SUBDIVISION WAS MADE BY ME AND UNDER MY DIRECT SUPERVISION FROM A CORNER AND SURVEY MADE TRUE AND ACCURATE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE MONUMENTS WERE FOUND OR SET PURSUANT TO C.R.S. 38-51-105.

ROBERT E. ANDREWS P.L.S. 27924
TOWN OF BRECKENRIDGE CERTIFICATE
THIS PLAT IS APPROVED THIS ____ DAY OF _____, A.D. 2017.
TOWN OF BRECKENRIDGE
BY: _____
DIRECTOR, DEPARTMENT OF COMMUNITY DEVELOPMENT

NOTICE:
PUBLIC NOTICE IS HEREBY GIVEN THAT THE TOWN OF BRECKENRIDGE HEREBY ACCEPTS AND ASSUMES THE RESPONSIBILITY FOR THE PLAT, THE DECISION MADE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:
UNITS, SUCH AS ROADS AND RIGHTS OF WAY MEET TOWN ROAD SPECIFICATIONS AND ALL OTHER MATTERS PERTAINING TO OR AFFECTING THE CONSTRUCTION AND MAINTENANCE OF SUCH ROADS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE LAND EMBRACED WITHIN THIS SUBDIVISION.

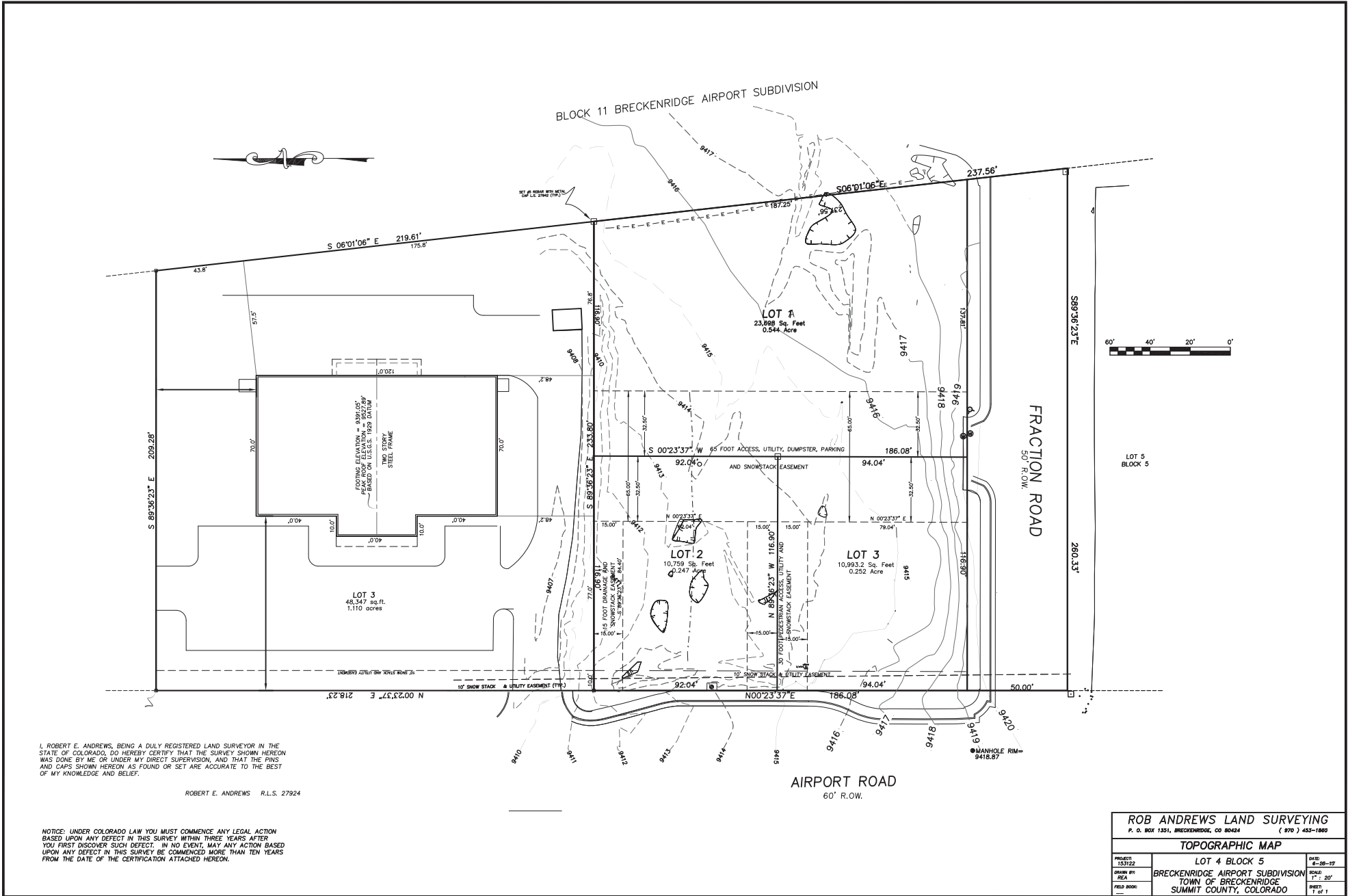
BRECKENRIDGE TOWN CLERK'S CERTIFICATE
STATE OF COLORADO } SS
COUNTY OF SUMMIT }
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT OLOUKOOK, CO, ON THIS ____ DAY OF _____, A.D. 2017, AND IS DULY RECORDED.

HELEN COOPERLICH
TOWN CLERK
CERTIFICATE OF TAXES PAID
I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE ENTIRE AMOUNT OF ALL TAXES DUE AND PAYABLE AS OF RECORD ON THIS PLAT HAVE BEEN FULLY PAID IN FULL.
DATED THIS ____ DAY OF _____, 20__.

SUMMIT COUNTY TREASURER OR DESKONE.
SUMMIT COUNTY CLERK AND RECORDER'S CERTIFICATE
STATE OF COLORADO } SS
COUNTY OF SUMMIT }
I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE AT OLOUKOOK, CO, ON THIS ____ DAY OF _____, A.D. 2017 UNDER RECEPTION NO. _____

WITNESSES:
SUMMIT COUNTY CLERK AND RECORDER _____

ROB ANDREWS LAND SURVEYING P. O. BOX 1581, BRECKENRIDGE, CO 80424 (970) 455-1800		
SATELLITE PLACE		
LOT 4 BLOCK 5		
A RESUBDIVISION OF LOT 3, BLOCK 5 OF		
A RESUBDIVISION OF LOT 3, BLOCK 5 AND		
LOT 3, BLOCK 4, AN AMENDED PLAT OF		
BRECKENRIDGE AIRPORT SUBDIVISION		
TOWN OF BRECKENRIDGE		
SUMMIT COUNTY, COLORADO		
PROJECT: 153122	DATE: 4-26-17	SCALE: 1" = 20'
DRAWN BY: RCA		SHEET: 1 of 1
FIELD BOOK: ---		



I, ROBERT E. ANDREWS, BEING A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE PINS AND CAPS SHOWN HEREON AS FOUND OR SET ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ROBERT E. ANDREWS R.L.S. 27924

NOTICE: UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HEREON.

ROB ANDREWS LAND SURVEYING P. O. BOX 1351, BRECKENRIDGE, CO 80424 (970) 455-1800			
TOPOGRAPHIC MAP			
PROJECT: 153722	DRAWN BY: MEA	DATE: 8-18-12	SCALE: 1" = 20'
FIELD BOOK:	BRECKENRIDGE AIRPORT SUBDIVISION TOWN OF BRECKENRIDGE SUMMIT COUNTY, COLORADO	SHEET: 1 of 1	

Planning Commission Staff Report

Subject: Searle House Restoration, Landmarking and Addition
(Class B Historic, Preliminary Hearing; PL-2017-0070)

Proposal: To restore and locally landmark the historic house, remove the non-historic structures, add a full basement beneath the historic portion of the house, build a new addition with garage including an accessory apartment.

Date: April 24, 2017 (For meeting of May 2, 2017)

Project Manager: Michael Mosher, Planner III

Applicant/Owner: Searle Historic, LLC, Philip and Barbara Gibbs

Agent: Janet Sutterley, J.L. Sutterley, Architect, P.C.

Address: 300 East Washington

Legal Description: Abbett Addition, Block 4, Lots 15 & 16

Site Area: 0.141 acres (6,148 sq. ft.)

Land Use District: 17 - Residential Single family/Duplex - 11 Units per Acre (UPA)

Historic District: 1 - East Side Residential Character Area

Site Conditions: The lot is located at the northeast corner of French Street and Washington Avenue. The western portion of the site contains the historic home with historic additions, non-historic additions and mature conifers along French Street. Along the north property edge and towards the east are several non-historic sheds/outbuildings that are functioning as storage and housing. Parking for the property occurs along the Washington Avenue right of way adjacent to the sidewalk with one car parked in the front yard near the non-historic sheds. (The property files show no development permits for these improvements.)

Adjacent Uses: Residential

Density: Allowed under LUGs: 2,484 sq. ft.
Proposed density: 2,476sq. ft.

Above Ground Density:
Allowed:
At9 UPA: 2,302 sq. ft.
Up to 10 UPA (with restoration): 2,258 sq. ft. (-6 points)
Proposed: 1,912sq. ft.

Mass: Allowed under LUGs: 2,981 sq. ft.

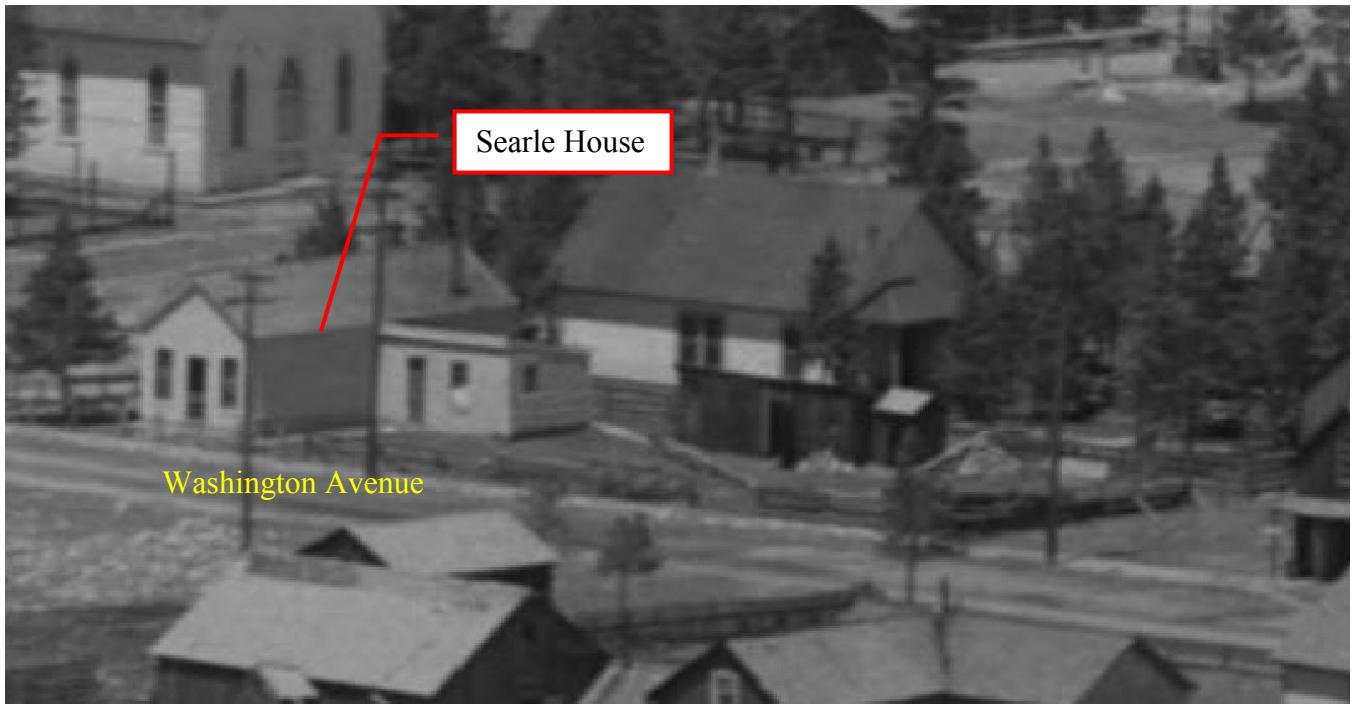
	Proposed:	2,498sq. ft.
Total:	Lower Level (incl. 892 SF Landmarked):	1,456 sq. ft.
	Main Level(incl. 586 SF Garage):	2,088 sq. ft.
	Upper Level:	410 sq. ft.
	Total:	3,954 sq. ft.
Height:	Recommended:	23 ft. (mean)
	Proposed:	21.5 ft. (mean);24.5 ft.(overall)
Lot Coverage:	Building / non-Permeable:	2,128 sq. ft. (35% of site)
	Hard Surface / non-Permeable:	1,257 sq. ft. (20% of site)
	Open Space / Permeable Area:	2,763 sq. ft. (45% of site)
Parking:	Required:	3spaces
	Proposed:	3 spaces
Snowstack:	Required:	163 sq. ft. (25%)
	Proposed:	168 sq. ft. (25%)
Setbacks:	Front (15' recommended):	15 ft.
	Sides (5' recommended):	5 ft.
	Rear 15'recommended):	10 ft.

Item History

Articles in the Breckenridge Daily Journal indicate that this dwelling was built in 1885. This information is corroborated by Sanborn Fire Insurance maps, which indicate that it was built sometime between 1883 and 1886. The original building was a simple rectangle with a gable roof orientated north to south (see photo below). Later, Sanborn maps depict it as an offset T-shaped building through 1914. Shed-roofed additions to main house to the north (rear) elevation appear quite old, and probably date to the late 1910s or 1920s.

Breckenridge has always been considered an attractive place to retire. A.G. Searle, a passenger conductor on the Chicago, Milwaukee, and St. Paul Railroad, settled in Breckenridge with his wife Lucinda after his retirement in 1885. At his death in 1905, the property was sold to Mary McManis as an income property. Charles Marz next purchased the property for his son George in 1908, who continued to live at this address until 1945. That year, the property was sold to J.M. and Jennie W. Armstrong, a retired couple from Kokomo, Colorado. Upon Jennie's death in 1963, the property passed to her brother, Grover O. Hauser, who sold it to Dean and Clara Huntington in 1964.

Non-compliant additions have occurred at the back of the structure at the north and to the north east end of the building. As a corner lot, three sides of the historic building are visible as primary facades and, with the exception of the porch, match the historic phototaken between 1890 and 1899.



The property has been used as rental property over the years.

The front porch was added at a later date than this photo and appears to be within the Town's period of significance.

The Town's Cultural Resource Survey has rated this house as "Contributing" to the district.

42. *Statement of significance:*

*This property is historically significant for its associations with Breckenridge's historical development during the "Town Phase" and Stabilization Phase" periods of the town's evolution. The property's level of significance is not to the extent that it would qualify for individual listing in the National Register of Historic Places, or in the State Register of Historic Properties. It does, however, qualify for individual **local** landmark designation by the Town of Breckenridge, and it is a contributing resource located within the boundaries of the Breckenridge Historic District. (Emphasis added.)*

43. *Assessment of historic physical integrity related to significance:*

This property exhibits a reasonably high level of integrity, relative to the seven aspects of integrity as defined by the National Park Service and the Colorado Historical Society - setting, location, design, materials, workmanship, feeling and association. The property appears minimally altered during the last several decades.

