



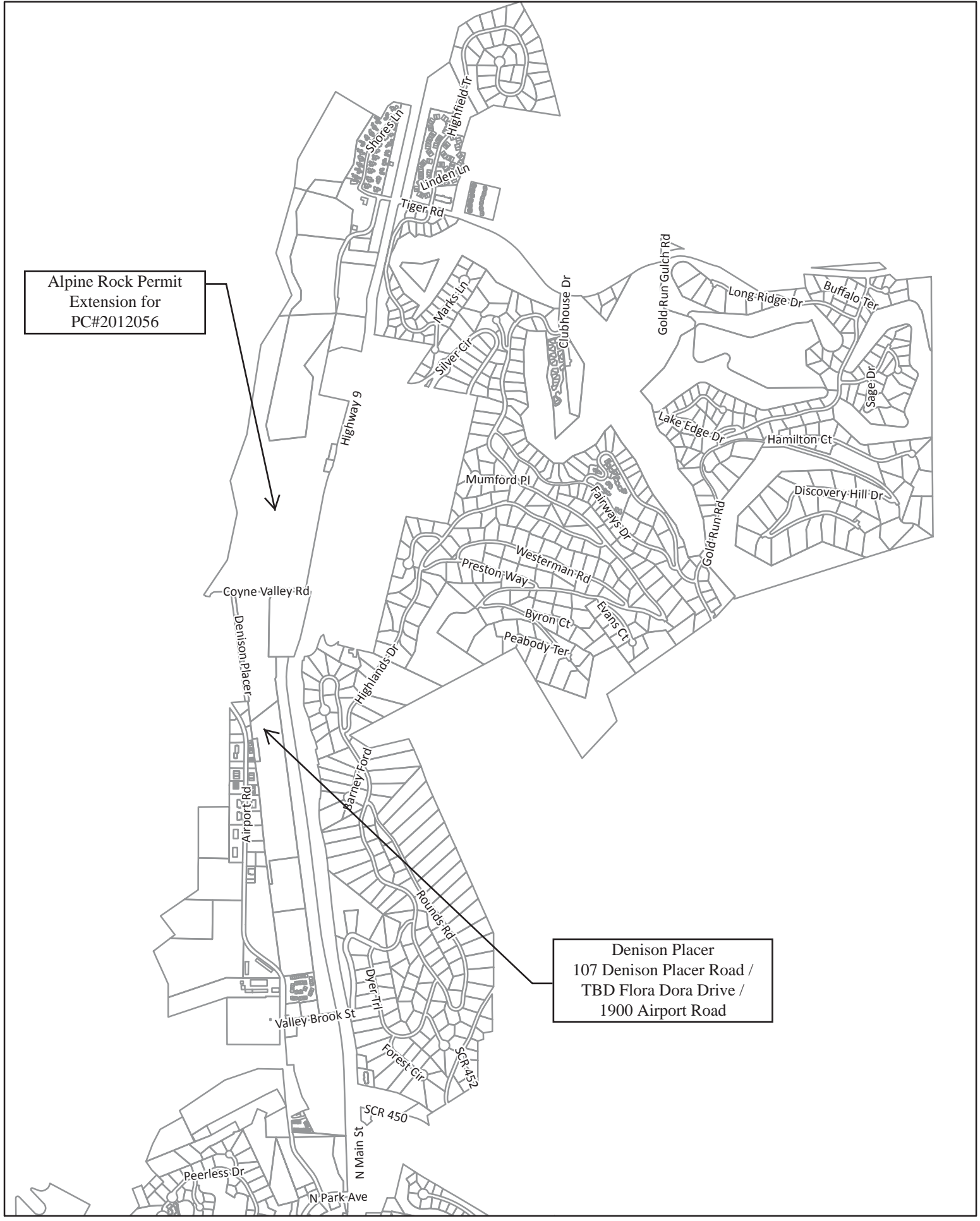
**PLANNING COMMISSION AGENDA**

Tuesday, February 21, 2017  
Breckenridge Council Chambers  
150 Ski Hill Road

<b>6:00pm</b>	<b><i>Call To Order Of The February 21 Planning Commission Meeting; 6:00 P.M. Roll Call</i></b>	
	<i>Location Map</i>	<b>2</b>
	<i>Approval Of Minutes</i>	<b>4</b>
	<i>Approval Of Agenda</i>	
<b>6:05pm</b>	<b><i>Worksessions</i></b>	
	1. Alpine Rock Permit Extension for PC#2012056 (CK)	<b>7</b>
<b>6:45pm</b>	<b><i>Town Council Report</i></b>	
<b>7:00pm</b>	<b><i>Town Project Hearings</i></b>	
	1. Riverwalk Pedestrian Improvements (CL) PL-2017-0028; 150 West Adams Avenue	<b>8</b>
	2. Denison Placer (JP) PL-2017-0014; 107 Denison Placer Road / TBD Flora Dora Drive / 1900 Airport Road	<b>28</b>
<b>9:00pm</b>	<b><i>Adjournment</i></b>	

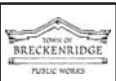
For further information, please contact the Planning Department at 970/453-3160.

**\*The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**



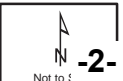
Alpine Rock Permit  
Extension for  
PC#2012056

Denison Placer  
107 Denison Placer Road /  
TBD Flora Dora Drive /  
1900 Airport Road



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# Breckenridge North





Riverwalk Pedestrian  
Improvements  
150 West Adams Avenue

## PLANNING COMMISSION MEETING

The meeting was called to order at 6:00 pm by Chair Schroder.

### ROLL CALL

Mike Giller                      Christie Leidal                      Ron Schuman  
Jim Lamb                         Steve Gerard                         Dan Schroder  
Gretchen Dudney was absent.

### APPROVAL OF MINUTES

Mr. Giller: On page 4, please change “the combination of material and its cumulative effect” to “the combination of materials (masonry, fenestration pattern and open cornice) and its cumulative effect”

With no other changes, the January 17, 2017, Planning Commission Minutes were approved as presented.

### APPROVAL OF AGENDA

With no changes, the February 7, 2017, Planning Commission Agenda was approved.

### CONSENT CALENDAR:

1) Lincoln Park Minor Master Plan Modification (JP) PL-2016-0617, TBD Bridge Street

#### *Commissioner Questions / Comments:*

Mr. Schuman: I like that we kept vehicle passage on Bridge Street. What Phase are we on for construction?  
(Courtney Kenady, Applicant: Finishing phase 1 and starting phase 2)

Mr. Schroder asked audience members if anyone would like to speak on this item. If so, the Planning Commission would call it off the consent calendar and conduct a hearing. With no audience members interested in speaking, Chair Schroder asked if any Commissioners were interested in a call-up.

With no requests for call up, the Consent Calendar was approved as presented.

### TOWN COUNCIL REPORT:

Ms. Puester presented. Council is moving forward with new water treatment plant which the Commission will see as a Town Project. Solid waste collection ordinance passed on first reading. Changes were made to accommodate haulers schedules. The Council also approved Recreation Center expansion. Mr. Grosschuesch: There was a comments from the school regarding concern about kids walking from the Breckenridge Elementary to the library. French Street is close by and has a sidewalk but kids tend to take the quickest route. Town Staff will look at options. Asked about an alternative location for snow sculpting. Denison Placer will also be moving forward to the Commission as a Town Project site plan modification on the 21<sup>st</sup>.

### COMBINED HEARINGS:

1) Main Street Station Crepe Trolley (MM) PL-2017-0009, 505 South Main Street

Mr. Mosher presented a proposal to utilize custom food vendor “Crepe Trolley” in the common area plaza of Main Street Station Grand Central Breckenridge Houses East and West.

Ms. Leidal: I have a client that is associated with this agenda item and may I have a conflict with the review this agenda item as it may relates to my future work with a client. Should I recuse myself? (Mr. Truckey: The decision to have you step down lies with the Planning Commission. You should discuss and vote.)

Mr. Lamb: Ms. Leidal would treat this in an unbiased manner.

Mr. Schuman: I agree. (Mr. Grosshuesch: You would have to directly profit from the discussion to recuse yourself.)



It was agreed to have Ms. Leidal remain for the review of this proposal.

Ms. Leidal: I will stay and be unbiased about the agenda item.

Staff has found that the proposal meets all absolute policies and has not been awarded any positive or negative points under the applicable relative policies. Staff is suggesting a passing score of zero (0) points.

This application was advertised as a Combined Preliminary and Final hearing. Staff felt the issues involved in this project are such that no useful purpose would be served by requiring two separate hearings. When reviewing this application, staff identified policies in the Development Code that could be applied to this unusual application. Staff also welcomed any additional comments and questions related to any applicable policies from the Planning Commission. Staff recommended approval of the Main Street Station Crepe Trolley, PL-2017-0009, with the presented Point Analysis showing a passing score of zero (0) points and the presented Findings and Conditions. Mr. Mosher noted there was one change to Condition 3: the correct expiration date would be February 14, 2020.

Mr. Schroder opened the hearing for public comment. There was no public comment and the hearing was closed.

*Commissioner Questions / Comments:*

Mr. Giller: Uses less than 10% density. Will there be more trolleys? (Mr. Mosher: I don't know of any proposals now but they would go through this same scrutiny for placement of another Food Bus.)

Mr. Gerard: Can the electrical line not run on the ground? (Mr. Terry Barbu, Applicant: The distance will be very short and it will not be on the ground. The connection from the power to the trolley occurs at the same height and is only about 1-foot long. There is no pedestrian circulation between the column and the Trolley.)

Mr. Schuman: What if a garage door breaks and you can't store it inside over night? (Mr. Jack Wolfe: There are two garage doors.)

Mr. Lamb: Is there an issue with propane tanks in the parking garage? (Mr. Mosher: No. Red White and Blue has reviewed this proposal with no concerns. Plus, the building is sprinklered.)

Mr. Schroder: What about during special events? (Ms. Puester: They would be going through the special events permitting rules.)

Ms. Leidal: Will there be additional trash receptacles? (Mr. Mosher: They will use existing receptacles and add more if needed.) (Mr. Wolfe, Owner rep for MSS Breck, LLC: The applicant will be responsible for maintaining the trash beyond what is normally accumulating as a result of the Trolley, The Trolley is intended to drive additional foot-traffic to the Main Street Station.) (Mr. Barbu: The cart is not a windfall, but it will bring people to the area for the benefit of all businesses. It will be fun to run and will share profit with my employees of my other restaurants. It will be open from 9:30am to 9:00pm. – maybe less in off-season)

Mr. Lamb: I like the idea; I have no issues and I like the location.

Mr. Schuman: I like the idea and location of the trolley.

Ms. Leidal: I support it.

Mr. Giller: I support it.

Mr. Gerard: I like having a second trolley in town. I support the project.

Mr. Schroder: It's a creative revitalization idea. No issues with codes. I support.

Mr. Schuman made a motion to approve the Main Street Station Crepe Trolley, PL-2017-0009, 505 South Main Street, with a passing point analysis of zero (0) points and the presented Findings and Conditions including the change of Condition 3 to state the expiration date as February 14, 2020. Mr. Gerard seconded,

and the motion was carried unanimously (6-0).

**DEVELOPMENT CODE STEERING COMMITTEE UPDATE:**

Mr. Truckey presented. The loading policy (19A) was discussed. In the historic district there are often no loading areas provided and they load wherever they can (in alleys, on street). Talked about the underground loading in Vail and how it would be great to have this option in Breckenridge. Projects like the gondola lots or City Market redevelopment might be able to incorporate some good separate loading areas that might be worth awarding positive points. Change policy from an absolute to a relative policy. (Mr. Schroder: Are we talking about loading docks for semi trucks?) Possibly, needs to be discussed further. (Mr. Lamb: If you are redeveloping a large building they will have their own loading plan.)

We also discussed the Recreation Policy (20R) and providing public recreation vs. private. Want to focus on the fact that points are given under this policy only for public recreation. (Ms. Leidal: What about on site vs. off site? The policy seems to allow for either to qualify for points.) We will run that question by the steering committee.

We discussed Open Space policy 21R. The Steering Group has recommended that the Code clarify what constitutes open space (e.g., not hardscape) and that positive points for exceeding 30% open space is related to the gross square footage of a site.. Regarding Policy 22R Landscaping, the Group discussed including more of a focus on water conservation in the policy. The Group discussed minimizing sodded lawn areas and requiring drip irrigation systems. (Mr. Schroder: Any concerns about the new policy that residents can collect rain water now?) Staff noted the Group suggested a positive point might be considered for cisterns. (Mr. Schuman: I don't like limiting the amount of sod you can have.) (Mr. Giller: Do we limit the type of grass sod that can be used?) We will be considering that. There are certain types of grass (e.g., Summit grass) that are better acclimated to this area than Kentucky bluegrass and require much less water for irrigation.

**OTHER MATTERS:**

Mr. Schroder: Any other matters anyone would like to discuss? (Ms. Puester: We will make time to talk about the Saving Places Conference and I will send out information later this week on a workshop in Leadville about Certified Local Governments (CLG's).)

**ADJOURNMENT:**

The meeting was adjourned at 7:03pm.

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Dan Schroder, Chair



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## MEMORANDUM

**TO: Planning Commission**  
**FROM: Chris Kulick, AICP**  
**DATE: January 27, 2017 for meeting of February 21, 2017**  
**SUBJECT: Alpine Rock Development Permit Extension to allow for continuation of existing use for 1 year (PC# 2012056)**

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Alpine Rock is currently in the fourth year of a five year lease with the Town of Breckenridge (June 17, 2013-June 17, 2018) for a portion of the McCain parcel. Alpine Rock has a development permit that allows the processing and sale of aggregate material. Processing includes crushing and washing of material from on and off site, as well as asphalt and concrete manufacturing. Based on both the Town's plans for the McCain property and Alpine Rock's planned operations, Alpine Rock plans to operate through the fall of 2017 in support of the Iron Springs project and then cease operations and vacate the property in January 2018.

Alpine Rock's current Class B Development Permit was approved by the Town Council on May 13, 2014 for a period of three years. Their permit will expire approximately seven months prior to their planned termination of operations in January 2018. In lieu of proceeding with a another three year renewal, which necessitates a Class B review, the Alpine Rock and the Town's Public Works staff, who manage the land lease, are requesting to extend the permit administratively.

During the 2014 renewal, staff recommended subsequent permit renewals be handled administratively through the Class D review process. However, the Planning Commission at the time was not comfortable with the proposed three-year administrative extension and added a condition stating the permit may be reviewed through the Class B process.

6. *Notwithstanding the provisions of Section 9-1-22 of the Town Code, the terms and conditions of this development permit shall remain in full force and effect and shall govern the permittee's use of the property which is the subject of this development permit for a period of 3 years from the date hereof. During this time, the permit shall be binding upon and enforceable against the permittee and all subsequent owners of the property unless the permit is revised, modified or superseded by another development permit. **The permit may be renewed upon review of a new permit application through the Class B review process.***

Due to the proposed limited duration of the extension of 12 months of this permit, which staff has not received any concerns from the public on, Staff is requesting feedback from the Commission on an administrative extension to their current permit. If the Planning Commission gives staff direction for an administrative review, staff will include a condition of approval for the permit to expire on May 13, 2018, which would give Alpine Rock several extra months of permit life beyond their planned cessation of operations in January of that year.

Staff will be happy to answer any questions related to this proposal at the February 21st meeting.

## Planning Commission Staff Report

- Subject:** Riverwalk Pedestrian Improvements  
(Town Project Hearing – PL-2017-0028)
- Proposal:** Install 7,253 sq. ft. of heated walkways and concrete pavers, a 105 sq. ft. boiler building, retaining walls, storm sewer, landscaping, improved lighting, and a sculpture at 150 W. Adams Ave., adjacent to the Riverwalk Center.
- Date:** February 16, 2017 (For meeting of February 21, 2017)
- Project Manager:** Chapin LaChance, Planner II
- Applicant:** Chris McGinnis, Civil Engineer II  
Public Works Dept.  
Town of Breckenridge
- Owner:** Town of Breckenridge
- Address(es):** 150 W. Adams Ave.; W. Washington Ave. Right of Way
- Legal Description(s):** Tract F Four Seasons Village Sub # 2 Lka Pt Of Tract F;  
In Bartlett & Shock Sub Lka A Tract In Bartlett & Shock And In Stiles Addition
- Land Use District:** # 23  
Land Use Type: Residential  
Intensity of Use: 20 UPA  
Structural Type: Multi-family, Lodge, or Hotel
- Land Use Type: Commercial  
Intensity of Use: 1:3 FAR  
Structural Type: Special Review
- # 20  
Land Use Type: Lodging or Commercial  
Intensity of Use: 1:3 FAR  
Structural Type: Special Review
- 8 - River Park Corridor Historic Character Area
- Site Area:** Limit of Work: 2.56 acres (17,032 sq. ft.)  
Tract F: 7.25 acres (315,810 sq. ft.)
- Site Conditions:** The improvements are proposed just to the north of the Riverwalk Center, to the east of the Tiger Dredge parking lot, and to south of W. Washington Ave. The drive alley adjacent the site that connects Tiger Dredge parking lot to W. Washington Ave. is named W. Adams Ave., but will be referred to as “the Tiger Dredge parking lot” in this report. The site currently includes stone steps to the

west that open up to a small lawn adjacent to the Riverwalk Trail. A pedestrian ramp exists to the north along the W. Washington Ave. Right of Way, providing a pedestrian connection between the Blue River Plaza and the intersection of Park Ave. and Four O’Clock Rd. There are existing mature and healthy trees on the site in the W. Washington Ave. Right of Way which provide screening between W. Washington Ave. and the Riverwalk Center. There are also existing mature trees on the site between the Tiger Dredge parking lot and the Riverwalk trail which provide screening between the parking lot and the Riverwalk Center. The asphalt Riverwalk Trail traverses through the site, providing a pedestrian connection from the Tiger Dredge and F Lot parking lots to the Blue River Plaza and Ski Hill Rd. There is approximately 6’ to 8’ of grade change from the Tiger Dredge parking lot down to the Riverwalk Center lawn.

**Adjacent Uses:**  
**North:** W. Washington Ave., Residential Condominium, Commercial  
**South:** Riverwalk Center, Tiger Dredge parking lot  
**East:** Riverwalk Center lawn, Blue River, Blue River Plaza  
**West:** Tiger Dredge parking lot, Park Ave.



### Item History

The property is owned by the Town of Breckenridge and was last platted in 1972 as a 7.25 acre parcel called “Parking Lot Tract ‘F’ ”. The Riverwalk Center is located on the southern portion of the property, which was originally approved as a 9,300 sq. ft. support facility and 10,000 sq. ft. tent with 800 seat amphitheatre called the “Breckenridge Event Structure” under Development Permit #92-8-14. The available density at the time was listed as 26,600 sq. ft. of building area based on 270,072 sq. ft. (6.2 acres). The project was considered under density for L.U.D. 23 at 1:3 F.A.R. for Commercial.

A floor was added in the existing atrium/mezannine space of the Riverwalk Center under Development Permit #2002-008 in 2002, adding 506 sq. ft. to the existing 9,300 sq. ft. Riverwalk Center for a total of 9,806 sq. ft.. The site is 7.25 acres (315,810 sq. ft.) in size. The 506 sq. ft. addition left 95,464 sq. ft. of remaining mass and density out of 105,270 sq. ft total available based on the 1:3 F.A.R.

### Staff Analysis/Comments

**Land Use (Policies 2/A & 2/R):** Approximately 75% of the project is within Land Use District #23. This district establishes design criteria of: *“An improved and expanded system is desirable to accommodate existing and anticipated pedestrian activity. Specific consideration should be given to the movement of pedestrians from F Lot to both the ski base facilities and to District 19.”* (District 19 is the downtown core.) Approximately 25% of the project is within District #20. This district establishes design criteria of: *The continued development of internal and external links is desirable to accommodate*

*existing and anticipated pedestrian activity.* Staff finds that the proposed pedestrian improvements meet the criteria for both these districts, and will support the existing residential and commercial uses, character, and function of the districts. Staff does not have any concerns.