46. *If the building is in existing National Register district, is it contributing - Yes.*

Planning Commission comments from the August 16, 2016 Work Session :

The last review was a worksession to discuss:

1. Determine official “front yard” and related setbacks from that determination;
 - a. (The front yard was determined to be from Washington Avenue as it is addressed and historically located.)
2. Obtain Commission feedback on façade widths for this Character Area;
 - a. Facades widths were generally acceptable. However, the depth dimension of the offset to define the façade with was questioned by some Commissioners.
3. Obtain Commission feedback on connector and general massing of a proposed addition;
 - a. Some of the Commissioners felt the massing of the addition overwhelmed the smaller historic structure. Understanding the restrictions of the property, some Commissioners felt the mass would be large but could be reduced.
4. The location of a third parking space for a proposed accessory apartment.
 - a. The impacts of adding the accessory apartment negatively affects the primary façade with the added outdoor parking space.

The Commission expressed concerns about the impacts of the massing on this corner lot. The mass of the addition overwhelms the neighboring historic properties. The third parking spot (required for the proposed accessory apartment) will have ice/snowstacking/buffering problems. Concerns were expressed about having the historic rating of the building possibly reduced. The massing is overwhelming; it may devalue the historic house. The addition should also be simpler and a bit smaller. The massing modules should show a 6-foot minimum offset.

Changes From the August 16, 2016 Work Session

1. The massing along the east side of the property was slightly reduced.
 - a. The garage shed was reduced 12-inches in height.
 - b. The overall height of the addition was reduced 18-inches.
2. There are 2 new windows proposed in the east wall of the historic building.
3. A landscaping plan is included.
4. Additional detailing on all elevations are provided.
5. The historic house is shown 12-inches higher to correct drainage concerns.

Staff Comments

At this preliminary review, staff would like to address the key policies addressing the concerns expressed at the worksession and identify issues related to having this proposal obtain a passing Point Analysis at a future meeting.

Staff has identified the following absolute and relative policies related for discussion:

Site and Environmental Design (7/R):

4 x (- 2/+2)	B.	<i>Site Buffering: Developments should be buffered from adjacent properties and public rights of way. To achieve this, buildings and other development impacts should be located in a manner that allows for site buffering (existing or proposed). Buffering between the developments and neighboring properties may include, but are not limited to:</i>
	-	<i>Existing mature tree stands.</i>

		-	<i>The physical distance from property edge to the development.</i>
		-	<i>New landscaping.</i>
		-	<i>Landscaped berms at the property perimeter.</i>

The plans are showing the new development set back from the right of way (ROW) and placed towards the north of the lot and a parking pad for the accessory apartment at the east side of the site abutting the Town’s Community Center and Library.

The north edges show cobble rip-rap and a concrete walkway flanking the new building with about 5-feet of permeable land available for site buffering along the north property edge. The plans show 2-aspen and 2-shrubs along this 96-foot long property edge. Staff believes that additional buffering, as identified above, could be added along this edge to mitigate the impacts of the addition.

Along the east property line, there is one tree planted at the southeast corner of the lot. Otherwise, no plantings are proposed along this edge. Although the abutting property (the Town’s Community Center and Library) has ample landscaping, this policy does not allow any off-site buffering on an adjacent property to mitigate the impacts of the on-site development.

Staff is suggesting negative four (-4) points under this policy for minimal to no buffering along the north and east property lines. Does the Commission concur?

Placement Of Structures (9/A & 9/R):Per this policy:

(1) Within The Conservation District (All Residential Development):

- a. Front Yard: Fifteen feet (15').*
- b. #1 Side Yard: Five feet (5').*
- c. Rear Yard: Fifteen feet (15').*

The drawings show that the rear setback is 10-feet, meeting the absolute, but incurring negative three (-3) points under the relative policy.

Social Community / Historic District (24/A&24/R):The Handbook of Design Standards for the Historic and Conservation Districts:

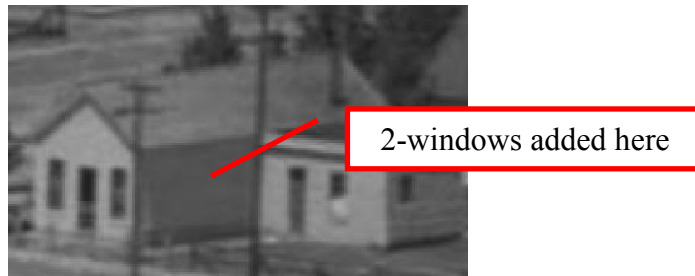
Design Standard: 23. Avoid removing or altering any historic material or significant features.

- Preserve original doors, windows and porches.*
- Preserve original facade materials.*
- Examples of historically significant architectural features are porches, turned columns, brackets, and jig-saw ornaments. Other significant elements may be the overall building form, or roof form.*

(Priority Policy) Design Standard: 76 - Avoid changing the position of historic windows.

- This is especially important on significant facades of Contributing Buildings.*
- Also, avoid adding new windows to facades visible from the street on Contributing Buildings.*
(Emphasis added.)

There are two new windows proposed in the historic structure and fabric in what staff considers a primary façade to the historic structure, highly visible from the front yard. There have never been any openings along this face (see historic photo below.)



(Priority Policy) Design Standards: 20. Respect the historic design character of the building.

- Any alteration that would cause a reduction in a building’s rating is not allowed. (Emphasis added.)

Staff believes that adding windows to this contributing building would fail Priority Policy 76 and Priority Policy 20. It would also incur negative points under Design Standard 23. We also believe the removal of historic fabric and the addition of windows may lower the current rating of “contributing” to a lower level.

Staff does not support the removal of historic fabric or the addition of new windows to the primary façade. Does the Commission concur?

Plant Material:

Design Standard 131. Use evergreen trees in front yards where feasible.

No evergreen trees are proposed in the front yard (Washington).

Design Standard: 132. Reinforce the alignment of street trees along property lines. “Planting new cottonwood trees along street edges is encouraged.” (Emphasis added.)

The plans are showing that no cottonwood trees are proposed. In addition, there are trees proposed in the abutting Town ROW. Executing and recording an encroachment license agreement will be added as a Condition of Approval for any off-site improvements. Additionally, if trees are to be planted in the ROW, the Town will require cottonwood trees be used to meet this design standard.

Policy: Plant materials should be used to mitigate negative visual impacts of existing structures that are out of scale. Plantings should also be used to minimize the visual impact of new service areas abutting adjacent properties and public ways.

Design Standard: 133. Use landscaping to mitigate undesirable visual impacts.

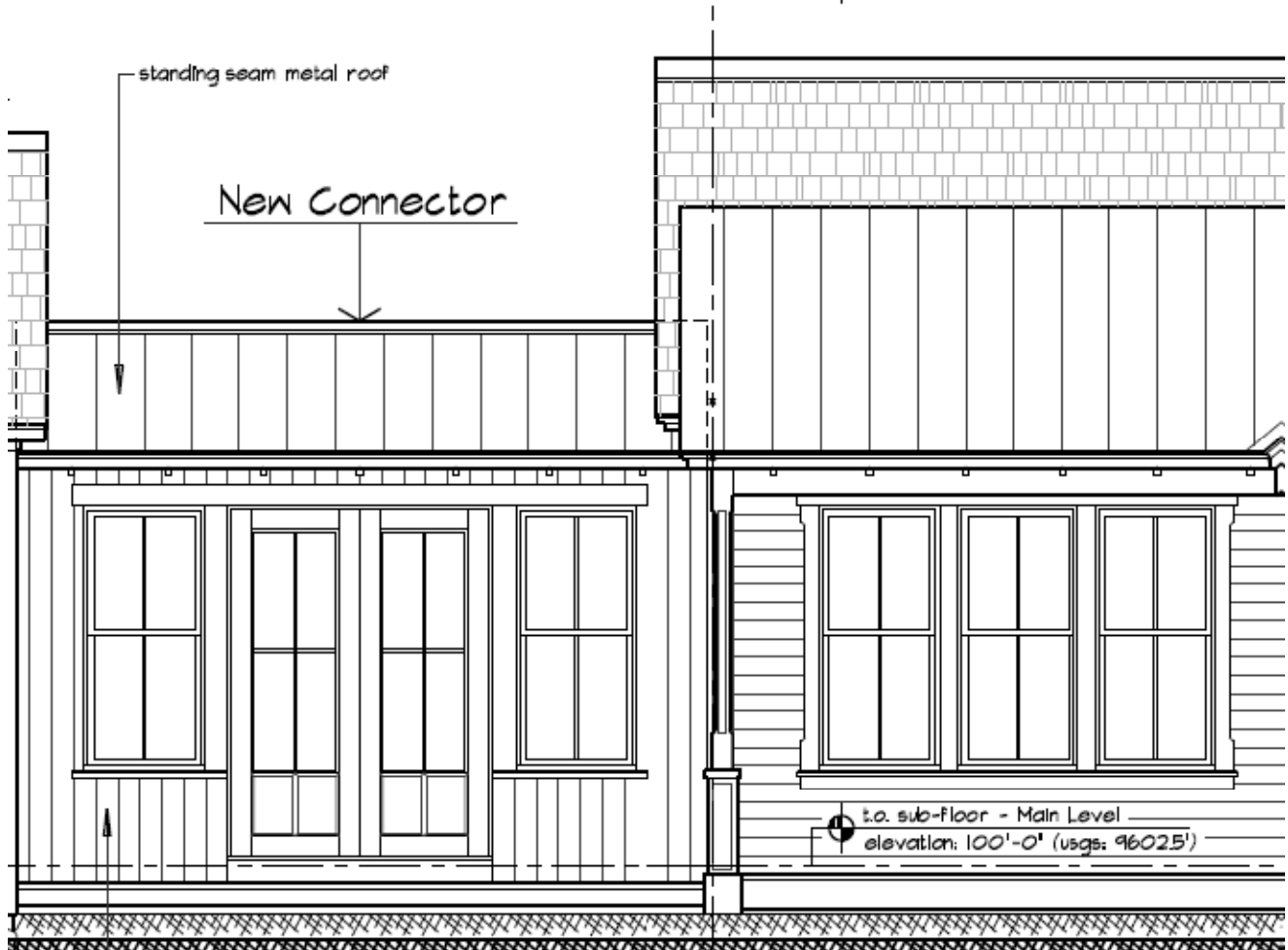
- Use large trees to reduce the perceived scale where larger building masses would abruptly contrast the historic scale of the area.
- Include hedges and other masses of lower-scale plantings to screen service areas.

The historic portion of the building is separated from the larger addition with a connector. The drawing shows a concrete patio and no plantings in front of the connector that separates masses as seen from the ROW. Staff believes that landscaping added here could be used to reduce the perceived scale where

larger building masses would abruptly contrast the historic scale of the area. Does the Commission concur?

(Priority Policy) Design Standard 80A. At the worksession, we heard some support of the proposed massing, stepping in at the corners and the separation the proposed connector provides for the new addition from the historic structure. Some commissioners expressed concern over the depth of the stepping for the facades

With the submitted plans, additional detail has been added showing fenestration to the connector.



Per this policy:

- 6. *A connector shall be visible as a connector. It shall have a simple design with minimal features and a gable roof form. A simple roof form (such as a gable) is allowed over a single door.* (Emphasis added.)

The south elevation, facing the Washington Avenue ROW is showing a pair of French doors flanked by double hung windows. Staff reminds the Commission that Policy 80A was recently modified in 2014 adding this language to require connectors to be simple in form as connectors were seen as becoming too ornate, detailed and large. (Staff notes that French doors have been allowed on other historic projects since 2014 when they are not facing a primary façade and generally hidden from view. This design does not qualify).

Staff believes that this design fails this section of Absolute Policy 80A. Does the Commission concur?

(Priority Policy) Design Standard: 96. Use a ratio of solid to void that is similar to those found on historic and supporting buildings.

Staff believes that the amount of ‘void’ shown on the image above is out of character and is not similar to those found on historic and supporting buildings. We believe it fails this Priority Policy. We welcome Commissioner comments.

Historic Preservation:

Additional on site preservation and restoration efforts beyond the requirements of the historic district guidelines for historic structures and sites as defined in chapter 11 of this title are strongly encouraged.

Positive points shall be awarded according to the following point schedule for on site historic preservation, or restoration efforts, in direct relation to the scope of the project, subject to approval by the planning commission. Positive points may be awarded to both primary structures and secondary structures.

A final point allocation shall be made by the planning commission based on the historic significance of the structure, its visibility and size. The construction of a structure or addition, or the failure to remove noncontributing features of a historic structure may result in the allocation of fewer positive points:

+6: On site historic preservation/restoration effort of above average public benefit.

Examples: Restoration/preservation efforts for windows, doors, roofs, siding, foundation, architectural details, substantial permanent electrical, plumbing, and/or mechanical system upgrades, plus structural stabilization and installation of a full foundation which fall short of bringing the historic structure or site back to its appearance at a particular moment in time within the town's period of significance by reproducing a pure style.

Provided the plans can overcome the issues related to failing priority policies and the negative points associated with the design standards, there is the possibility for positive six (+6) points under Policy 24/R for the restoration of the historic structure with revisions.

(Priority Policy) Design Standard 80. Respect the perceived building scale established by historic structures within the relevant character area.

• *An abrupt change in scale within the historic district is inappropriate, especially where a new, larger structure would directly abut smaller historic buildings.* (Emphasis added.)

• *Locating some space below grade is encouraged to minimize the scale of new buildings.*

Concerns were expressed at the last review about the overall mass of the addition. Addressing these concerns, the agent has slightly reduced the massing. Though the density and height are below the suggested maximums, the scale of this building will have a significant visual impact at this corner. We welcome any Commissioner comments.

Point Analysis (Section: 9-1-17-3):At this preliminary review, we have focused on key design issues that may have a significant impact on the overall design of this property. We have identified the following with this report:

From the Development Code:

(-3 points – Policy 9/R) For the 10-foot rear yard setback.

(-4 points - Policy 7/R) Site buffering along the north and east property lines.

Historic Standards (22/R)

(-3 points) Design Standard 132 - Planting cottonwoods encouraged.

(-3 points) Design Standard 23 - Avoid removing or altering historic material - for adding new windows in the historic structure and removing fabric.

(+6 points) Possible with revisions under Policy 24R Historic Preservation.

(Fail - Priority Policy 76) - Removal of historic fabric in primary façade - adding windows where there was none.

(Fail - Priority Policy 80A) - Connectors - Elevations show 3/4-lite French Doors flanked by double hung windows facing primary façade.

(Fail - Priority Policy 96) - Solid to void ratio in the connector.

At this initial review, the proposal is showing failure of 2 priority polices along with negative thirteen (-13) points with positive six (+6) points.

9-11-3:Designation of Landmarks, Landmark Sites, Historic Districts and Cultural Landscape Districts:The applicant is proposing to have the historic building locally landmarked in order to add the square footage in the basement for added livable area for the main house. (The accessory apartment is located beneath the connector and a portion of the addition.)

Provided the issues related to having a passing final score can be overcome, the following criteria must be met. Under the Town’s ordinance, the fundamental focus of the designation process is to try to determine if the proposed landmark has a “special historical or architectural value.”

The ordinance contains specific criteria that are to be used to determine whether a proposed landmark has the required special historical or architectural value. To be designated as a landmark, the property must: (1) meet a minimum age requirement; (2) have something special about either its architecture, social significance, or its geographical/environmental importance as defined in the ordinance; and (3) be evaluated for its “physical integrity” against specific standards described in the ordinance. Staff comments are in **bold**.