**Density/Intensity (3A//&3/R):** The parcel is 7.25 acres in size. Per the staff report for Development Permit #2002-008, there is 95,464 sq. ft. of remaining density on the parcel. The proposed boiler room for the snowmelt system is 105 sq. ft. in size, leaving 95,359 sq. ft. of remaining density on the property (95,464 – 105 = 95,359). Staff does not have any concerns.

**Mass (4/A & 4/R):** The parcel is 7.25 acres in size. Per the staff report for Development Permit #2002-008, there is 95,464 sq. ft. of remaining mass on the parcel. The proposed boiler room for the snowmelt system is 105 sq. ft. in size, leaving 95,359 sq. ft. of remaining mass on the property (95,464 – 105 = 95,359). Staff does not have any concerns.

**Architectural Compatibility (5/A & 5/R):** The boiler room is a 14'4" long x 7' 4" wide x 12' 6" tall building with a standing seam metal roof, natural stone veneer, and stained wood door and trim. The stone veneer color is proposed to match the existing retaining walls on the property, from which the stone will be repurposed to build the new retaining walls. The Land Use Guidelines for District # 20 state: "*Contemporary architectural design which is compatible with the community as a whole is acceptable.*" Staff finds the boiler room to be architecturally compatible with the aforementioned design criteria, and does not have any concerns.

**Building Height (6A & 6/R):** The boiler building is 12' 6" tall. Staff does not have any concerns.

**Site and Environmental Design (7/R):** The Town plans to install a roundabout at the intersection of 4 O'Clock Road and Park Ave., just to the west of the site. Staff finds that the proposed improvements are designed in a safe and efficient manner to move pedestrians through the site to and from the future roundabout and the Blue River Plaza, and along the Riverwalk Trail. There is an existing mature tree buffer between the Riverwalk Center lawn and the Tiger Dredge Parking Lot and the W. Washington Ave. R.O.W. (this portion of Washington Ave. is not used for through-traffic and mainly for back-of-house operations for the commercial uses on the adjacent property). The project will expand into five (5) of the existing parking spaces in the Tiger Dredge parking lot, replacing the parking spaces and the adjacent mature tree buffer between the Tiger Dredge parking lot and the proposed plaza space with a 5 ft. minimum landscape strip containing two (2) 4" caliper Narrowleaf Cottonwood and numerous shrubs. While some of the existing mature tree buffer between Washington Ave. and the proposed pedestrian improvements will remain, what is to be removed is for the purpose of extending the accessible pedestrian ramp to meet the required grade, and is proposed to be replaced with (3) 12' tall Engleman Spruce, (1) 16' Quaking Aspen, and numerous shrubs. Drystack retaining walls are proposed at varying heights throughout the improvements, with occasional boulders inset into the walls. Stone veneer masonry walls are also proposed along the proposed pedestrian pathways and stairs. Staff finds that though mature tree buffer is being removed, the combination of the grade change from the plaza the Tiger Dredge parking lot along with the proposed larger tree sizes and quantity of shrubs is sufficient to buffer the proposed improvements and the Riverwalk Center lawn from the Tiger Dredge parking lot and W. Washington Ave. Staff does not have any concerns.

**Placement of Structures (9/A & 9/R):** This Policy requires that "*no portion of any structure including overhangs and projections shall be placed closer than one foot (1') to an adjacent property...*" The boiler room is proposed to be located in the Washington Ave. R.O.W. It is necessary to be located adjacent to the proposed snowmelted walkways for the Riverwalk Trail and the accessible pedestrian



ramp, and its proposed location still allows for it to be accessible from the accessible pedestrian ramp and allows for sufficient snow storage along Washington Ave. Planning Dept. and Engineering Dept. staff have discussed the location and do not have any concerns. Also, boiler rooms for heated walkway project have recently been installed elsewhere in Town.

**Snow Removal and Storage (13/A & 13/R):** The entirety of the hardscaping proposed will be heated, including the portion of the Riverwalk Trail, the plaza, and the accessible pedestrian ramp. Therefore, snow storage is only required along the Tiger Dredge parking lot drive alley and W. Washington Ave. Staff does not have any concerns.

**Internal Circulation (16/A & 16/R):** As mentioned under the discussion of Policy 7R, the Town plans to install a roundabout at the intersection of 4 O’Clock Road and Park Ave., just to the west of the site. Staff finds that the proposed improvements are designed in a safe and efficient manner to move pedestrians through the site to and from the future roundabout and the Blue River Plaza, and along the Riverwalk Trail. The proposed improvements enhance the movement of pedestrians safely and efficiently, while integrating appropriate landscaping. Staff recommends that the Planning Commission recommend positive three (+3) points for the improved internal circulation under Policy 16R.

**Parking (18/A & 18/R):** The Riverwalk Center was approved in 1992 under PC92-8-14 with the requirement of 1 space per 4 seats. The facility was proposed with 816 seats, thus requiring 204 spaces. The approved application proposed “*210 new paved spaces adjacent, additional 200 +/- remain at south end...*” The proposed pedestrian improvements remove 5 spaces from the Tiger Dredge parking lot, leaving 205 spaces available to the Riverwalk Center. Staff does not have any concerns.

**Open Space (21/R):** Although staff could not gather an exact calculation of the total existing and proposed open space and hardscaped areas of the parcel, staff has approximated the existing and proposed open space to be at least 1.5 acres on the 6.25 acre parcel (approximately 25%) which would exceed the 15% requirement for non-residential uses. Staff finds that the proposed improvements enhance the existing amount of useable public open space on the site though the addition of new landscaping, hardscaping, and art installations. Staff does not have any concerns.

**Landscaping (22/A & 22/R):** Five (5) 4” caliper Narrowleaf Cottonwood, four (4) 16’ Quaking Aspen, three (3) 12’ Engleman Spruce, 144 shrubs, 17 ornamental grasses, as well as ample perennials, sod, and revegetative seed are proposed for the site. Although some existing mature trees will be removed, they will be replaced with large tree sizes and numerous shrubs. The landscaping improvements will sufficiently screen the Riverwalk Center lawn from W. Washington Ave. and the Tiger Dredge parking lot with a minimum of five feet (5’) of a landscaping area between. Irrigation, ground cover, and revegetation are proposed. Staff recommends that the Planning Commission assess positive two (+2) points for a landscaping plan that provides some public benefit.

**Energy Conservation (33/R):** 7,253 sq. ft. of heated walkways and hardscaping are proposed for the pedestrian walkways and hardscape. Under this policy, “*development with excessive energy components is discouraged. However, if the planning commission determines that any of the following design features (heated sidewalk or plaza) are required for the health, safety and welfare of the general public, then no negative points shall be assessed.*” Staff finds that the proposed heated sidewalks and hardscaping improve the safety of the site for the public, and recommends that the Planning Commission not assess negative points to the project. If the Planning Commission finds otherwise, this Policy requires the award of negative three (-3) points for the excessive energy usage of the heated walkways and hardscape.

**Public Art (43/A & 43/R):** A public art installation, known as “Syncline” by Albert Paley, is proposed to be located in the center of the new plaza. Staff finds that the proposed location is a publicly accessible area, is suitable to maintain the site’s function, and that the placement of art in this public place enriches, stimulates and enhances the aesthetic experience of the town. The Public Art Commission reviewed and approved the piece for location at this site and the Town Council has concurred. Policy 43R establishes the following criteria:

*(1) The public art meets the site selection criteria set forth in the art in public places master plan which is a correlative document to this code. The Public Art Commission and the Town Council have approved the sculpture. Staff does not have any concerns.*

*(2) The public art meets the artwork selection criteria set forth in the art in public places master plan which is a correlative document to this code. (Ord. 10, Series 2006) The Public Art Commission and the Town Council have approved the sculpture location. Staff does not have any concerns.*

*(3) The internal circulation of the proposed site is adequate to allow for reasonable and safe public access to the artwork. Staff does not have any concerns with the circulation.*

*(4) The placement of the art on the proposed site does not result in the assessment of any negative points under other policies of this code. Staff does not recommend the assessment of any negative points for the art installation.*

*(5) The placement of the art on the proposed site complies with all applicable building and technical codes. Planning staff has consulted the Building Dept. on the installation of the sculpture. The Building Dept. requests the opportunity to review plans for the sculpture prior to installation of the sculpture. A Condition of Approval will be added to the Development Permit, if approved, requiring that plans from a Engineer licensed in the state of CO be approved by the Building Dept. prior to Issuance of a Certificate of Completion.*

*(6) The applicant provides the town with adequate assurances that the artwork will be privately owned, maintained and insured. As this is a Town Project on Town-owned property, staff does not have any concerns.*

*No more than one positive point shall be awarded to an applicant under this policy regardless of the number of pieces of public art placed on the site. As the proposed art installation meets all of the requirements of Policy 43R, staff recommends that the Planning Commission assess one positive (+1) points.*

*All public art for which a positive point is awarded pursuant to this policy shall remain permanently on the site, unless removal or relocation of such artwork is approved by the town pursuant to either a modification of the existing development permit or the issuance of a new development permit. (Ord. 35, Series 1996) As this is a Town Project on Town-owned property, staff does not have any concerns.*

**Exterior Lighting [(46/A) (refers to Exterior Lighting (Sec. 9-12))]:** A total of 59 new LED luminaries are proposed, including recessed step lights, ingrade uplights, bollards, ceiling mounted strip light, and

tree mounted strip lights. The two (2) 35 watt ingrade uplights are proposed for the purpose of illuminating the public art, which are allowed under the Exterior Lighting regulations as an exemption if there is a maximum of two (2) fixtures and they are not more than eighty (80) watts each. All other luminaries are proposed to be downcast. Staff finds that the lighting proposed complies with Policy 46/A, and does not have any concerns.

**Point Analysis (Section: 9-1-17-3):** Staff recommends that the Planning Commission assess positive three (+3) points for improved internal circulation / accessibility under Policy 16/R, positive two (+2) points for providing a landscaping plan with some public benefit under Policy 22/R, and positive one (+1) point under Policy 43/R for the installation of public art, resulting in a total point recommendation of positive six (+6) points. Staff does not recommend that the Planning Commission assess any negative points, however if the Commission believes the proposed heated walkways and hardscape are not required for the safety and welfare of the general public, then staff recommends that the Planning Commission assess negative three (-3) points under Policy 33/R, resulting in a passing point analysis of positive three (+3) points.

### **Staff Recommendation**

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013).

Staff recommends that the Planning Commission recommend approval to the Town Council of the Riverwalk Pedestrian Improvements, PL-2017-0050, located at 150 W. Adams Ave. with a passing point analysis of positive six (+6) points with the attached Findings.

<b>Town Project Hearing</b>				
Project:	Riverwalk Pedestrian Improvements	<b>Positive Points</b>	<b>+6</b>	
PL#	2017-0028			
Date:	2/16/2017	<b>Negative Points</b>	<b>0</b>	
Staff:	Chapin LaChance, Planner II			
		<b>Total Allocation:</b>	<b>+6</b>	
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
1/A	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
2/A	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	<b>Architectural Compatibility / Historic Priority Policies</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	<b>Ridgeline and Hillside Development</b>	Complies		
9/A	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
15/A	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		

16/R	Internal Circulation / Accessibility	3x(-2/+2)	+3	Staff finds that the proposed improvements are designed in a safe and efficient manner to move pedestrians through the site to and from the future roundabout and the Blue River Plaza, and along the Riverwalk Trail. The proposed improvements enhances the movement of pedestrians safely and efficiently, while integrating appropriate landscaping with impervious surfaces. Staff recommends that the Planning Commission assess positive three (+3) points for the improved internal circulation under Policy 16R.
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	<b>External Circulation</b>	Complies		
18/A	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)	+2	Five (5) 4" caliper Narrowleaf Cottonwood, four (4) 16' Quaking Aspen, three (3) 12' Engleman Spruce, 144 shrubs, 17 ornamental grasses, as well as ample perennials, sod, and revegetative seed are proposed for the site. Although some existing mature trees will be removed, they will be replaced with large tree sizes and numerous shrubs. The landscaping improvements will sufficiently screen the Riverwalk Center lawn from W. Washington Ave. and the Tiger Dredge parking lot with a minimum of five feet (5') of a landscaping area between. Irrigation, ground cover, and revegetation are proposed. Staff recommends that the Planning Commission assess positive two (+2) points for a landscaping plan that provides some public benefit.
24/A	<b>Social Community</b>	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	<b>Utilities - Power lines</b>	Complies		
29/A	<b>Construction Activities</b>	Complies		
30/A	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		

33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		7,253 sq. ft. of heated walkways and hardscaping are proposed for the pedestrian walkways and hardscape. Under this policy, "development with excessive energy components is discouraged. However, if the planning commission determines that any of the following design features (heated sidewalk or plaza) are required for the health, safety and welfare of the general public, then no negative points shall be assessed." Staff finds that the proposed heated sidewalks and hardscaping improve the safety of the site for the public, and recommends that the Planning Commission not assess negative points to the project. If the Planning Commission finds otherwise, this Policy requires the award of negative three (-3) points for the excessive energy usage of the heated walkways and hardscape.
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	<b>Subdivision</b>	Complies		
36/A	<b>Temporary Structures</b>	Complies		
37/A	<b>Special Areas</b>	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	<b>Home Occupation</b>	Complies		
39/A	<b>Master Plan</b>	Complies		
40/A	<b>Chalet House</b>	Complies		
41/A	<b>Satellite Earth Station Antennas</b>	Complies		
42/A	<b>Exterior Loudspeakers</b>	Complies		
43/A	<b>Public Art</b>	Complies		



43/R	Public Art	1x(0/+1)	+1	Paley Sculpture meets the artwork selection criteria, and is proposed in a location that meets the site selection criteria, of the Art in Public Places Master Plan. The internal circulation proposed allows for reasonable and safe public access to the artwork. The placement of the art on the proposed site does not result in the assessment of any negative points under other policies of the Town Code. Planning staff has consulted the Building Dept. on the installation of the sculpture regarding applicable building and technical codes. The Building Dept. requests the opportunity to review plans for the sculpture prior to installation of the sculpture. A Condition of Approval will be added to the Development Permit, if approved, requiring that plans from a Engineer licensed in the state of CO be approved by the Building Dept. prior to Issuance of a Certificate of Occupancy. As this is a component of a Town Project located on Town property, staff does not have any concerns with the maintenance or insurance of the public art.
44/A	<b>Radio Broadcasts</b>	Complies		
45/A	<b>Special Commercial Events</b>	Complies		
46/A	<b>Exterior Lighting</b>	Complies		
47/A	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
48/A	<b>Voluntary Defensible Space</b>	Complies		
49/A	<b>Vendor Carts</b>	Complies		

## TOWN OF BRECKENRIDGE

**Riverwalk Pedestrian Improvements  
Tract F Four Seasons Village Sub # 2 Lka Pt Of Tract F; In Bartlett & Shock Sub Lka A  
Tract In Bartlett & Shock And In Stiles Addition  
150 W. Adams Ave.; W. Washington Ave. Right of Way  
PL-2017-0028**

### FINDINGS

1. This project is a “Town Project” as defined in Section 9-4-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. The Planning Commission reviewed and considered this Town Project on **February 21, 2017**, scheduled and held a public hearing on **February 21, 2017**, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4(2) of the Breckenridge Town Code. At the conclusion of the public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on **February 28, 2017**. This Town Project was listed on the Town Council’s agenda for the **February 28, 2017** agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project the Town Council received from the Director of the Department of Community Development, and gave due consideration to, a point analysis for the Town Project in the same manner as a point analysis is prepared for a final hearing on a Class A development permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.