COLUMN “A”	COLUMN “B”	COLUMN “C”
The property must be at least 50 years old. (Having been built in 1885, the building is over 50-years old.)	The proposed landmark must meet at least ONE of the following 13 criteria: ARCHITECTURAL IMPORTANCE 1. The property exemplifies specific elements of architectural style or period. 2. The property is an example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.	The proposed landmark must meet at least ONE of the following 4 criteria: 1. The property shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation. <u>2. The property retains original design features, materials and/or character.</u> 3. The structure is on its original location or is in the same historic context after

3. The property demonstrates superior craftsmanship or high artistic value

4. The property represents an innovation in construction, materials or design.

5. The property is of a style particularly associated with the Breckenridge area. **(The simple “salt-box” gable form and the window trim is a classic form in Breckenridge.)**

6. The property represents a built environment of a group of people in an era of history.

7. The property includes a pattern or grouping of elements representing at least one of the above criteria.

8. The property is a significant historic remodel.

SOCIAL IMPORTANCE

9. The property is a site of an historic event that had an effect upon society.

10. The property exemplifies cultural, political, economic or social heritage of the community.

11. The property is associated with a notable person or the work of a notable person.

GEOGRAPHIC/ENVIRONMENTAL IMPORTANCE

12. The property enhances sense of identity of the community.

13. The property is an established and familiar natural setting or visual feature of the community

having been moved.

4. The structure has been accurately reconstructed or restored based on documentation.

Staff believes that by adding a window to the east elevation of the historic house, it will not qualify for the portions underlined above.

Staff Recommendation

Staff understands the difficulties of any new addition on this historic property. There is essentially no back yard. There are primary facades facing French Street and Washington Avenue making shielding any new development very difficult. In addition, many of the design criteria identified in the code are not easily remedied with this property layout.

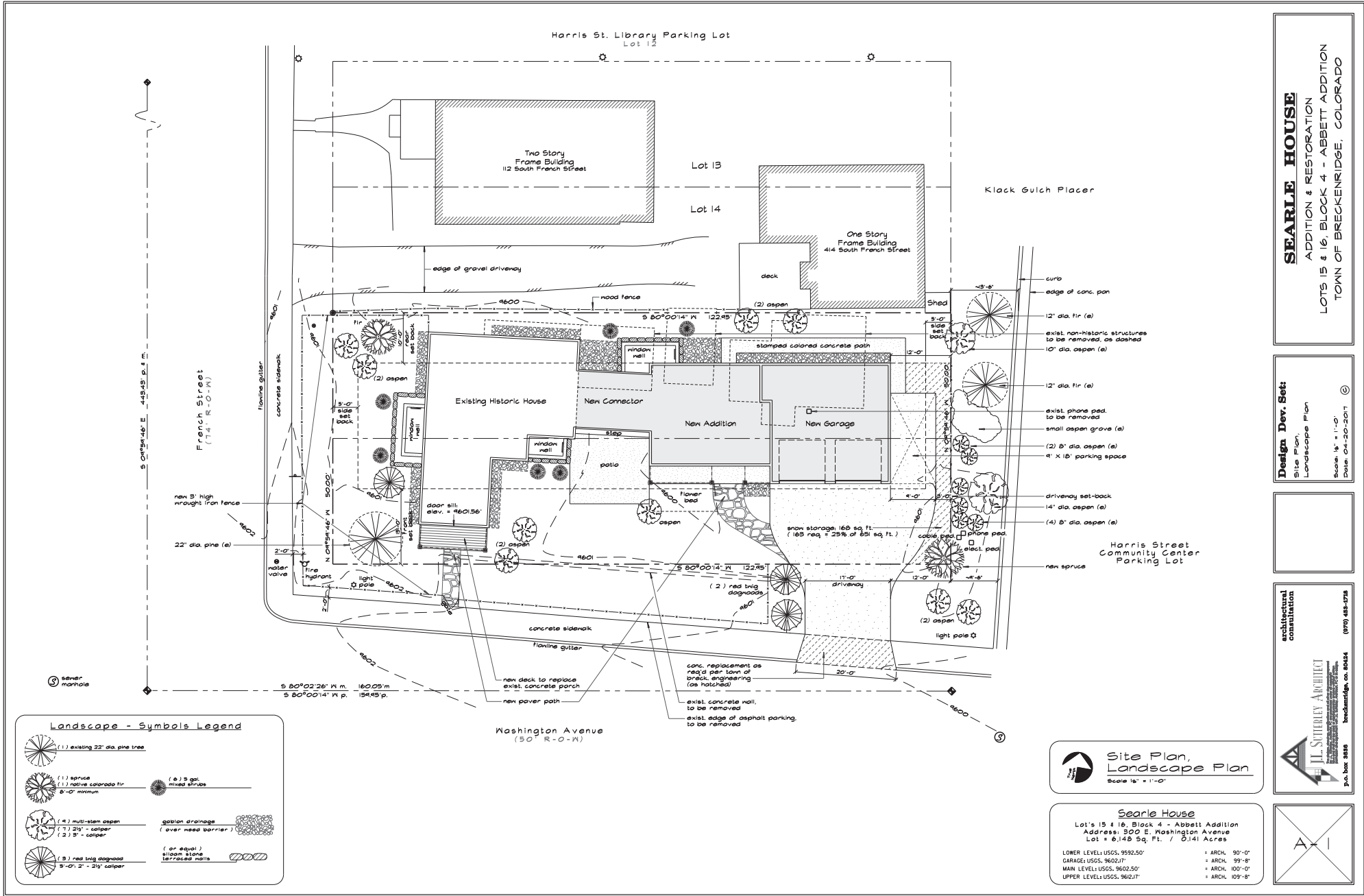
However, we believe that many of the issues are related to the overall intensity of the development on this prominent site. The extra parking space for the accessory apartment eliminates the opportunity for site buffering along the east property line. The overall massing, though it is below the recommended 9 units per acre (UPA), still fills the property end to end. We suggest placing more of the density below grade.

Additionally, the applicant is seeking local landmarking for this building to obtain extra density beneath the historic portion of the building. We believe that some of the proposed alterations to the historic structure may jeopardize the ability to meet the required criteria. We will have more information at a future meeting.

We have the following questions for the Commission:

1. Based on the above landmarking criteria, the historic house may be landmarked by meeting only one criteria in each of the 3 columns. However, staff believes by adding the windows to the historic structure (a priority policy) it will fail to meet the criteria listed as “The property retains original design features, materials and/or character”. Does the Commission support this property for local landmarking status?
2. Staff is suggesting negative four (-4) points under policy 7/R, Site and Environmental Design, for minimal to no buffering along the north and east property lines. Does the Commission concur?
3. Staff does not support the removal of historic fabric or the change to the primary façade with the additions of windows on the east side of the historic building as it does not comply with Priority Policy 76 & 20. Does the Commission agree?
4. The drawings show a concrete patio and no plantings at the connector as seen from the ROW. Staff believes that added landscaping here could to reduce the perceived scale where larger building masses would abruptly contrast the historic scale of the area. Does the Commission concur?
5. The connector facing the Washington Avenue ROW is showing a pair of French doors flanked by double hung windows. Staff believes that this design fails section 6 of Absolute Policy 80A, Connectors and Design Standard 96. Does the Commission concur?
6. Does the Commission believe the perceived scale of the building respects the scale of the nearby historic structures?

The Planning Department recommends this proposal return for a second review.



SEARLE HOUSE
 ADDITION & RESTORATION
 LOTS 15 & 16, BLOCK 4 - ABBETT ADDITION
 TOWN OF BRECKENRIDGE, COLORADO

Design Dev. Set:
 Site Plan
 Landscape Plan
 Scale: 1/8" = 1'-0"
 Date: 04-20-2017



architectural
 consultation
 (970) 455-5755



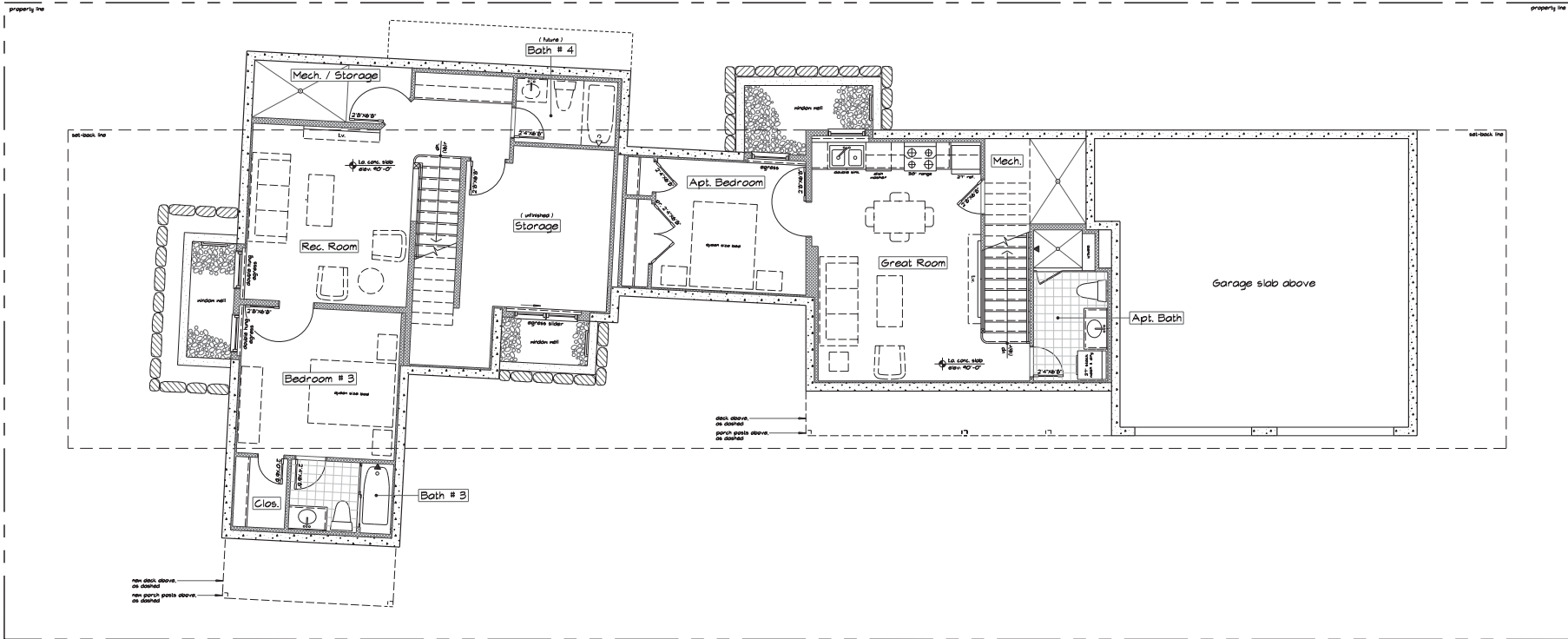
Landscape - Symbols Legend

	(1) existing 22' dia. pine tree		(5) 5 gal. mixed shrubs
	(1) spruce		(1) native Colorado fir 8'-10' minimum
	(2) multi-stem aspen		gabion drainage (over weed barrier)
	(7) 3 1/2\"/>		(2) 2 1/2\"/>
	(3) red big dogwood 8'-10\", 2\"/>		(or equal) silicon stone terraced walls

Site Plan, Landscape Plan
 Scale 1/8" = 1'-0"

Searle House
 Lot's 15 & 16, Block 4 - Abbett Addition
 Address: 300 E. Washington Avenue
 Lot = 6,148 Sq. Ft. / 0.141 Acres

LOWER LEVEL: USGS, 9592.50'	= ARCH, 90'-0"
GARAGE: USGS, 9602.07'	= ARCH, 99'-8"
MAIN LEVEL: USGS, 9602.50'	= ARCH, 100'-0"
UPPER LEVEL: USGS, 9612.07'	= ARCH, 109'-8"



new steel stairs
or concrete
new porch posts above
as shown

steel stairs
on concrete
new porch posts above
as shown

1
A-2



**Lower Level
Floor Plan**

Scale: 1/4" = 1'-0"

Historic Sq. Ft.	= 842 (gross)
Accessory Unit Sq. Ft.	= 848
Minus Mechanical Sq. Ft.	= -24
Total Lower Level Density	= 564

SEARLE HOUSE
ADDITION & RESTORATION
LOTS 15 & 16, BLOCK 4 - ABBETT ADDITION
TOWN OF BRECKENRIDGE, COLORADO

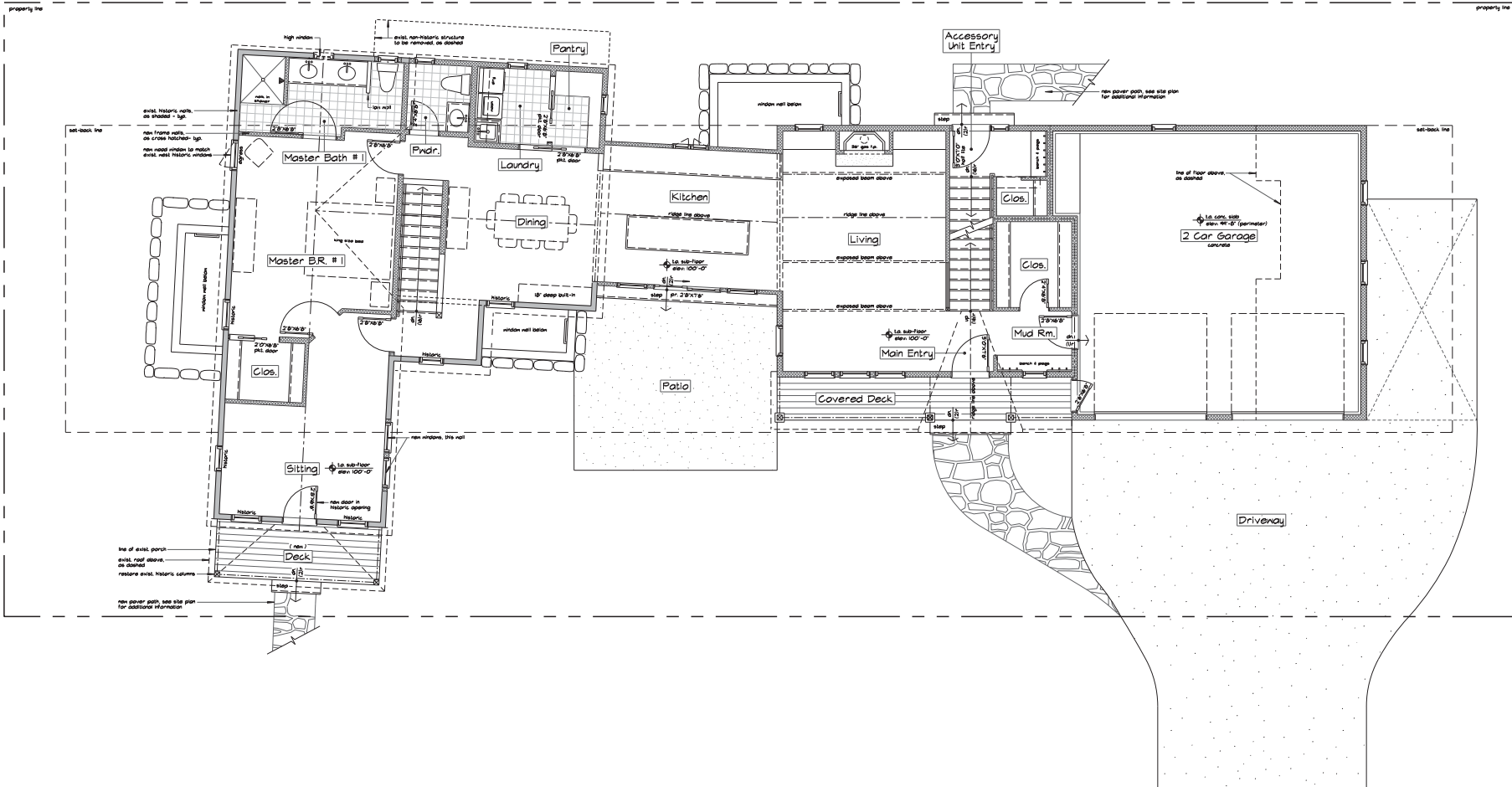
Floor Plans
Lower Level
Scale: 1/4" = 1'-0"
Date: 04-20-2017



architectural
consultation

J.L. SUTTERLY ARCHITECT
1000 14th Street, Suite 100
Breckenridge, CO 80424
P.O. Box 8888
(970) 455-3728