# PEDESTRIAN IMPROVEMENTS: PALEY PLAZA

TOWN OF BRECKENRIDGE

-19-





# DESIGN OPTION 02-PERSPECTIVES

EXISTING



VIEW FROM BLUE RIVER PLAZA



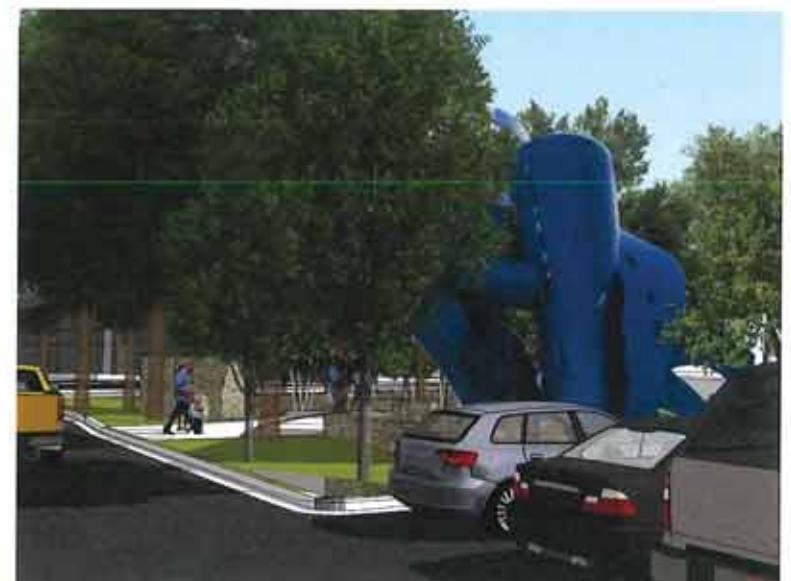
VIEW FROM BLUE RIVER CROSSING



VIEW FROM RWC

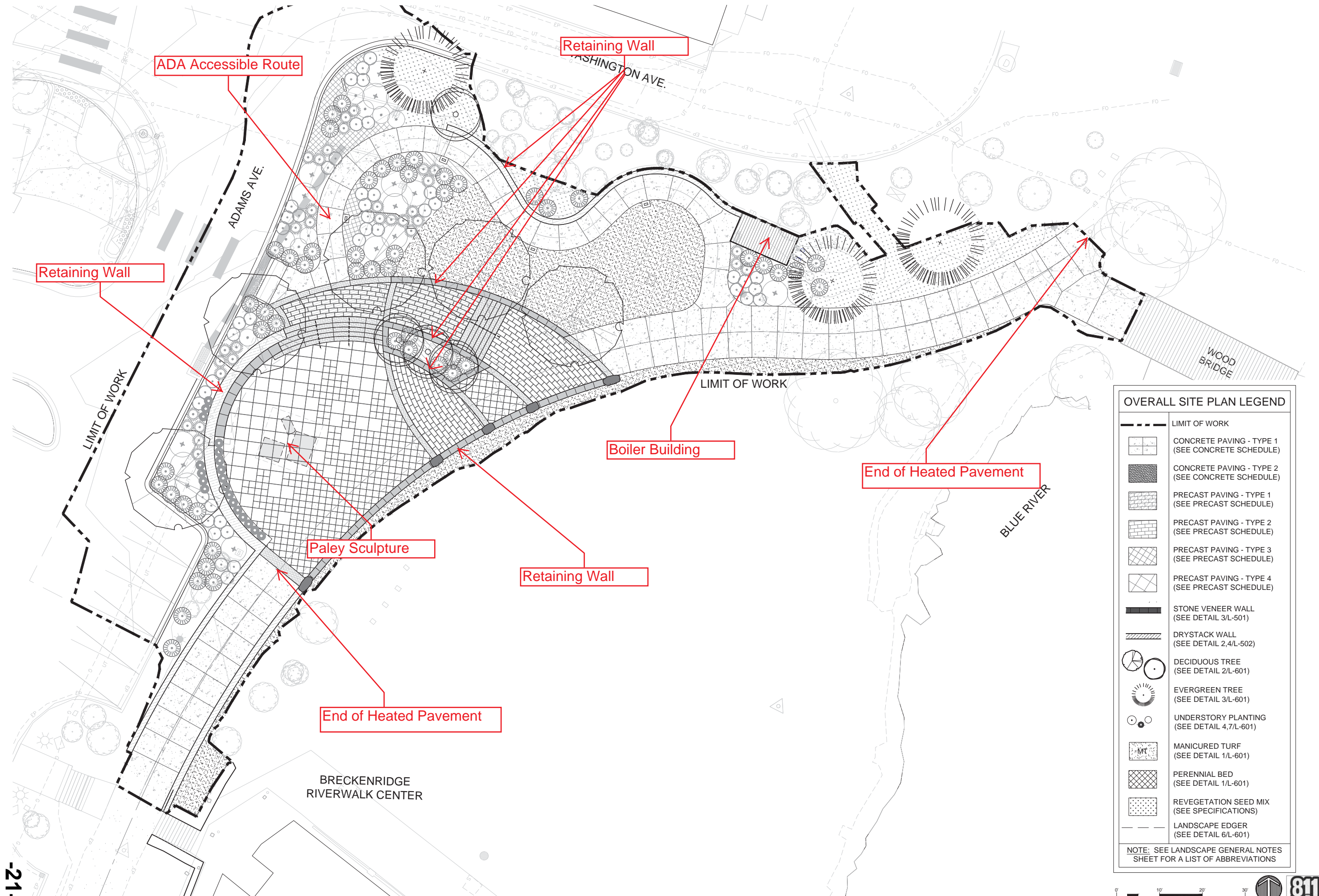


VIEW FROM RWC PARKING



PROPOSED





**OVERALL SITE PLAN LEGEND**

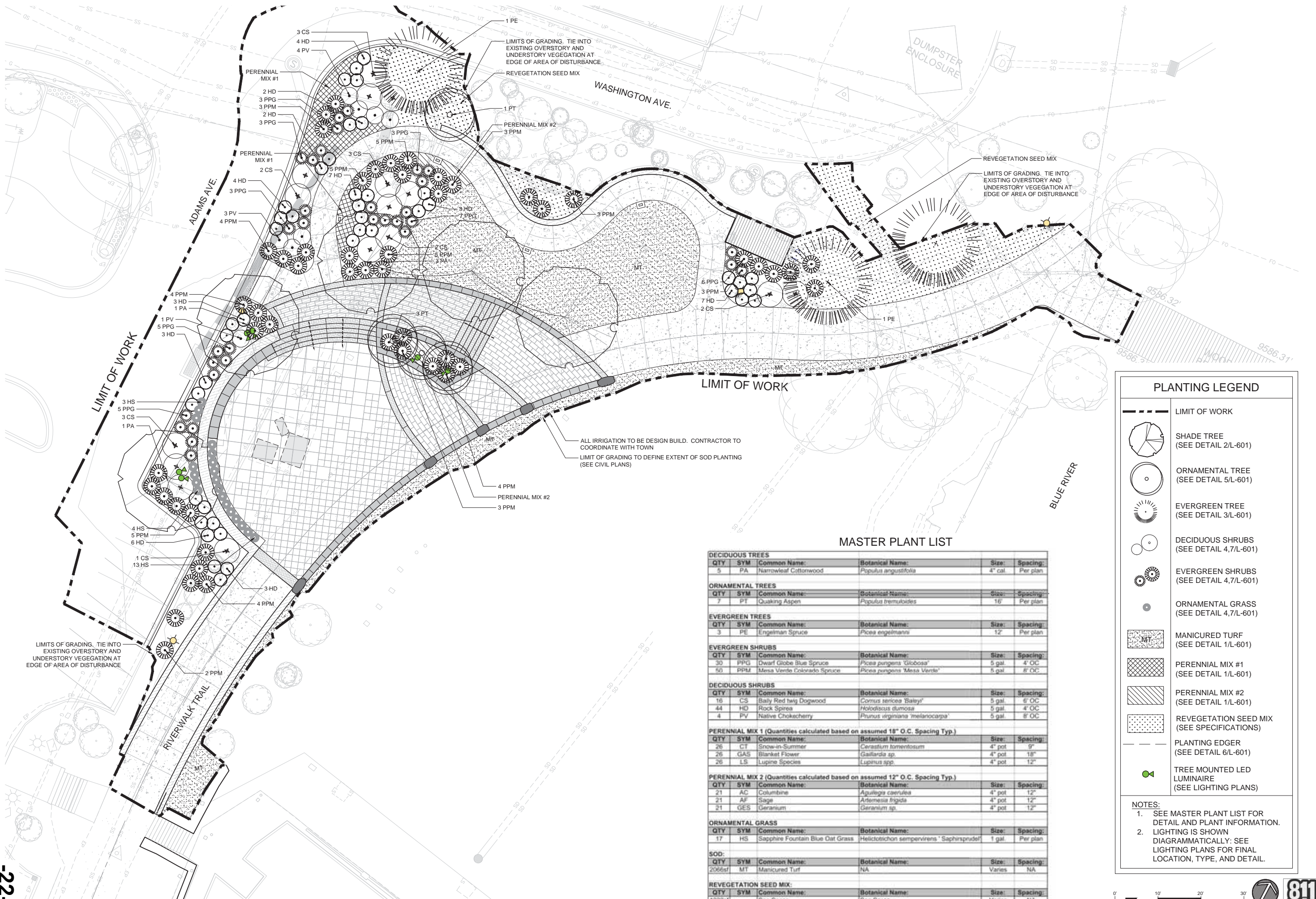
	LIMIT OF WORK
	CONCRETE PAVING - TYPE 1 (SEE CONCRETE SCHEDULE)
	CONCRETE PAVING - TYPE 2 (SEE CONCRETE SCHEDULE)
	PRECAST PAVING - TYPE 1 (SEE PRECAST SCHEDULE)
	PRECAST PAVING - TYPE 2 (SEE PRECAST SCHEDULE)
	PRECAST PAVING - TYPE 3 (SEE PRECAST SCHEDULE)
	PRECAST PAVING - TYPE 4 (SEE PRECAST SCHEDULE)
	STONE VENEER WALL (SEE DETAIL 3/L-501)
	DRystack WALL (SEE DETAIL 2,4/L-502)
	DECIDUOUS TREE (SEE DETAIL 2/L-601)
	EVERGREEN TREE (SEE DETAIL 3/L-601)
	UNDERSTORY PLANTING (SEE DETAIL 4,7/L-601)
	MANICURED TURF (SEE DETAIL 1/L-601)
	PERENNIAL BED (SEE DETAIL 1/L-601)
	REVEGETATION SEED MIX (SEE SPECIFICATIONS)
	LANDSCAPE EDGER (SEE DETAIL 6/L-601)

NOTE: SEE LANDSCAPE GENERAL NOTES SHEET FOR A LIST OF ABBREVIATIONS



Drawing: U:\2016034.40-Breckenridge\4 COok Book\BIDS\4000\4000\CDL-101-OVERALL SITE PLAN.dwg  
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 Plotter: HP DesignJet T1100e  
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**PLANTING LEGEND**

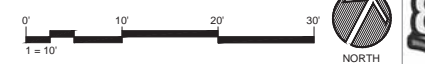
- LIMIT OF WORK
- SHADE TREE (SEE DETAIL 2/L-601)
- ORNAMENTAL TREE (SEE DETAIL 5/L-601)
- EVERGREEN TREE (SEE DETAIL 3/L-601)
- DECIDUOUS SHRUBS (SEE DETAIL 4,7/L-601)
- EVERGREEN SHRUBS (SEE DETAIL 4,7/L-601)
- ORNAMENTAL GRASS (SEE DETAIL 4,7/L-601)
- MANICURED TURF (SEE DETAIL 1/L-601)
- PERENNIAL MIX #1 (SEE DETAIL 1/L-601)
- PERENNIAL MIX #2 (SEE DETAIL 1/L-601)
- REVEGETATION SEED MIX (SEE SPECIFICATIONS)
- PLANTING EDGER (SEE DETAIL 6/L-601)
- TREE MOUNTED LED LUMINAIRE (SEE LIGHTING PLANS)

**NOTES:**

- SEE MASTER PLANT LIST FOR DETAIL AND PLANT INFORMATION.
- LIGHTING IS SHOWN DIAGRAMMATICALLY; SEE LIGHTING PLANS FOR FINAL LOCATION, TYPE, AND DETAIL.

**MASTER PLANT LIST**

DECIDUOUS TREES					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
5	PA	Narrowleaf Cottonwood	<i>Populus angustifolia</i>	4" cal.	Per plan
ORNAMENTAL TREES					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
7	PT	Quaking Aspen	<i>Populus tremuloides</i>	16'	Per plan
EVERGREEN TREES					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
3	PE	Engelman Spruce	<i>Picea engelmanni</i>	12'	Per plan
EVERGREEN SHRUBS					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
30	PPG	Dwarf Globe Blue Spruce	<i>Picea pungens 'Globosa'</i>	5 gal.	4' OC
50	PPM	Mesa Verde Colorado Spruce	<i>Picea pungens 'Mesa Verde'</i>	5 gal.	8' OC
DECIDUOUS SHRUBS					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
16	CS	Baily Red twig Dogwood	<i>Cornus sericea 'Bailey'</i>	5 gal.	6' OC
44	HD	Rock Spirea	<i>Holodiscus dumosa</i>	5 gal.	4' OC
4	PV	Native Chokecherry	<i>Prunus virginiana 'melanocarpa'</i>	5 gal.	8' OC
PERENNIAL MIX 1 (Quantities calculated based on assumed 18" O.C. Spacing Typ.)					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
26	CT	Snow-in-Summer	<i>Cervastium tomentosum</i>	4" pot	9"
26	GAS	Blanket Flower	<i>Gaillardia sp.</i>	4" pot	18"
26	LS	Lupine Species	<i>Lupinus spp.</i>	4" pot	12"
PERENNIAL MIX 2 (Quantities calculated based on assumed 12" O.C. Spacing Typ.)					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
21	AC	Columbine	<i>Aquilegia caerulea</i>	4" pot	12"
21	AF	Sage	<i>Artemisia tridentata</i>	4" pot	12"
21	GES	Geranium	<i>Geranium sp.</i>	4" pot	12"
ORNAMENTAL GRASS					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
17	HS	Sapphire Fountain Blue Oat Grass	<i>Helictotrichon sempervirens 'Saphirspindel'</i>	1 gal.	Per plan
SOD:					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
2066sf	MT	Manicured Turf	NA	Varies	NA
REVEGETATION SEED MIX:					
QTY	SYM	Common Name:	Botanical Name:	Size:	Spacing:
1322sf		See Specs	See Specs	Varies	NA



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 User: mk  
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**PLAN NOTES:**

1. COIL 5'-0" OF CONDUCTOR AT NEW TRANSFORMER FOR FINAL CONNECTION BY XCEL ENERGY FORCES.

**GENERAL NOTES:**

1. PRIOR TO INSTALLATION, CONTRACTOR TO LOCATE AND AVOID REBAR AND OTHER STRUCTURAL ELEMENTS IN PALEY SCULPTURE FOUNDATION.
2. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS FOR ALL LUMINAIRE MOUNTING REQUIREMENTS.