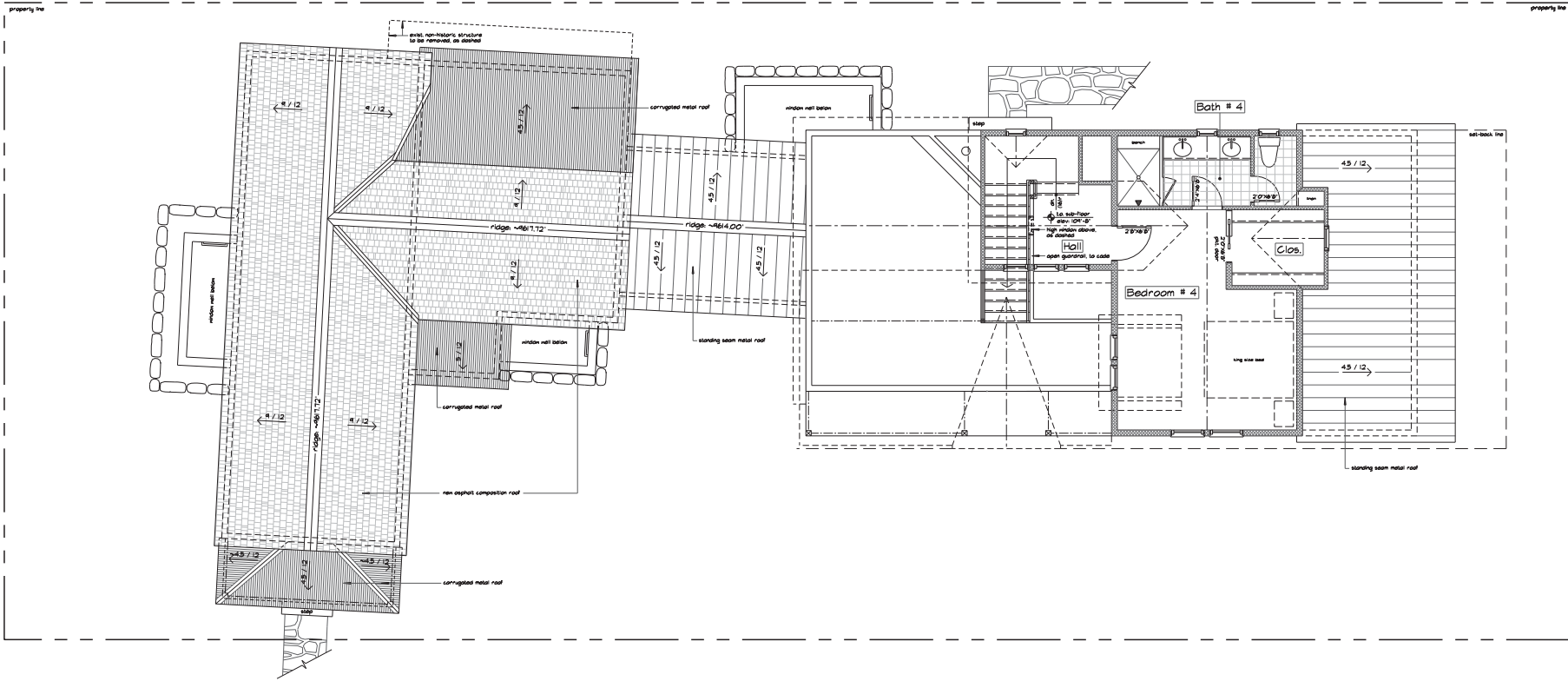
SEARLE HOUSE
 ADDITION & RESTORATION
 LOTS 15 & 16, BLOCK 4 - ABBETT ADDITION
 TOWN OF BRECKENRIDGE, COLORADO

Floor Plans
 Main Level
 Scale: 1/4" = 1'-0"
 Date: 01-20-2017

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 BRECKENRIDGE, CO 80424
 P.O. BOX 9889
 (970) 455-3728

Main Level Floor Plan	
Scale: 1/4" = 1'-0"	
Historic Sq. Ft.	= 842
Minus Historic Sq. Ft.	= -38
Total Historic Sq. Ft.	= 804
Addition Sq. Ft.	= 548
Accessory Unit Sq. Ft.	= 50
Total Main Level Density	= 1,302
Garage Sq. Ft. (Mass)	= 588





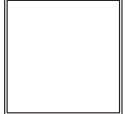
1
A-4

Roof Plan
Scale: 1/4" = 1'-0"

Upper Level Floor Plan
Scale: 1/4" = 1'-0"
Total Upper Level Density = 410

SEARLE HOUSE
ADDITION & RESTORATION
LOTS 15 & 16, BLOCK 4 - ABBETT ADDITION
TOWN OF BRECKENRIDGE, COLORADO

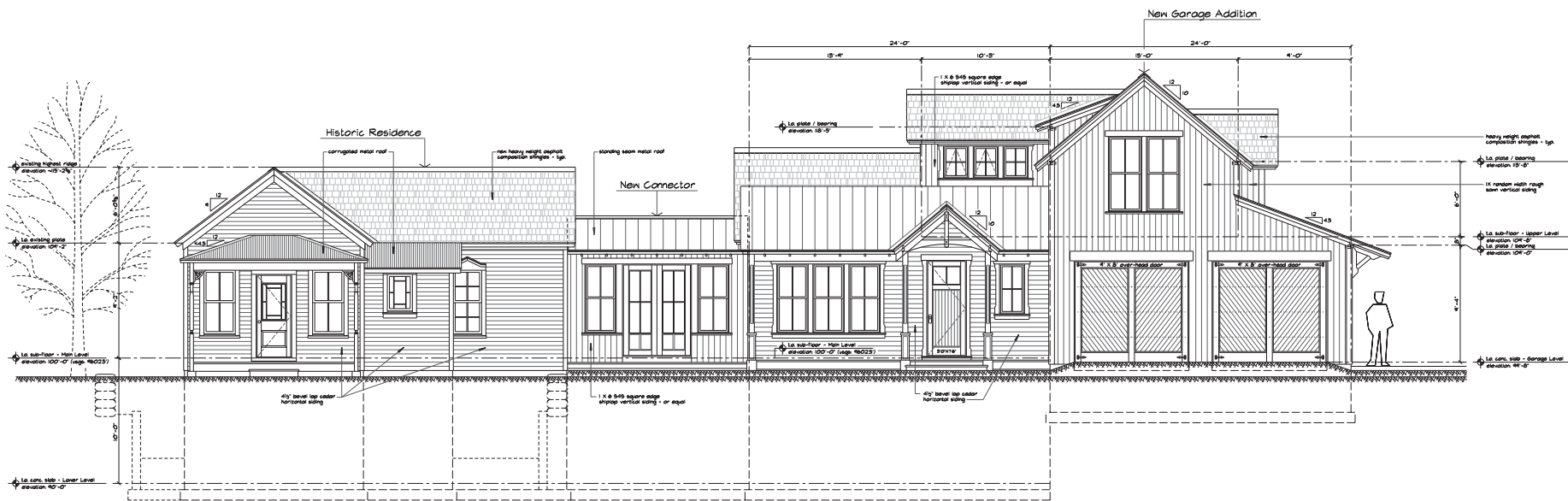
Floor Plans
Upper Level
Scale: 1/4" = 1'-0"
Date: 04-20-2011



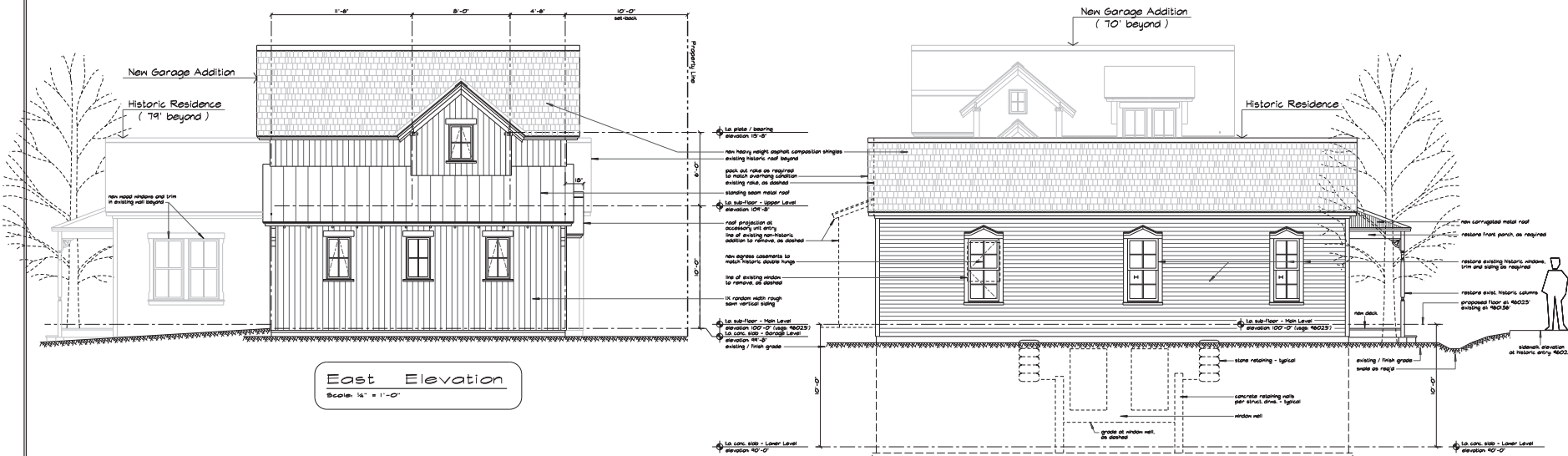
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South Elevation
Scale: 1/4" = 1'-0"



East Elevation
Scale: 1/4" = 1'-0"

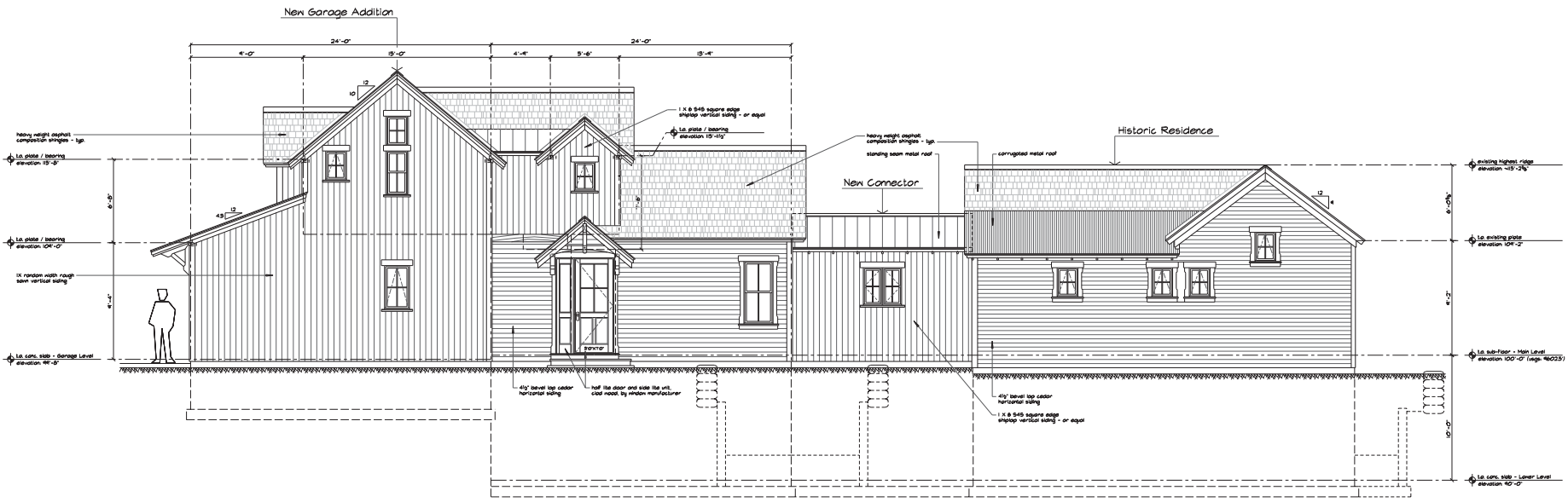
West Elevation
Scale: 1/4" = 1'-0"

SEARLE HOUSE
ADDITION & RESTORATION
LOTS 15 & 16, BLOCK 4 - ABBETT ADDITION
TOWN OF BRECKENRIDGE, COLORADO

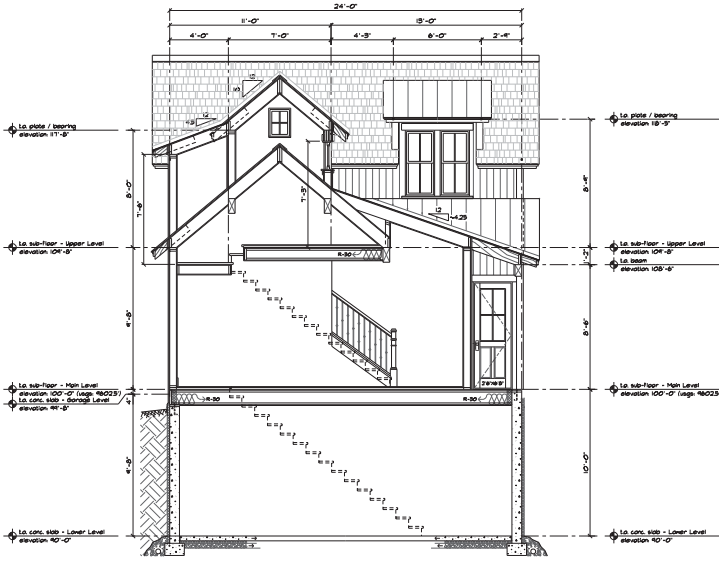
Exterior Elevations:
Scale: 1/4" = 1'-0"
Date: 04-20-2017

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p.o. box 8849 (970) 455-3718

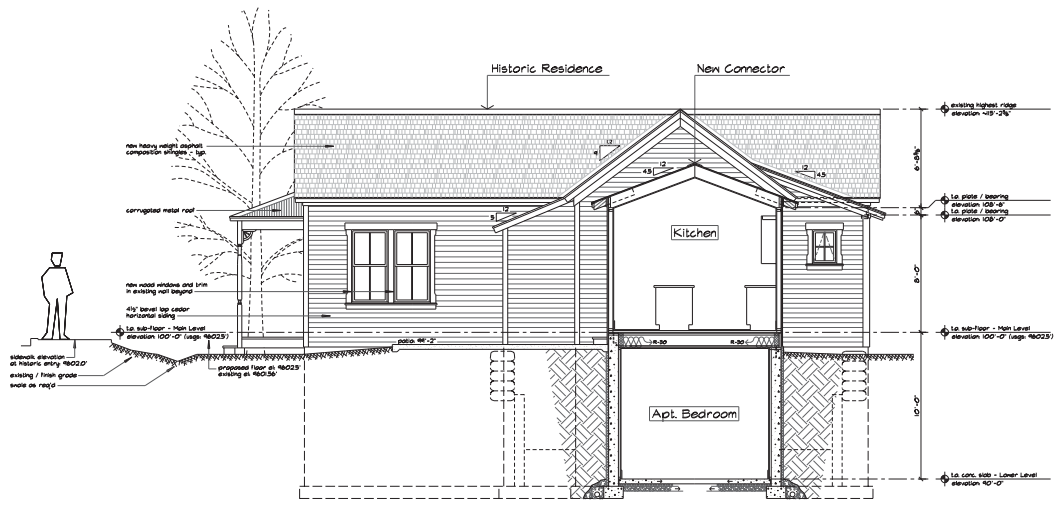




North Elevation
Scale: 1/8" = 1'-0"



Working Section: A
Scale: 1/8" = 1'-0"



Building Section "B"
Scale: 1/8" = 1'-0"

SEARLE HOUSE
ADDITION & RESTORATION
LOTS 15 & 16, BLOCK 4 - ABBETT ADDITION
TOWN OF BRECKENRIDGE, COLORADO

Exterior Elevations,
Building Sections
Scale: 1/8" = 1'-0"
Date: 04-20-2017



architectural
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p.o. box 8849 (970) 658-3718



Planning Commission Staff Report

Subject: Gold Pan Saloon/Restaurant Restoration and Addition
(Class B Historic, CombinedHearing; PL-2017-0069)

Proposal: To remove 187 square feet of non-historic area and expand the existing kitchen. A historic roof form will be restored and paving and landscaping added to the west side of the property.

Date: April 20, 2017 (For meeting of May 2, 2017)

Project Manager: Michael Mosher, Planner III

Applicant/Owner: Silverheels Inn, Inc.

Agent: Janet Sutterley, Architect

Address: 103 North Main Street

Legal Description: Bartlett and Shock, Lots 81 & 82
Site Area: 0.13 acres (5,950 sq. ft.)

Land Use District: LUD 19 - Commercial Uses - 1:1 Floor Area Ratio (FAR); 20 Units per Acre (UPA)

Historic District: 6: Core Commercial

Site Conditions: The property is home to the historic Gold Pan Saloon/Restaurant, with parking and a dumpster enclosure in the rear of the property. The southwest corner of the lot contains a phone/TV pedestal and an electrical transformer and meter.

Adjacent Uses: **North:** Bangkok Happy Bowl (Elk Building)
South: Sterling Building multi-unit commercial
West: Alley and Schoonover Building
East: N. Main Street and Breckenridge Town Square Mall

Density: Allowed under LUGs: 5,950 sq. ft.
Existing density: 5,025sq. ft.

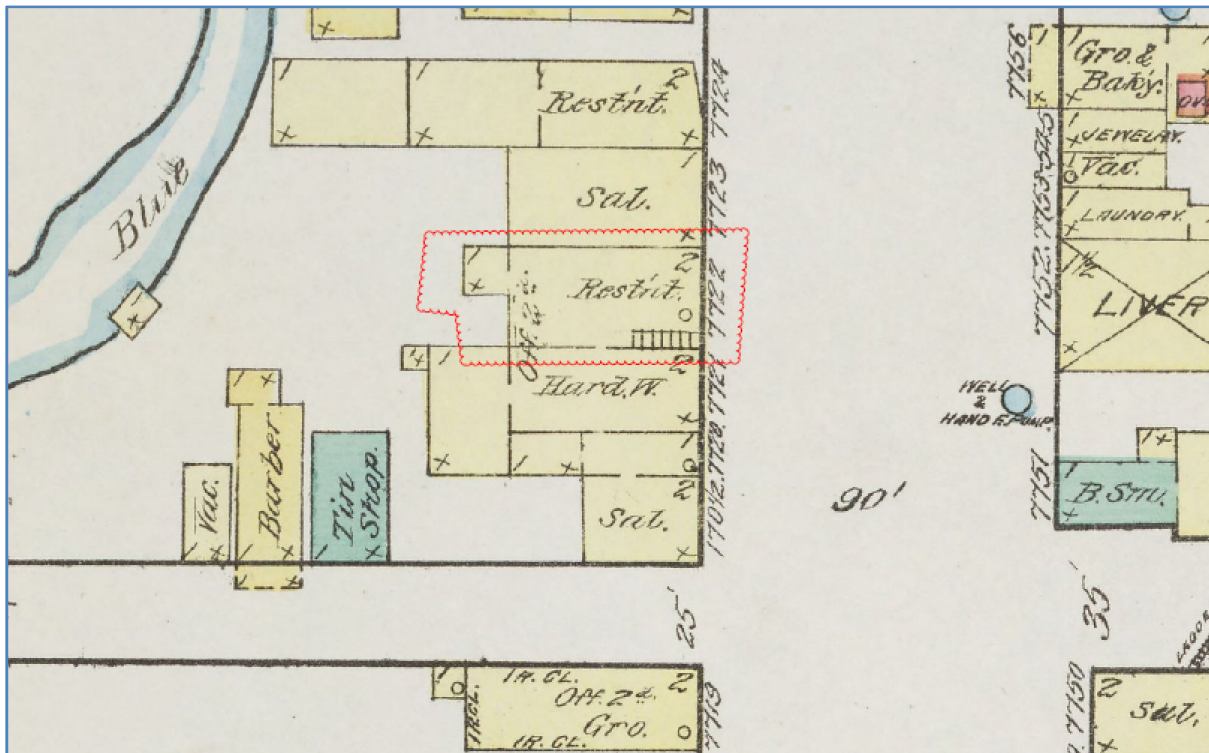
Mass: Allowed under LUGs: 5,950 sq. ft.
Proposed mass: 5,025sq. ft.

Parking: Required: 5 spaces on-site
Proposed: 5 spaces on-site
The remaining required parking spaces are located in the Parking Service Area.
There is no additional parking required with this proposal.

Setbacks: Front: 0 ft.
Sides: 0 ft.

Item History

The historic north portion of the Gold Pan Saloon/Restaurant building shows on the historic Sanborn Maps as far back as 1883. The south building was a hardware store at this time (it is now the bar). Over time, the small rectangular extension off the west end of the Gold Pan Saloon/Restaurant has been encapsulated with an upper level built over the existing roof. The original fascia of this portion is all that remains along the west facade.



A second story was added over the south building in 1911.

At the June 2, 2015 Planning Commission meeting, the Commission approved Gold Pan North Exterior Siding Alteration, PL-2015-0087, to install 22-gauge corrugated rusted steel on the exterior of the first floor on the north elevation. The second floor exterior was sided with vertical pine shiplap siding of various widths. This application will carry these finishes around the corner of the building to the northwest elevation.

This application was advertised as a Combined Hearing as the issues involved in the proposed project are such that no useful purpose would be served by requiring two separate hearings.

Staff Comments

The overall concept for this proposal is to expand the existing kitchen facilities and, in the process, bring the small rectangular extension off the west, back in form, recreating the roof and a portion of the exterior. The kitchen expansion will extend beyond the west wall of the original form, but will have a lower ridgeline and the footprint will step in from the northeast corner (see attached plans).

Land Use (Policies 2/A& 2/R):There is no change of use proposed. The current saloon and restaurant with residential apartments above conforms to the suggested uses in Land Use District 19. We have no concerns.

Density/Intensity (3/A& 3/R)/Mass (4/R):There is no change to the proposed density. The plan is to remove the 187 square foot area over the historic portion and place the same square footage of 187 square feet onto the main level as an extension to the kitchen. The density and mass remain the same. We have no concerns.

Architectural Compatibility (5/A & 5/R):The west side of the Gold Pan Saloon/Restaurant is sheathed in badly weathered painted horizontal lap siding. Staff is certain this siding is quite old, and uncertain whether it is historic, but it is in very poor condition. The west edge of smaller historic portion of the original building is highlighted below.



The applicant is proposing new wood siding on the entire west elevation. The multiple roof forms on the west elevation will be ‘cleaned up’ with simpler forms and newer materials. The historic “original” roof form shown above will be rebuilt as a full roof - not just the facade.

Building Height (6/A& 6/R):Building height will remain the same. The living space over the historic portion will be removed bringing the height to the original location of the gable roof. This will bring the overall appearance of this elevation into conformance with other historic structures in the Character Area. Architectural details related to the Design Standards for the Historic District are reviewed below under Policy 24/R.

Placement Of Structures (9/A & 9/R):The building has apartments on the upper level and the saloon/restaurant on the main level. The only change from the existing building footprint will be the kitchen expansion. As a commercial use, zero setbacks are allowed. The distance from the north-side property line is 5-feet. The distance from the west-rear property line is 40-feet. We have no concerns.

Snow Removal And Storage (13/R):The paving and parking area at the back of the lot will be improved with asphalt, landscaping and the existing parking delineated. Similar to the neighboring properties, the parking is tight and snow storage is limited. The proposed kitchen addition increases the area available for the parking area. There is no significant change from the existing snow storage area.

Parking (18/A & 18/R):The agent worked with staff to define the existing on-site parking and verified that 5-parking spaces are available behind the building. The proposed improvements maintain this number. The remaining required parking is previously identified in the Parking Service Area. Staff has no concerns.

Landscaping (22/A& 22/R):There is currently no landscaping behind the Gold Pan Saloon/Restaurant building. The drawings show that one 6-foot tall spruce and 3-1.5 inch caliper aspens are proposed. Additionally, 2-native 5-gallon shrubs are shown.

Social Community / Employee Housing (24/A&24/R): With no square footage being added there is no requirement for employee housing. Staff notes, that the applicant has always maintained housing on the upper level of the Gold Pan. Though there is no employee restriction associated with the units, the applicant has typically housed employees of the Gold Pan in these units.

Social Community / Conservation District (24/A &24/R):Per this section of the policy: *Within the conservation district, which contains the historic district, compatibility of a proposed project with the surrounding area and the district as a whole is of the highest priority. Within this district, the preservation and rehabilitation of any historic structure or any "town designated landmark" or "federally designated landmark" on the site (as defined in chapter 11 of this title) is the primary goal. Any action which is in conflict with this primary goal or the "handbook of design standards" is strongly discouraged, while the preservation of the town's historic fiber and compliance with the historic district design standards is strongly encouraged. Applications concerning development adjacent to Main Street are the most critical under this policy.*

The only changes proposed to the building are off the west elevation. The multiple non-conforming additions will be rebuilt to better conform to the standards defined in the *Handbook of Design Standards*.

Simple gable and shed forms are proposed with masses consistent with neighboring historic structures and the design standards. Priority Policy 219 is being met which states, *"Building heights should step down to the rear of properties to retain the lower scale that is traditional on alleys."*

To maintain consistency with the materials approved on the north elevation, the northern end of the building will also use the 22-gauge corrugated rusted steel on the exterior of the first floor with the second floor exterior sided with vertical pine shiplap siding of various widths.

The remaining siding on the historic structures will be re-sided with horizontal cedar siding using a 4-1/2-inch reveal to match the existing siding. The kitchen expansion, attached to the reconstructed historic portion, will be finished as an 'out-building' with a dark stained vertical cedar siding. This same finish is proposed on the non-historic portion on the south building. See the attached west elevation. Staff has no concerns with the proposed materials and finishes.

The existing exterior stairs to the upper level are to be rebuilt, simplified and will function as a visual separator between the north and south buildings. After removal of the 187 square foot non-historic upper level (over the historic roof to be reconstructed) a new, building code compliant, egress window will be added to the bedroom above. This window is vertically oriented and double hung. We have no concerns.

Overall, the proposed kitchen expansion allowed for multiple improvements to this elevation. Staff and the agent will answer questions and describe this in more detail at the hearing.

Drainage (27/A& 27/R): With the improvements and landscaped areas being proposed in the parking area, staff anticipates improvements to the existing drainage for the property. The standard Condition of approval will be included: *Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.* We have no concerns

Point Analysis (Section: 9-1-17-3):As submitted, this proposal has met all Absolute Policies in the Development Code and has not been awarded any positive or negative points under any applicable Relative Policies. The project passes with a score of zero (0) points.

Staff Recommendations

Overall, staff welcomes the improvements to the back of this important site. Specifically, reintroducing most of the original small addition that is shown on the Sanborn Maps.

Staff asks the Commission if they are supportive of continuing the exterior finishes from the existing north elevation around the corner to a portion of the west elevation. We also welcome any Commissioner comments on any part of the application.

The Planning Department recommends approval of the Gold Pan Saloon/Restaurant Restoration and Addition, showing a passing score of zero (0) points along with the attached Findings and Conditions.

Final Hearing Impact Analysis				
Project:	Gold Pan Saloon/Restaurant Restoration and Addition	Positive Points	0	
PC#:	PL-2017-0069			
Date:	4/20/2017	Negative Points	0	
Staff:	Mixhael Mosher, Planner III			
		Total Allocation:	0	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)	0	There is no change of use proposed. The current saloon and restaurant with housing above conforms to the suggested uses in Land Use District 19.
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		There is no change to the proposed density. The plan is to remove the 187 square foot area over the historic portion and place it on the main level as an extension to the kitchen. The density and mass remain the same.
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		The applicant is proposing new wood siding on the entire west elevation. The multiple roof forms on the west elevation will be 'cleaned up' with simpler forms and newer materials.
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District		0	The overall building height will remain the same. The living space over the historic portion will be removed bringing the height to the original location of the gable roof. This will bring the overall appearance of this elevation conform to other historic structures in the Character Area.
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		

9/R	Placement of Structures - Setbacks	3x(0/-3)	0	The building has apartments on the upper level and the saloon/restaurant on the main level. The only change from the existing building footprint will be the kitchen expansion. As a commercial use, zero setbacks are allowed. The distance from the north-side property line is 5-feet. The distance from the west-rear property line is 40-feet.
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		The paving and parking area at the back of the lot will be improved with asphalt, landscaping and the existing parking delineated. Similar to the neighboring properties, the parking is tight and snow storage is limited. The proposed kitchen addition increases the area available for the parking area. There is no significant change from the existing snow storage area.
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking - Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)	0	The agent worked with staff to define the existing on-site parking and verified that 5-parking spaces are available behind the building. The proposed improvements maintain this number. The remaining required parking is previously identified in the Parking Service Area.
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)	0	There is currently no landscaping behind the Gold Pan Saloon/Restaurant building. The drawings show that one 6-foot tall spruce and 3-1.5 inch caliper aspens are proposed. Additionally, 2-native 5-gallon shrubs are shown.
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		With no added square footage being added there is no requirement for employee housing. Staff notes, that the applicant has always maintained housing on the upper level of the Gold Pan. Though there is no employee restriction associated with the units, the applicant has typically housed employees for the Gold Pan in these units.
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		

24/R	Social Community - Historic Preservation	3x(0/+5)		Overall, the proposed kitchen expansion allowed for multiple improvements to this elevation.
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		With the improvements and landscaped areas being proposed in the parking area, staff anticipates improvements to the existing drainage for the property. The standard Condition of approval will be included: Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37/R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37/R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		

38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		
50/A	Wireless Communications Facilities	Complies		

TOWN OF BRECKENRIDGE

**Gold Pan Saloon/Restaurant Restoration and Addition
Bartlett and Shock, Lots 81 & 82
103 North Main Street
PL-2017-0069**

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve this application with the following findings and conditions.