PRELIMINARY

SET

NO.	REVISION	DESCRIPTION	BY	DATE

RIVERWALK SCULPTURE PARK  
TOWN OF BRECKENRIDGE  
LIGHTING IMPORVEMENTS  
LIGHTING AND ELECTRICAL PLAN

FILE : 16096\_BRECKENRIDGE LIGHTING.MXD

JUB PROJ. # : #####

DRAWN BY: JE

DESIGN BY: AK

CHECKED BY: DR

ONE INCH

AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY

LAST UPDATED: 2/3/2017

SHEET NUMBER:

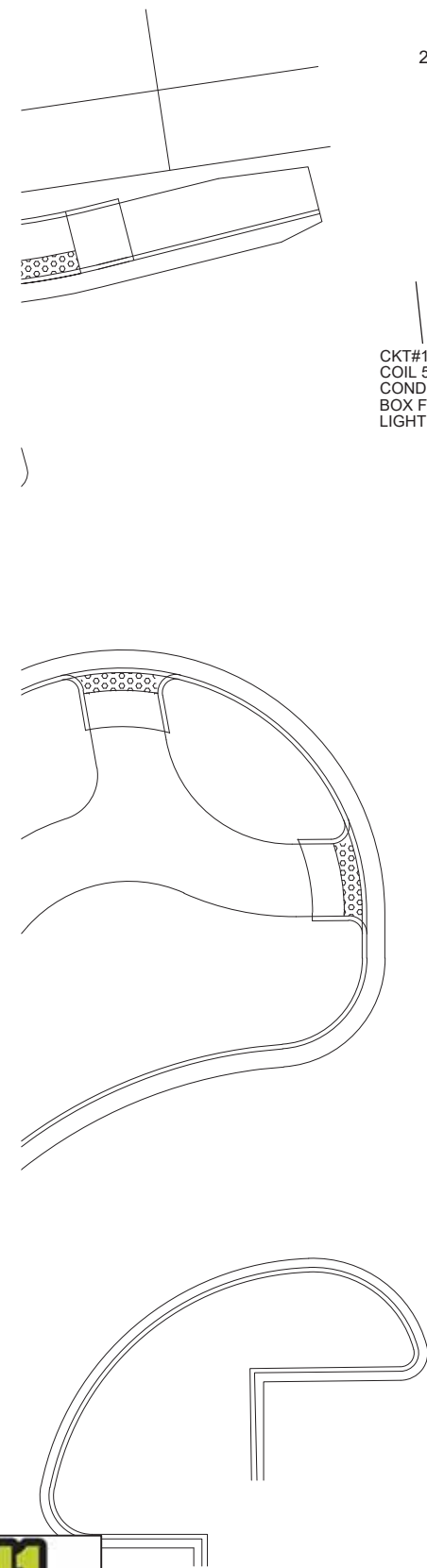
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SHEET

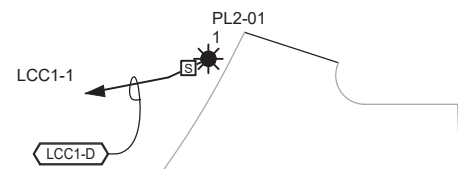
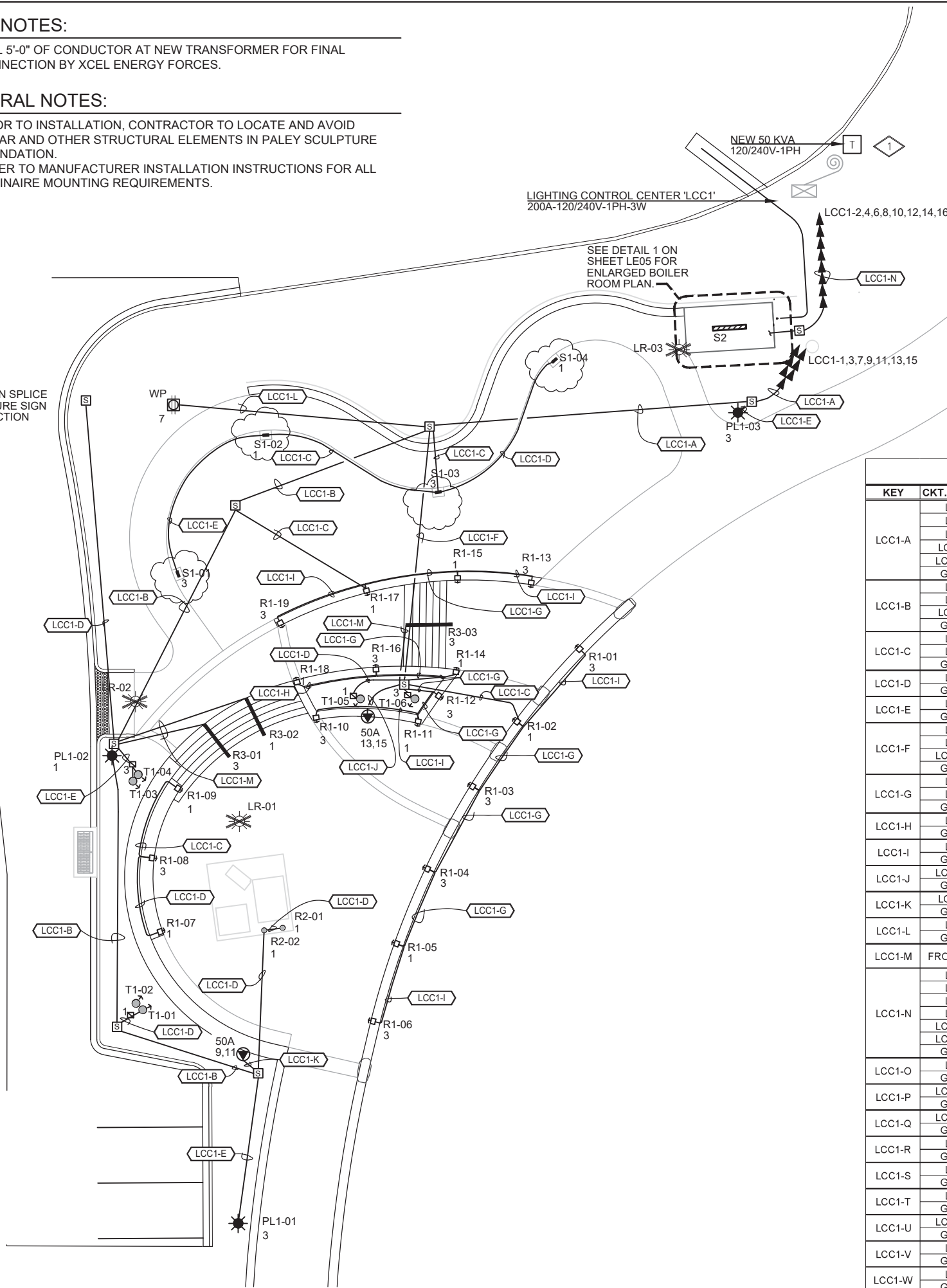
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OF

06



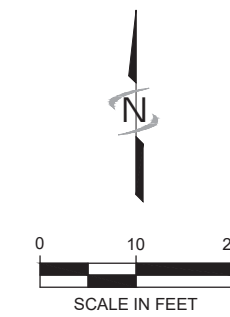
CKT#1  
COIL 5'-0" OF  
CONDUCTOR IN SPLICE  
BOX FOR FUTURE SIGN  
LIGHT CONNECTION



NEW 50 KVA  
120/240V-1PH

LIGHTING CONTROL CENTER 'LCC1'  
200A-120/240V-1PH-3W

SEE DETAIL 1 ON  
SHEET LE05 FOR  
ENLARGED BOILER  
ROOM PLAN.