FINDINGS

1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 20, 2017** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 2, 2017** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.
7. The issues involved in the proposed project are such that no useful purpose would be served by requiring two separate hearings.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires three years from date of issuance, on **May 9, 2020**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.

5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
7. Applicant shall notify the Town of Breckenridge Community Development Department (970-453-3160) prior to the removal of any building materials from the historic building. Applicant shall allow the Community Development Department to inspect the materials proposed for removal to determine if such removal will negatively impact the historic integrity of the property. The Applicant understands that unauthorized removal of historic materials may compromise the historic integrity of the property, which may jeopardize the status of the property as a local landmark and/or its historic rating, and thereby the allowed basement density. Any such action could result in the revocation and withdrawal of this permit.
8. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

9. **Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.**
10. Applicant shall contact the Town of Breckenridge and schedule a preconstruction meeting between the Applicant, Applicant's architect, Applicant's contractor and the Town's project Manager, Chief Building Official and Town Historian to discuss the methods, process and timeline for restoration efforts to the historic building(s).
11. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
12. Applicant shall submit a 24"x36" mylar copy of the final site plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar.
13. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

14. Applicant shall revegetate all disturbed areas where revegetation is called for, with a minimum of 2 inches topsoil, seed and mulch.
15. Applicant shall paint all flashing, vents, flues, rooftop mechanical equipment and utility boxes on the building a flat, dark color or to match the building color.

16. Applicant shall screen all utilities.
17. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward.
18. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
19. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.
20. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
21. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
22. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)

ALUM. CAP./BASELINE SURVEYS
IN MONUMENT BOX (TYP.)
OPPOSITE LOT LINE FOR 70 & 71

LOT B
SAWMILL STATION
SQUARE FIL. 2

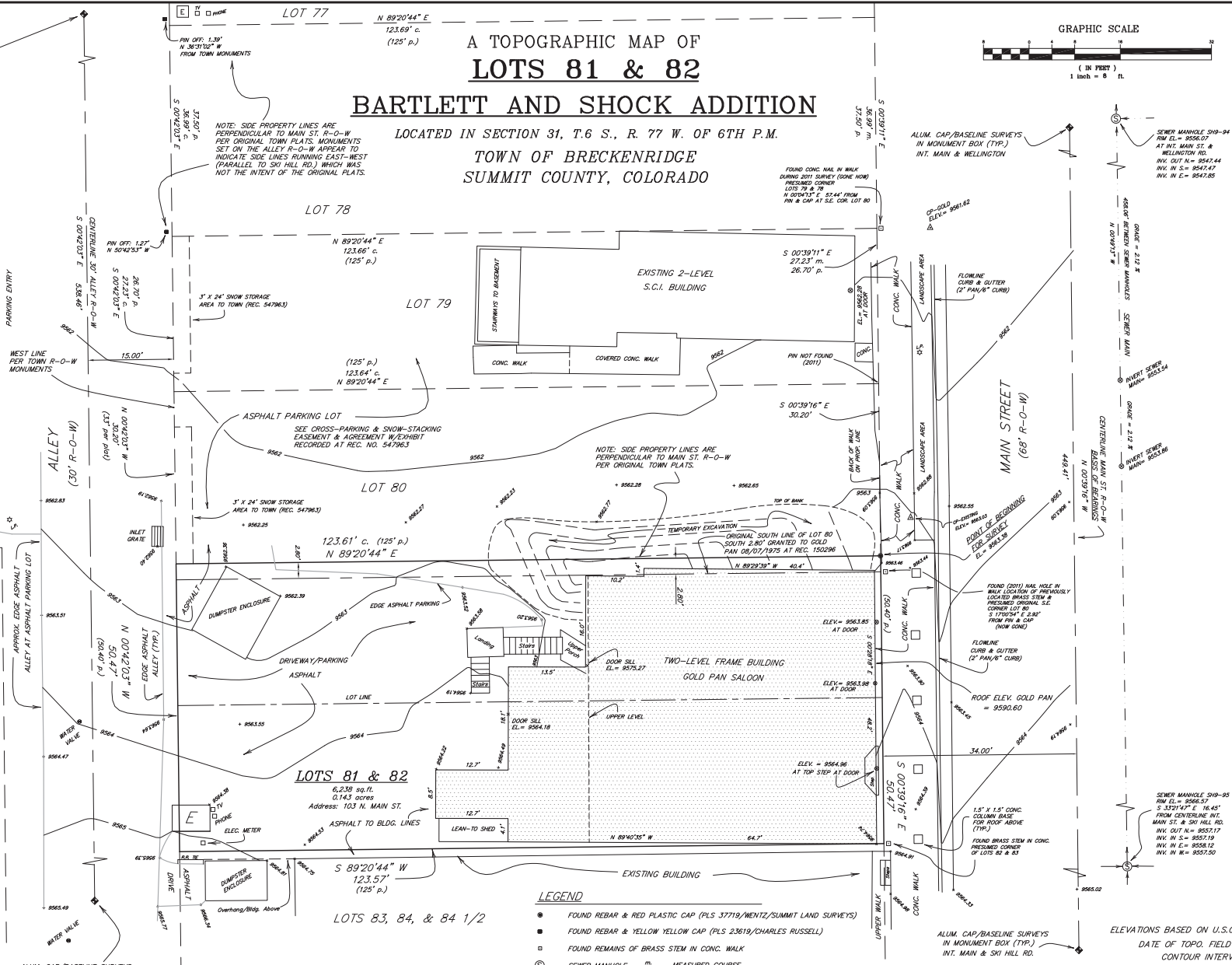
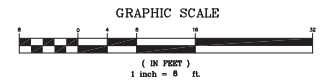
(REC. NO. 179246)
UNPLATTED EXCEPTION
(TOWN OF BRECKENRIDGE)

ALUM. CAP./BASELINE SURVEYS
IN MONUMENT BOX (TYP.)
INT. ALLEY & SKI HILL RD.
ELEV. = 9566.79

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMBINE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMBINED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

A TOPOGRAPHIC MAP OF LOTS 81 & 82 BARTLETT AND SHOCK ADDITION

LOCATED IN SECTION 31, T.6 S., R. 77 W. OF 6TH P.M.
TOWN OF BRECKENRIDGE
SUMMIT COUNTY, COLORADO



- LEGEND**
- FOUND REBAR & RED PLASTIC CAP (PLS 37719/WENTZ/SUMMIT LAND SURVEYS)
 - FOUND REBAR & YELLOW YELLOW CAP (PLS 23619/CHARLES RUSSELL)
 - FOUND REMAINS OF BRASS STEM IN CONC. WALK
 - ⊙ SEWER MANHOLE m. MEASURED COURSE
 - ⊙ WATER VALVE p. PLATTED COURSE
 - ⊙ UTILITY PEDESTAL c. CALCULATED COURSE
 - ⊙ LIGHT POLE Ⓢ x SPOT ELEVATION
 - ⊙ RANDOM SURVEY CONTROL POINT

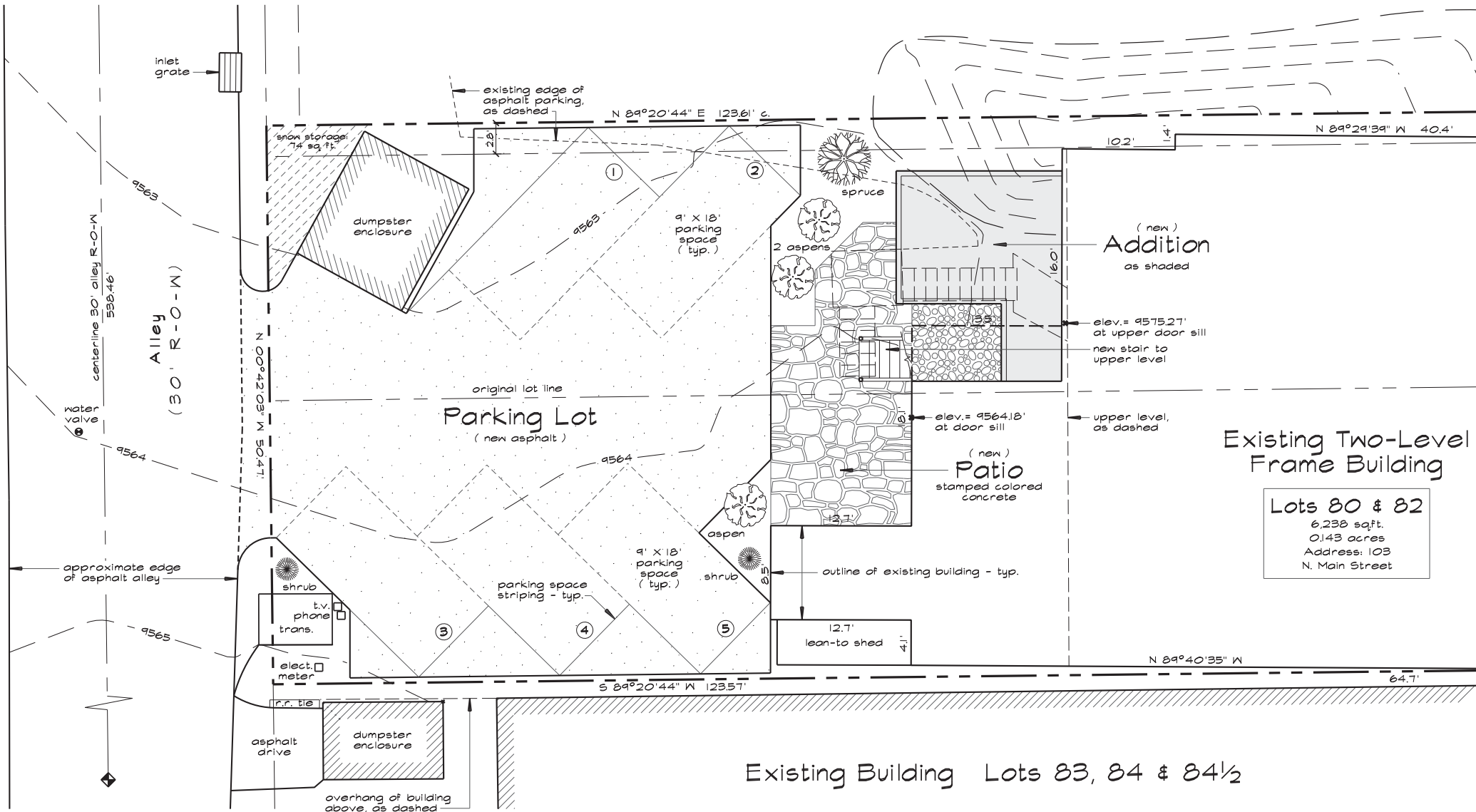
CONTROL NOTE:
CONTROL IS BASED ON CENTERLINE RIGHT-OF-WAY MONUMENTS IN MAIN ST. AND THE ALLEY AND THE RELATED RIGHT-OF-WAY PLAT FOR THE BARTLETT AND SHOCK ADDITION PREPARED BY BASELINE SURVEYS FOR THE TOWN OF BRECKENRIDGE AND FOUND MONUMENTS ALONG THE WEST R-O-W FOR MAIN ST. AS SHOWN.

ELEVATIONS BASED ON U.S.G.S. SEA LEVEL DATUM (1929)
DATE OF TOPO. FIELD SURVEY: 06/08/2015
CONTOUR INTERVAL = ONE FOOT

Drawn TCB	Dwg 21479TP.DWG	Project 21479
Checked TCB	Date 06/22/2015	Sheet 1 of 1

R-A-N-G-E-W-E-S-T
ENGINEERS & SURVEYORS INC.
P.O. Box 589
Silverthorne, CO 80498 970-468-6281





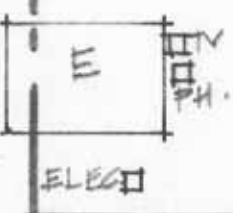
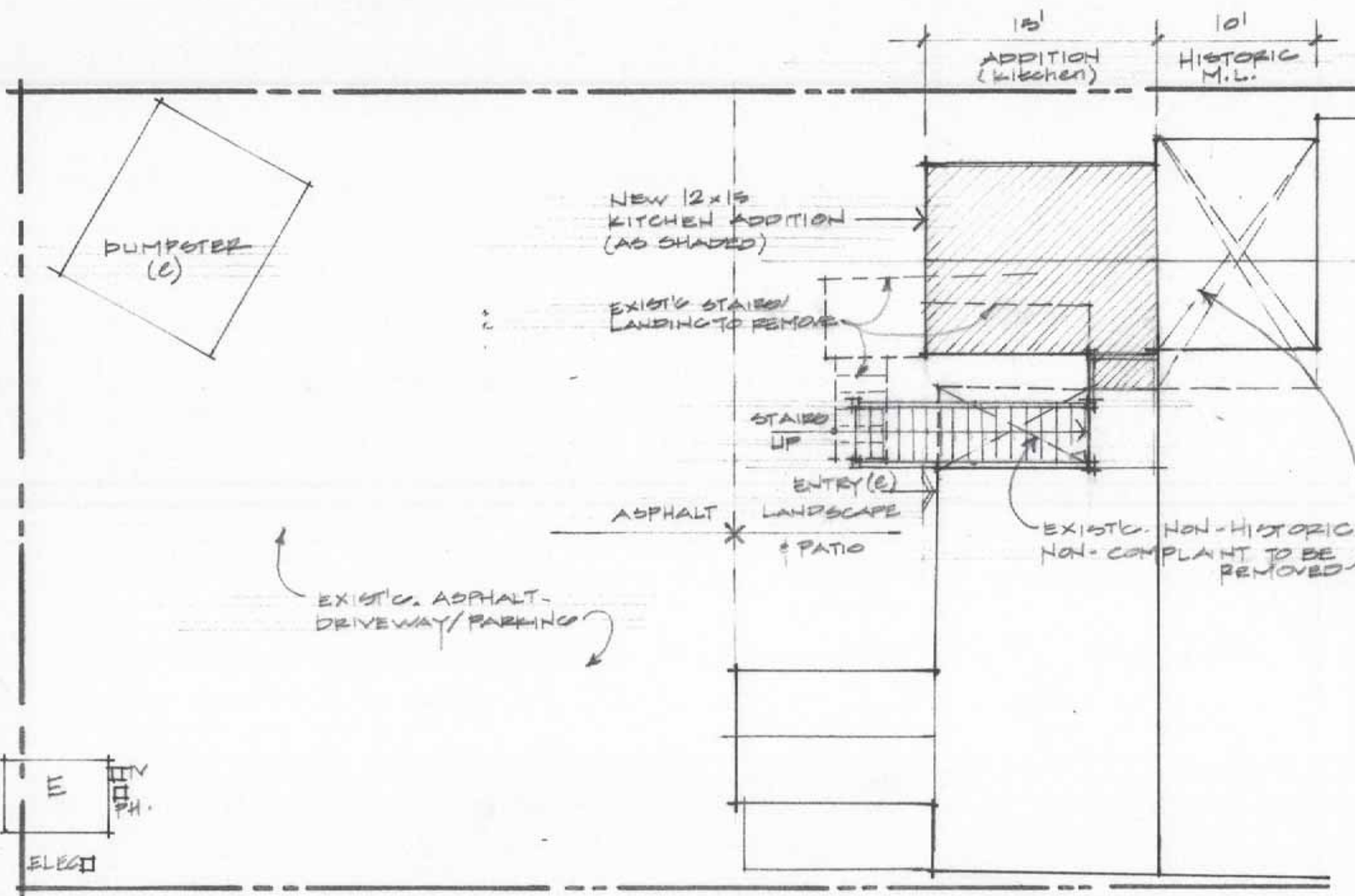
Existing Two-Level
Frame Building