**LCC1 FEEDER SCHEDULE**

KEY	CKT. NUMBERS	VOLTAGE	WIRE SIZE	COLOR	CONDUIT SIZE & TYPE
LCC1-A	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	2" PVC 24" BELOW GRADE
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	LCC1-7	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	LCC1-9,11	120/240V-HOT,HOT,NEU	3#3-THWN CU	BLK,RED,WHT	
	LCC1-13,15	120/240V-HOT,HOT,NEU	3#3-THWN CU	BLK,RED,WHT	
	GROUND	120/240V-GND	1#3-THWN CU	GREEN	
LCC1-B	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	2" PVC 24" BELOW GRADE
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	LCC1-9,11	120/240V-HOT,HOT,NEU	3#3-THWN CU	BLK,RED,WHT	
	GROUND	120/240V-GND	1#3-THWN CU	GREEN	
LCC1-C	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	1" PVC 24" BELOW GRADE
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	GROUND	120/240V-GND	1#10-THWN CU	GREEN	
LCC1-D	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	1/2" PVC 24" BELOW GRADE
	GROUND	120/240V-GND	1#10-THWN CU	GREEN	
LCC1-E	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	1/2" PVC 24" BELOW GRADE
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	GROUND	120/240V-GND	1#10-THWN CU	GREEN	
LCC1-F	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	2" PVC 24" BELOW GRADE
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	LCC1-13,15	120/240V-HOT,HOT,NEU	3#3-THWN CU	BLK,RED,WHT	
	GROUND	120/240V-GND	1#3-THWN CU	GREEN	
LCC1-G	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	1" PVC BEHIND WALL
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	GROUND	120/240V-GND	1#10-THWN CU	GREEN	
LCC1-H	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	1" PVC BEHIND WALL
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	GROUND	120/240V-GND	1#10-THWN CU	GREEN	
LCC1-I	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	1" PVC BEHIND WALL
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
LCC1-J	LCC1-1,13,15	120/240V-HOT,HOT,NEU	3#3-THWN CU	BLK,RED,WHT	2" PVC 24" BELOW GRADE
	GROUND	120/240V-GND	1#3-THWN CU	GREEN	
	LCC1-9,11	120/240V-HOT,HOT,NEU	3#3-THWN CU	BLK,RED,WHT	
LCC1-K	LCC1-1	120V-HOT,NEU	2#10-THWN CU	BLK,WHT	2" PVC 24" BELOW GRADE
	LCC1-3	120V-HOT,NEU	2#10-THWN CU	RED,WHT	
	GROUND	120/240V-GND	1#10-THWN CU	GREEN	
LCC1-L	LCC1-1	120V-HOT,NEU	2#12-THWN CU	RED,BLK	1/2" PVC 24" BELOW GRADE
	LCC1-2	120V-HOT,NEU	2#12-THWN CU	BLK,WHT	
	LCC1-4	120V-HOT,NEU	2#12-THWN CU	RED,WHT	
	LCC1-6	120V-HOT,NEU	2#12-THWN CU	RED,WHT	
	LCC1-8	120V-HOT,NEU	2#12-THWN CU	BLK,WHT	
LCC1-N	LCC1-10,12	120/240V-HOT,HOT,NEU	3#12-THWN CU	BLK,RED,WHT	2" PVC 24" BELOW GRADE TRANSITION TO 2" GRC PRIOR TO ENTERING BOILER BUILDING
	LCC1-14,16	120/240V-HOT,HOT,NEU	3#12-THWN CU	BLK,RED,WHT	
	GROUND	120/240V-GND	1#12-THWN CU	GREEN	
	LCC1-2	120V-HOT,NEU	2#12-THWN CU	BLK,WHT	
LCC1-O	LCC1-14,16	120/240V-HOT,HOT,NEU	3#12-THWN CU	BLK,RED,WHT	1/2" GRC OVER HEAD
	GROUND	120V-GND	1#12-THWN CU	GREEN	
LCC1-P	LCC1-14,16	120/240V-HOT,HOT,NEU	3#14-THWN CU	BLK,RED,WHT	1/2" EMT OVER HEAD
	GROUND	120V-GND	1#14-THWN CU	GREEN	
LCC1-Q	LCC1-14,16	120/240V-HOT,HOT,NEU	3#14-THWN CU	BLK,RED,WHT	1/2" EMT W/ LAST 24" TRANSITION TO 1/2"LFMC
	GROUND	120V-GND	1#14-THWN CU	GREEN	
LCC1-R	LCC1-6	120V-HOT,NEU	2#12-THWN CU	BLK,WHT	1/2" EMT OVER HEAD
	GROUND	120V-GND	1#12-THWN CU	GREEN	
LCC1-S	LCC1-6	120V-HOT,NEU	2#14-THWN CU	BLK,WHT	1/2" EMT W/ LAST 24" TRANSITION TO 1/2"LFMC
	GROUND	120V-GND	1#14-THWN CU	GREEN	
LCC1-T	LCC1-8	120V-HOT,NEU	2#12-THWN CU	BLK,WHT	1/2" EMT OVER HEAD
	GROUND	120/240V-GND	1#12-THWN CU	GREEN	
LCC1-U	LCC1-10,12	120/240V-HOT,HOT,NEU	3#12-THWN CU	BLK,RED,WHT	1/2" EMT OVER HEAD
	GROUND	120/240V-GND	1#12-THWN CU	GREEN	
LCC1-V	LCC1-8	120V-HOT,SWLEG,NEU	3#12-THWN CU	BLK,YEL,WHT	1/2" EMT OVER HEAD
	GROUND	120V-GND	1#12-THWN CU	GREEN	
LCC1-W	LCC1-4	120V-HOT,NEU	2#12-THWN CU	RED,WHT	1/2" EMT OVER HEAD
	GROUND	120/240V-GND	1#12-THWN CU	GREEN	



P: M. Plotted By: Annika  
 Z: 16096\_BRECKENRIDGE - LCC1 LOCK ROAD CAD 16096\_BRECKENRIDGE LIGHTING MODEL.DWG  
 -23-  
 DWG

LIGHTING AND ELECTRICAL LEGEND

(TYPICAL FOR ALL LIGHTING SHEETS)

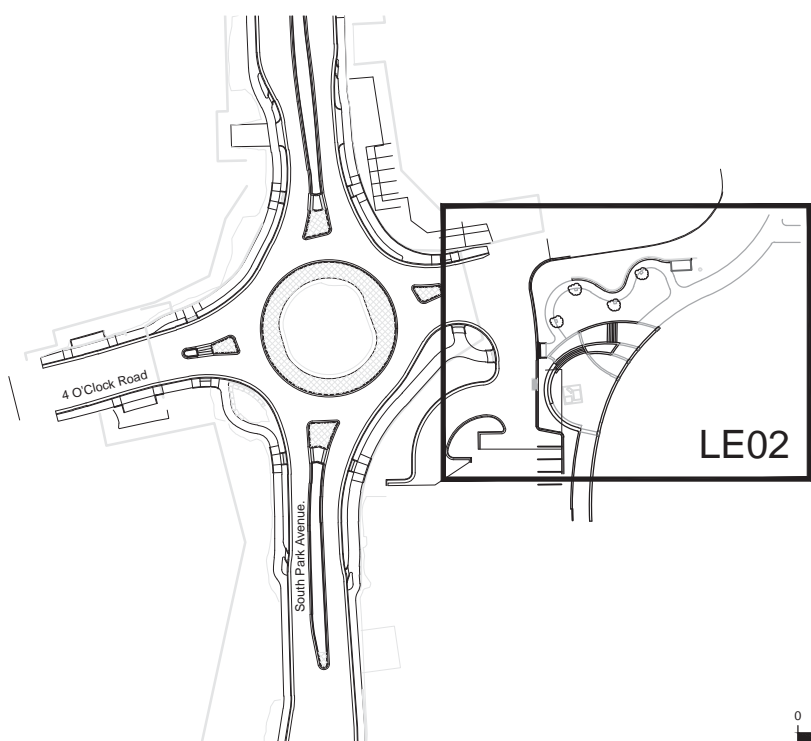
- EXISTING TYPE 'PL1' LIGHT STANDARD TO BE REMOVED AND RESET ON NEW TOWN OF BRECKENRIDGE STANDARD FOUNDATION.
- NEW TYPE PL2' POST TOP LED LUMINAIRE INSTALLED ON 9' POLE AND NEW TOWN OF BRECKENRIDGE STANDARD FOUNDATION.
- LIGHT STANDARD IDENTIFICATION NUMBER
- ELECTRICAL CIRCUIT NUMBER - SEE PANEL SCHEDULES
- NEW TYPE 'R1' RECESSED LED STEP LIGHT.
- NEW TYPE 'R2' INGRADE LED UPLIGHT.
- NEW TYPE 'R3' LIGHTED LED HANDRAIL.
- NEW TYPE 'S1' LED BOLLARD.
- NEW TYPE 'S2' CEILING MOUNTED LED STRIP LIGHT.
- NEW TYPE 'T1' TREE MOUNTED LED FLOODLIGHT. REMOTE MOUNT TRANSFORMER AT TREE BASE AND RUN LOW VOLTAGE CABLE TO TREE MOUNTED LED FLOODLIGHT.
- FLUSH IN GRADE POLYMER CONCRETE SPLICE BOX WITH INCIDENTAL TRAFFIC RATED BOLTED COVER. SPLICE BOXES SHALL BE 12"x18"x12"D UNLESS NOTED OTHERWISE.
- UNDERGROUND BURIED RACEWAY (4#10 THWN, & 1#10 GND) IN 1" SCHEDULE 80 PVC CONDUIT (UNLESS NOTED OTHERWISE) IN 24" DEEP TRENCH. BURY AND COMPACTED BACKFILL TO PRECONSTRUCTION CONDITION. INSTALL PER CDOT M-STANDARD M-613-1.
- NEW LIGHTING CONTROL CENTER - VERIFY EXACT LOCATION IN FIELD WITH ENGINEER PRIOR TO ROUGH-IN.
- CIRCUIT HOMERUN. NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS.
- WP GFI BOLLARD MOUNTED GFCI DUPLEX RECEPTACLE.
- GFI SINGLE GANG BOX WITH GFCI DUPLEX RECEPTACLE.
- WALL MOUNTED 50A RECEPTACLE. NEMA 14-50R IN WEATHERPROOF WHILE-IN-USE COVER AND ENCLOSURE.
- NEW PAD MOUNTED UTILITY TRANSFORMER.
- REMOTE MOUNTED TRANSFORMER.