Lots 80 & 82
6,238 sq.ft.
0.143 acres
Address: 103
N. Main Street

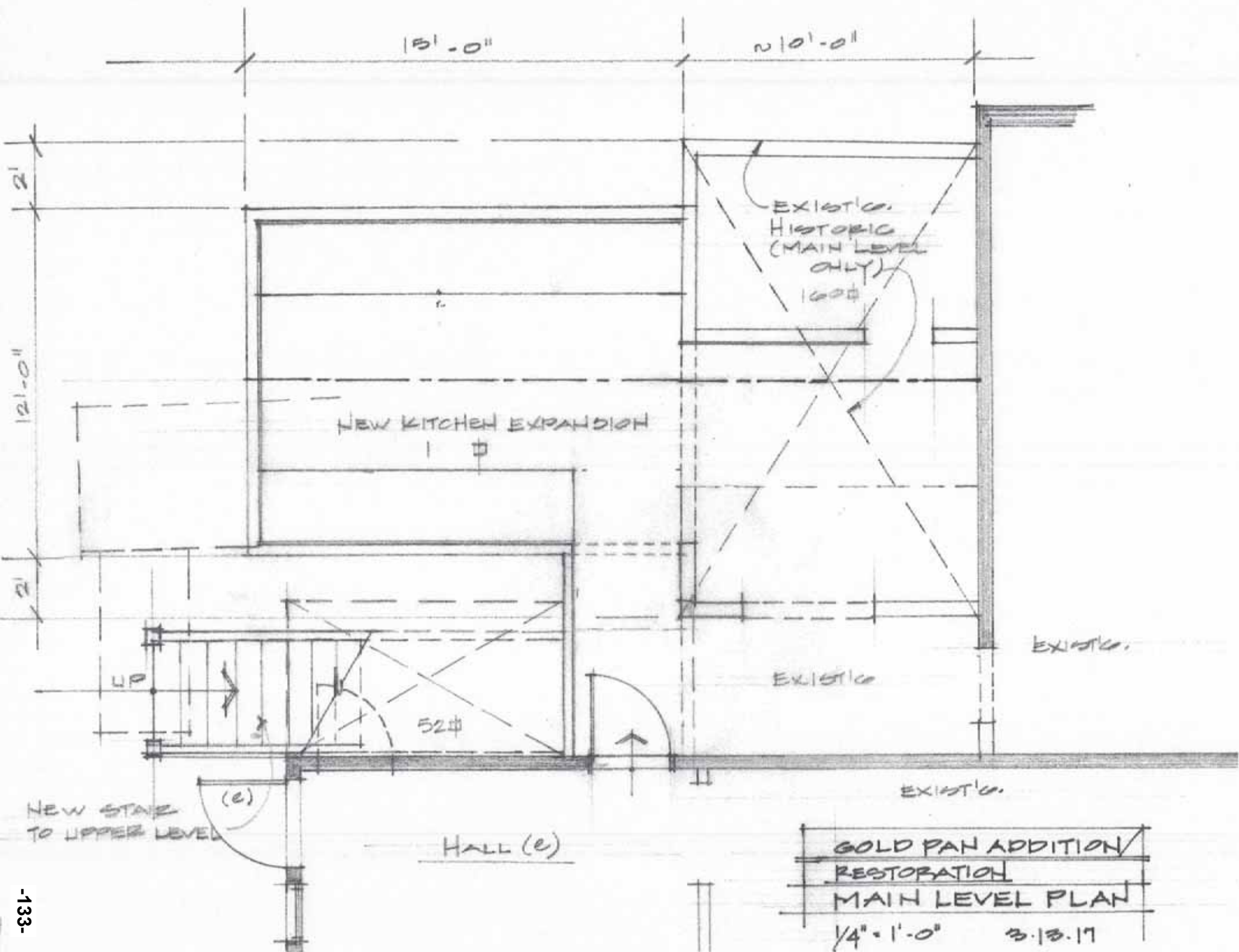
Existing Building Lots 83, 84 & 84½


**Site Plan,
Landscape Plan**
 Scale 1/8" = 1'-0" 04-06-2017

GOLD PAN SALOON
 ADDITION & RESTORATION
 BARTLETT AND SHOCK ADDITION
 TOWN OF BRECKENRIDGE, COLORADO



GOLD PAN ADDITION/RESTORATION
 SITE/LANDSCAPE PLAN
 1/8" = 1'-0" 3.13.17 JLS, AIA



15'-0"

21'-0"

2'-0"

21'-0"

2'-0"

NEW KITCHEN EXPANSION

EXISTING HISTORIC (MAIN LEVEL ONLY)

1600

52#

EXISTING

EXISTING

EXISTING

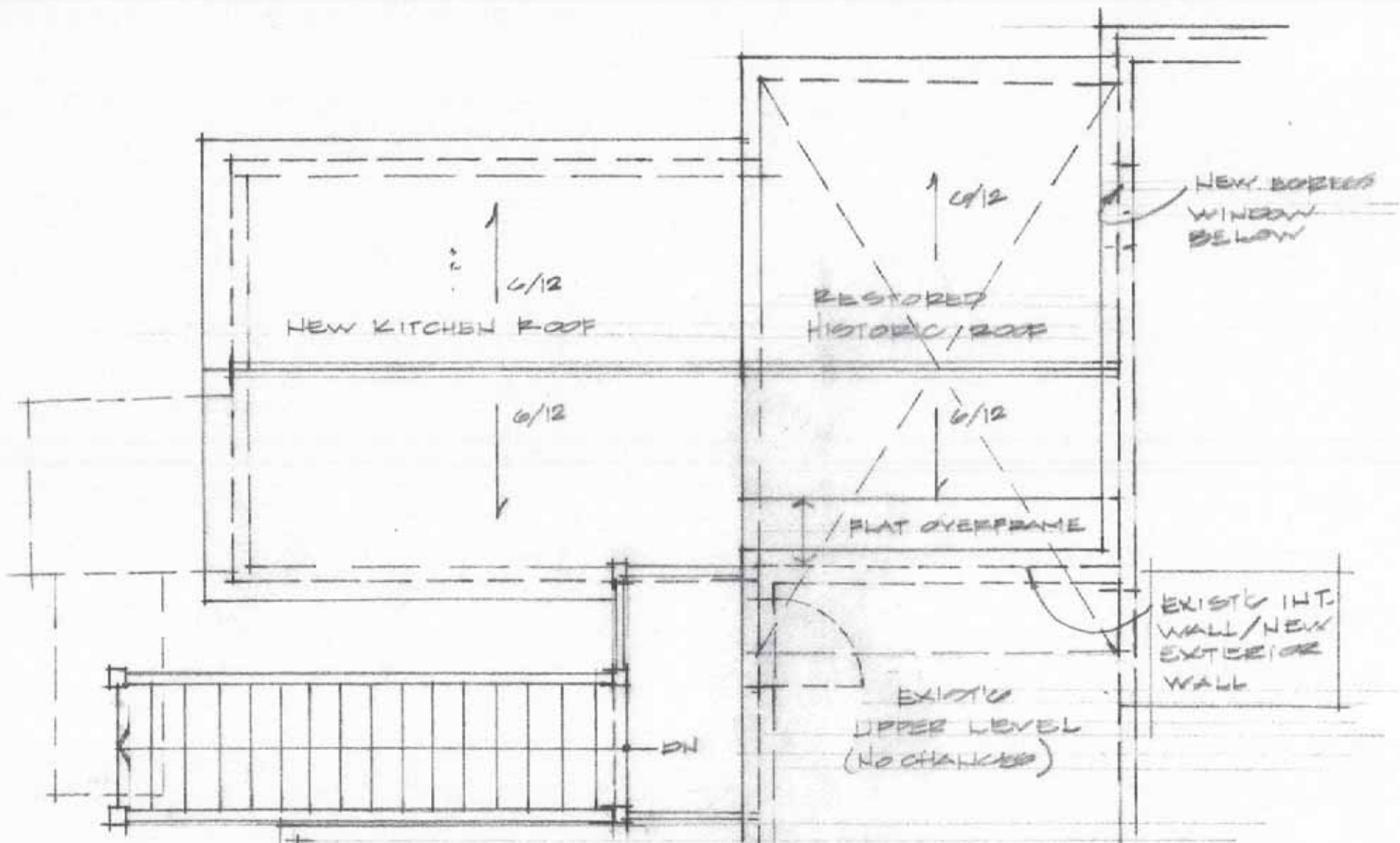
NEW STAIR TO UPPER LEVEL

(e)

HALL (e)

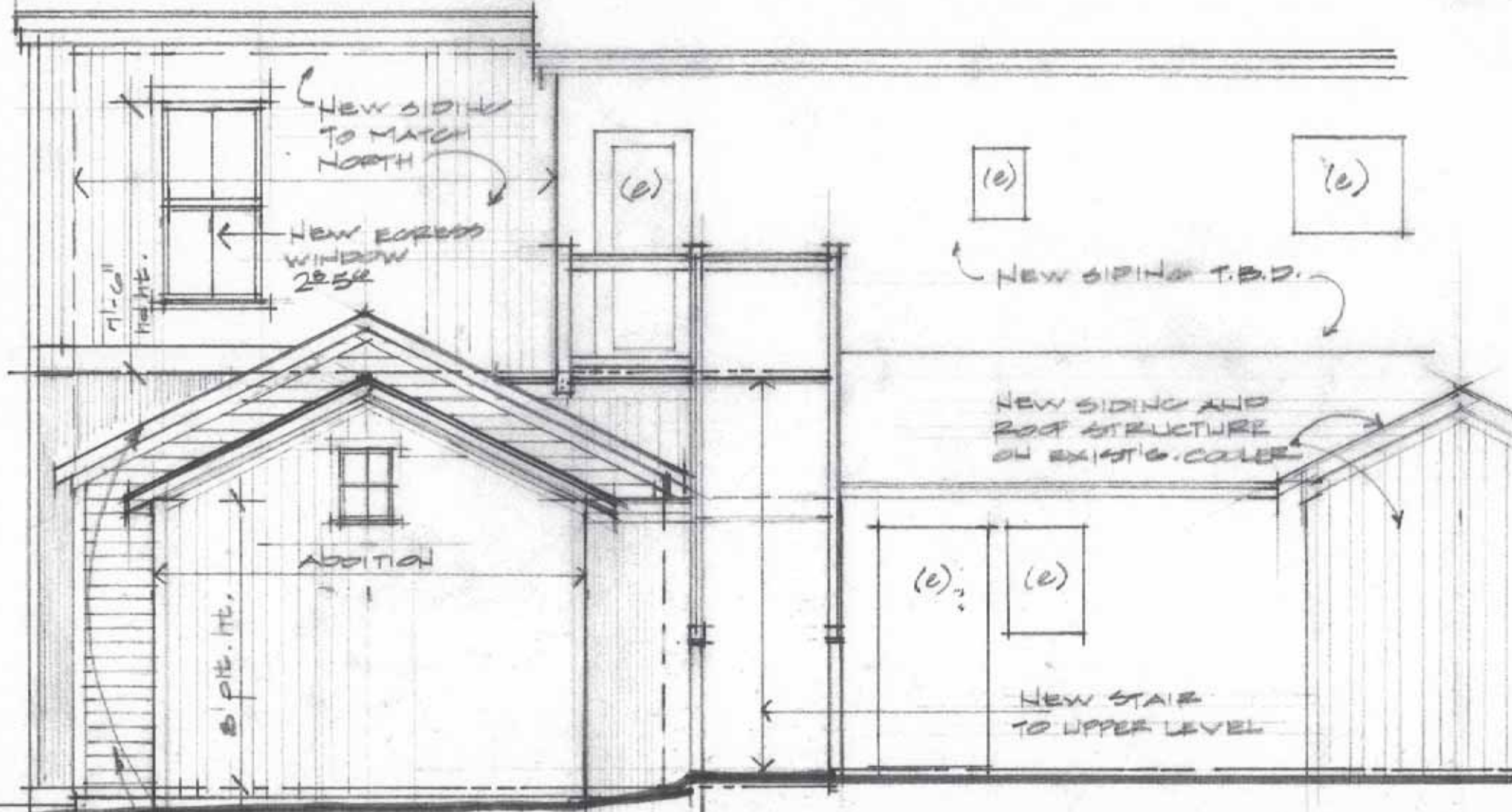
GOLD PAN ADDITION
RESTORATION
MAIN LEVEL PLAN

1/4" = 1'-0" 3.13.17



GOLD PAN ADDITION/RESTORATION
 ROOF PLAN/UPPER LEVEL NOTES
 1/4" = 1'-0" 3.13.17 JLS, AA

EXISTING NON HISTORIC / NON CONFORMING
UPPER LEVEL (FRAMED ON TOP OF HISTORIC MAIN LEVEL)
TO BE REMOVED



NEW SIDING
TO MATCH
NORTH

NEW EGRESS
WINDOW
2054

(e)

(e)

NEW SIDING T.B.D.

NEW SIDING AND
ROOF STRUCTURE
OF EXIST'G. COLOR

ADDITION

(e)

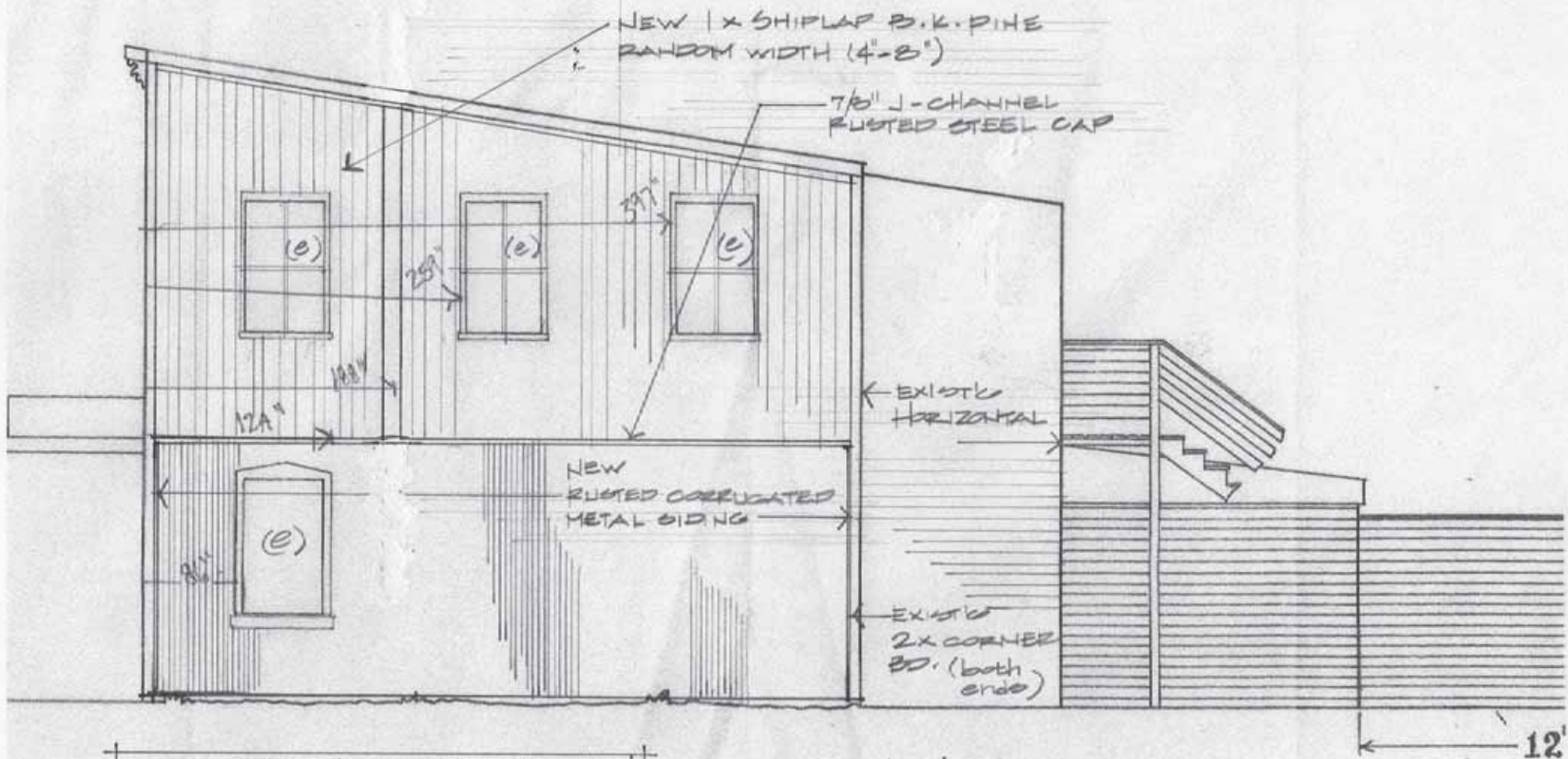
(e)

NEW STAIR
TO UPPER LEVEL

EXISTING HISTORIC STRUCTURE
TO BE RESTORED

GOLD PAN ADDITION / RESTORATION
WEST ELEVATION

1/4" = 1'-0" 3.13.17 JLS:AA

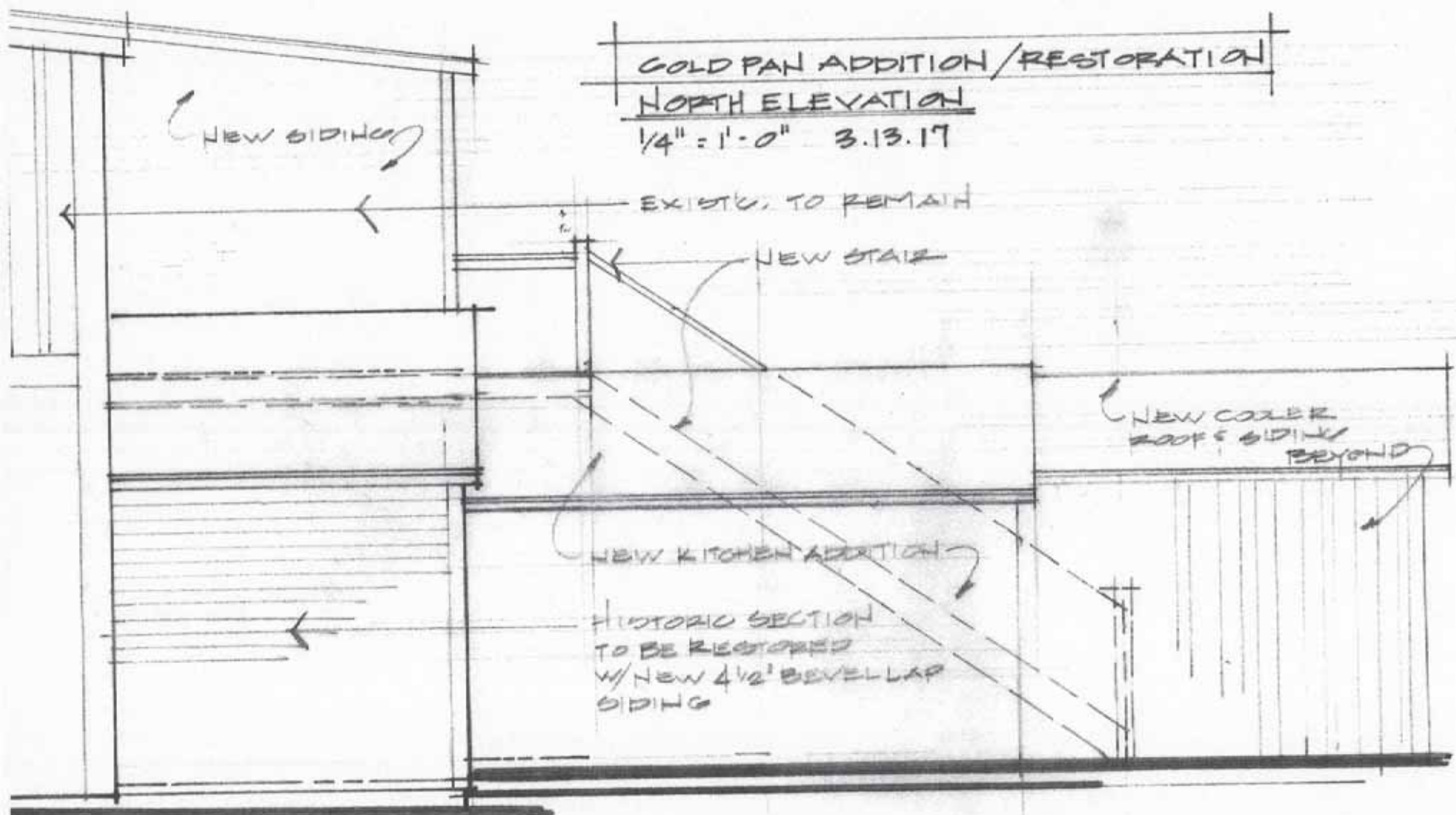


GOLD PAN NORTH ELEVATION
 RE-SIDE PROPOSAL

4.14.15
 (NO SCALE)

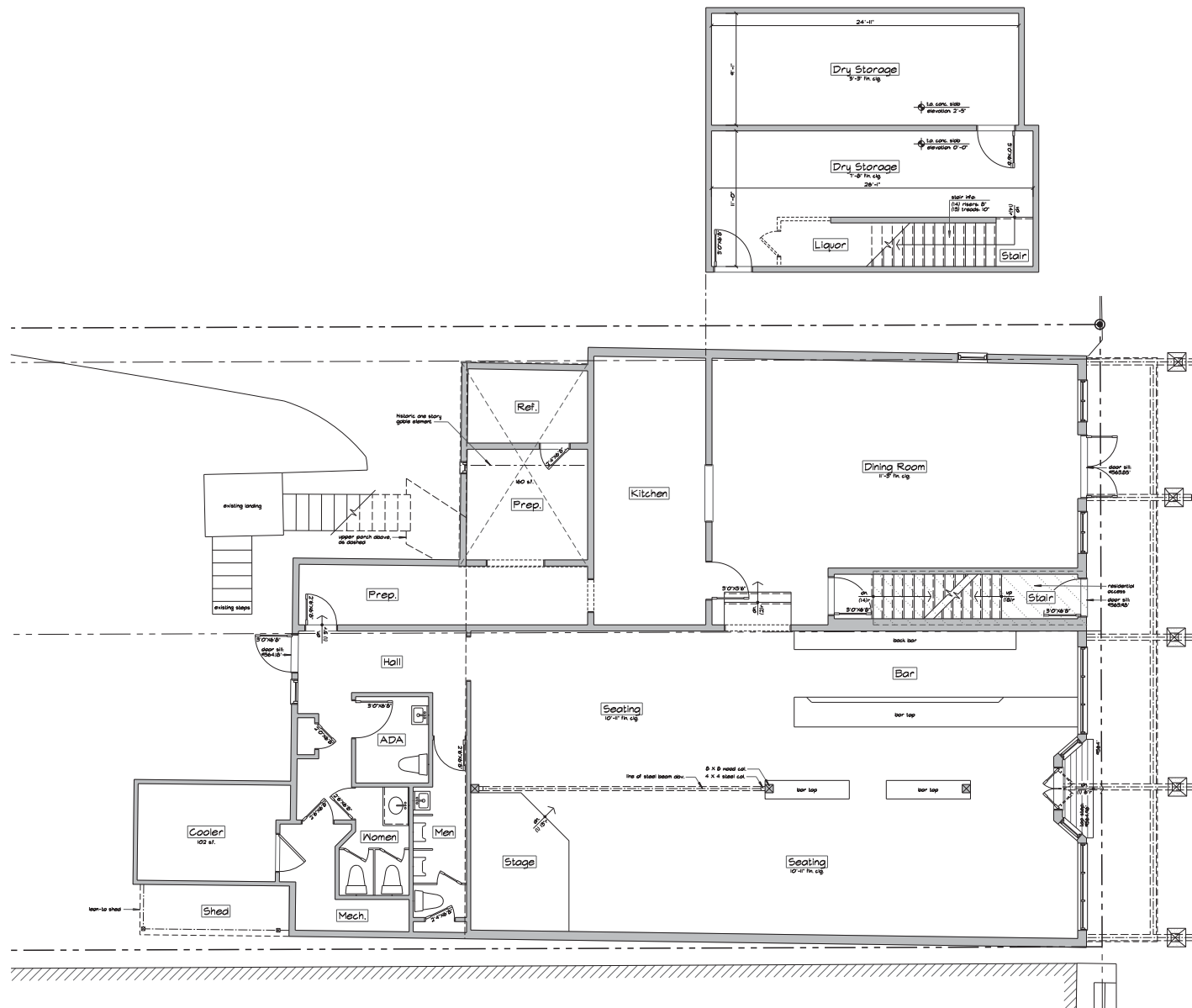
12'

GOLD PAN • VIEW FROM NORTH



GOLD PAN ADDITION / RESTORATION
 NORTH ELEVATION
 1/4" = 1'-0" 3.13.17

GOLD PAN ADDITION / RESTORATION
 NORTH ELEVATION
 1/4" = 1'-0" 3.13.17 JLSNA

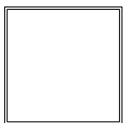


Basement Floor Plan
 Scale: 1/4" = 1'-0"
 566 Sq. Ft. (gross)

Main Level Floor Plan
 Scale: 1/4" = 1'-0"
 Total Gross Sq. Ft. = 2,445
 Commercial Density = 2,066
 Stair & Circulation = 75
 (allowable deductions)

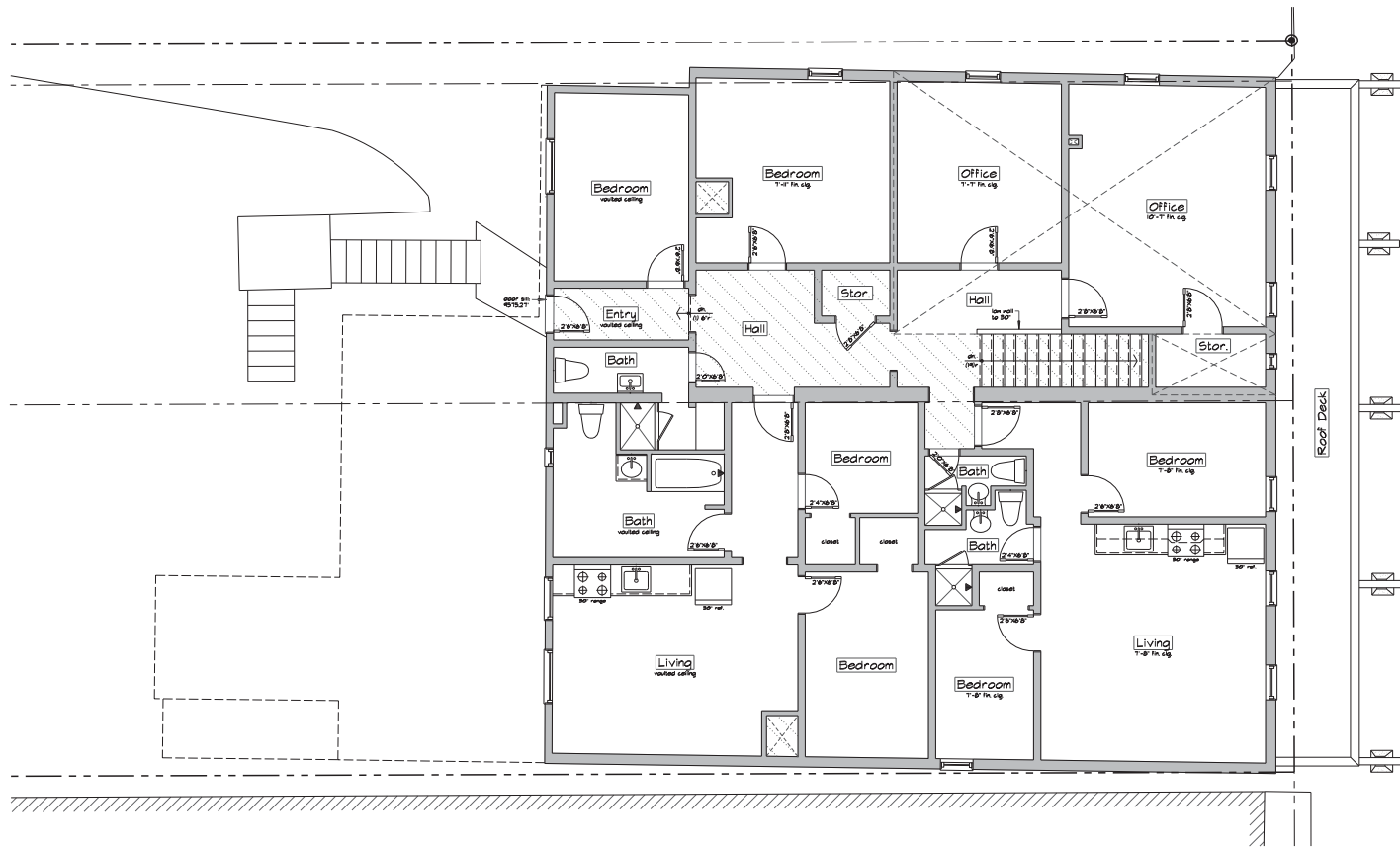
GOLD PAN SALOON
 LOTS 81 & 82
 BARTLETT AND SHOCK ADDITION
 TOWN OF BRECKENRIDGE, COLORADO


As-Built Conditions:
 Basement Floor Plan
 Main Level Floor Plan
 Scale: 1/4" = 1'-0"
 Date: 12-28-2016



architectural
 consultation
JL SUTTERLY ARCHITECT
 1000 S. 10th Street, Suite 100
 Breckenridge, CO 80424
 P.O. Box 8089
 Breckenridge, CO 80424
 (970) 455-7719

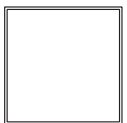




 Upper Level Floor Plan Scale 1/4" = 1'-0"	
Total Gross Sq. Ft.	= 2,408
Commercial Density	= 304
Residential Density	= 1,648
Stair & Circulation (allowable deductions)	= 251

GOLD PAN SALOON
 LOTS 81 & 82
 BARTLETT AND SHOCK ADDITION
 TOWN OF BRECKENRIDGE, COLORADO

As-Built Conditions:
 Upper Level Floor Plan
 Scale: 1/4" = 1'-0"
 Date: 12-28-2016



architectural
 consultation
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