SCHEDULE OF LIGHTING DEVICES

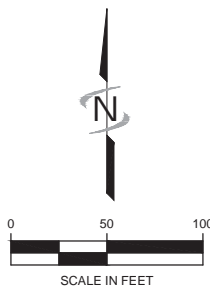
TYPE	LUMINAIRE				LIGHT SOURCE		SYSTEM WATTS	VOLTS	QTY
	MANUFACTURER	DESCRIPTION / NOTES	MOUNTING	COLOR	MANUFACTURER	SOURCE LIFE			
LR	<b>Luminaire Removal</b>	<b>Luminaire Removal</b> Remove existing luminaire, light pole, and foundation.							
PL1	<b>Newport</b> J660-KIT-BK-PL020-120V-T3  Pole: existing	<b>Relocated existing 9ft Newport post top LED luminaire</b> Relocate existing post top pedestrian pole and replace on new foundation. Install new 3000K LED, module Type III distribution. Integral 120V LED driver. 2000 nominal lumen output. Luminaire to be UL listed and labeled "suitable for wet location".	Existing 9ft post top	Semi-gloss black polyurethane	<b>Penn Globe (LED retrofit)</b>  Lumens: 1916 lm CCT: 3000K CRI: ≥ 60		23	120	3
PL2	<b>Newport</b> F663-GX919-BH925-20-120-T3  Pole: Sussex P625-W1112-1000 Ladder Rest: W501-R1CD1-15175-0300	<b>New 9ft Newport post top LED luminaire</b> New post top pedestrian pole on 9ft pole and new foundation. Type III reflector with uplight to illuminate top dome. Cast aluminum crown assembly, hinged for relamping. Clear acrylic diffuser. Cast aluminum support arms. Integral 120V LED driver. 2000 nominal lumen output, 3000K LED 9ft cast aluminum pedestal and base, semi-gloss black polyurethane finish. Luminaire to be UL listed and labeled "suitable for wet location".	New 9ft post top	Semi-gloss black polyurethane	<b>LED (integral to luminaire)</b>  Lumens: 1916 lm CCT: 3000K CRI: ≥ 60		23	120	1
R1	<b>Wnona</b> STEP11-SQU-WL-L-LST1A-700mA-WHT30K-MVOLT-BSS	<b>Recessed LED step light</b> 4.6" square recessed LED step light, mounted to junction box. Die-cast housing with brushed stainless steel faceplate. Ribbed recessed surfaces with matte black finish. Concealed optic with long distribution. Integral 120-277V LED driver. Luminaire to be UL listed and labeled "suitable for wet location".	Recessed	Brushed stainless steel	<b>LED (integral to luminaire)</b>  Lumens: 76 lm CCT: 3000K CRI: 86		3.5	120	19
R2	<b>Hydrel</b> PDX4-BSS-9LED-WHT30K-120-MFL-FLCAS-12S-TKO	<b>Ingrade LED uplight</b> 4" diameter ingrade LED uplight, in sealed 8" deep housing. Die-cast brushed stainless steel housing. Die cast bronze and injection molded thermoplastic housing. Tempered clear flat borosilicate glass, slip resistant lens. Rated for a peak compression force of 2,000 pounds or greater. Tilt kit options include 5° tilt, 10° tilt, 15° tilt, and 5° spread lenses. 3000K LED, 120V integral LED driver. Luminaire to be UL listed and labeled "suitable for wet locations" IP67 rated.	Ingrade	Brushed stainless steel	<b>LED (integral to luminaire)</b>  Lumens: 332 lm CCT: 3000K CRI: ≥ 60	100,000+	10	120	2
R3	<b>io Lighting</b> 0-06-SSS-2-PMC-NR-55-3K-LENGTH PER LANDSCAPE DETAILS-1-[20D-2-0-11x4x4-(Type 4X ENCLOSURE)]	<b>Handrail with integrated LED linear light</b> 1.9" diameter stainless steel railing with integral LED lighting. 3000K standard output LEDs with 55 degree symmetric light distribution. NEMA 4X watertight, sealed, molded fiberglass reinforced polyester enclosure, 4X enclosure to be mounted in splice box as shown on plans. Luminaire integral to handrail to be UL listed and labeled "suitable for wet locations". Post spacing and handrail lengths to be taken from landscape details. Confirm proper wire size for remote distance with manufacturer. Contractor shall wire LED handrail sections in parallel. Manufacturer shall provide shop drawings to Architect and Lighting Designer for approval prior to release of order for each handrail that detail all handrail components based on field measurements.	Post mount in concrete	Stainless steel satin	<b>LED (integral to luminaire)</b>  Lumens: 81 lm CCT: 3000K CRI: 83	50,000	1.02 W/ft	120	(2) 7ft, (1) 7.5ft, and 2 transformer
S1	<b>Bega</b> Luminaire: 88062-SLV	<b>LED bollard</b> Rectangular 10.375" wide x 5.25" deep x 43.875" tall ground mounted 3000K LED bollard with open interior. Extruded aluminum housing, tempered glass lens with high temperature silicon gasket. Reflector to be adjustable to 0°, 15°, and 30° increments. -30°C starting temperature. 120-277 integral driver with 0-10V dimming. Bega anchor system 79817 supplied. Luminaire to be UL listed and labeled "suitable for wet locations".	Ground mounted	Silver	<b>LED (integral to luminaire)</b>  Lumens: 1220 lm CCT: 3000K CRI: 85	29.5		120-277	4
S2	<b>Lithonia</b> VAP-4000LM-POL-MD-120-GZ10-30K-80CRI-SF-DL-WSH10MWL	<b>Ceiling mounted LED strip light</b> 3000K LED strip light, 54.75" long x 8" wide x 4.125" depth, ceiling mounted. Polycarbonate housing with aluminum sheet for thermal conduction and support. Clear polycarbonate, impact-resistant lens. Low mount 360 integral motion sensor, wet location, on/off operation. Integral 120V LED driver with 0-10V dimming and 6kV/3kA surge suppression. Stainless steel surface spring-mounting brackets. Luminaire to be UL listed and labeled "suitable for damp location".	Ceiling mounted	White	<b>LED (integral to luminaire)</b>  Lumens: 4000 lm CCT: 3000K CRI: 80	100,000+	44	120-277	1
T1	<b>BK Lighting</b> DS-LED-e65-SP-A9-BZW-11-B-360SL  Mounting: TS-MB-2-BZW-12 Transformer: Qtran Q-HEX-M50W-120V/12V-4A-[Q-TRIX-R50]	<b>Tree mounted LED landscape floodlight</b> Cylindrical 2.25" diameter, 4.25" long tree mounted LED landscape floodlight. Housing fully machined from solid billet, with high temperature silicon 'O' Ring for water-tight seal. Spot distribution. Locking knuckle with full 180° vertical adjustment. Fully machined cap with 90° cutoff, and weep-holes for water drainage. Honeycomb baffle. Shock resistant, tempered glass lens adhered to luminaire cap at factory. Integral 12VAC/VDC LED driver. 120V/12V Q-HEX-Mini magnetic transformer remote mounted in outdoor direct burial rated Q-TRIX-R50 housing. Luminaire to be UL listed and labeled "suitable for wet location".	Tree mounted	Bronze Wrinkle	<b>LED (integral to luminaire)</b>  Lumens: 512 lm CCT: 3000K CRI: 80	50,000	7	12	6 floodlight, 6 straps, and 4 transformer

TABULATION OF APPROXIMATE LIGHTING QUANTITIES

	UNIT	QTY
REMOVE EXISTING LIGHT STANDARD	EA	3
LED LUMINAIRE 'PL1', RELOCATE EXISTING PEDESTRIAN POLE AND LUMINAIRE	EA	3
LED LUMINAIRE 'PL2', NEW PEDESTRIAN LUMINAIRE AND LIGHT STANDARD	EA	1
LED LUMINAIRE 'R1', RECESSED STEPLIGHT	EA	19
LED LUMINAIRE 'R2', INGRADE UPLIGHT	EA	2
LIGHTED HANDRAIL 'R3', INTEGRAL LED LUMINAIRE	LF	25.75
LED LUMINAIRE 'S1', LIGHT BOLLARD	EA	4
LED LUMINAIRE 'S2', CEILING MOUNTED STRIP LIGHT	EA	1
LED LUMINAIRE 'T1', TREE MOUNTED SPOTLIGHT	EA	6
TRANSFORMER FOR 'T1' OUTDOOR, DIRECT BURIAL	EA	4
TRANSFORMER FOR 'R3' OUTDOOR, DIRECT BURIAL	EA	2
LIGHT STANDARD FOUNDATION (PEDESTRIAN POLE)	EA	4
WIRING, #10 THWN COPPER	LS	1
1/2" PVC CONDUIT	LF	265
1" PVC CONDUIT	LF	400
2" PVC CONDUIT	LF	350
1/2" GRC CONDUIT	LF	20
1/2" EMT CONDUIT	LF	35
JUNCTION BOX, 12"x18"x12"DP, FLUSH TO GRADE, TIER 15 POLYMER CONCRETE	EA	10
NEW TRANSFORMER BY XCEL	EA	1
LIGHTING CONTROL CENTER	EA	1
20A DUPLEX RECEPTACLE PEDESTAL	EA	1
20A DUPLEX RECEPTACLE	EA	2
50A RECEPTACLE	EA	2



LIGHTING KEY MAP



J-U-B ENGINEERS, INC.  
4745 BOARDWALK DRIVE  
BUILDING D, SUITE 200  
Fort Collins, CO 80525  
Phone: 970.377.3602  
Fax: 970.377.3935  
www.jub.com

PRELIMINARY

SET

NO.	DESCRIPTION	BY	DATE

RIVERWALK SCULPTURE PARK  
TOWN OF BRECKENRIDGE  
LIGHTING IMPORVEMENTS  
LIGHTING AND ELECTRICAL PLAN

FILE: 16096 BRECKENRIDGE LIGHTING MODEL.DWG

JUB PROJ.#: #####  
DRAWN BY: JE  
DESIGN BY: AK  
CHECKED BY: DR  
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY  
LAST UPDATED: 2/7/2017

SHEET NUMBER:

LE01

SHEET 01 OF 06

NOT FOR  
CONSTRUCTION  
BID SET  
ONLY

DRAWN BY: MK, JK  
CHECKED BY: BC  
PROJECT NO: 2016034.40  
ISSUE DATE: 2/3/17  
REVISIONS:

SHEET TITLE:  
BOILER ROOM  
DETAILS

SHEET NUMBER:

STONE VENEER:



CHARACTER IMAGE

STONE VENEER  
4" THICK CUT NATURAL STONE VENEER.  
ASHLAR PATTERN, COLORS AND SIZE RATIOS  
TO BE SIMILAR TO CHARACTER IMAGE SHOWN  
(SEE SIZES BELOW)

STONE SIZES:  
2 1/2" X 10"  
2 1/2" X 12"  
2 1/2" X 14"  
4" X 10"  
4" X 14"  
6" X 8"  
6" X 12"  
8" X 14"

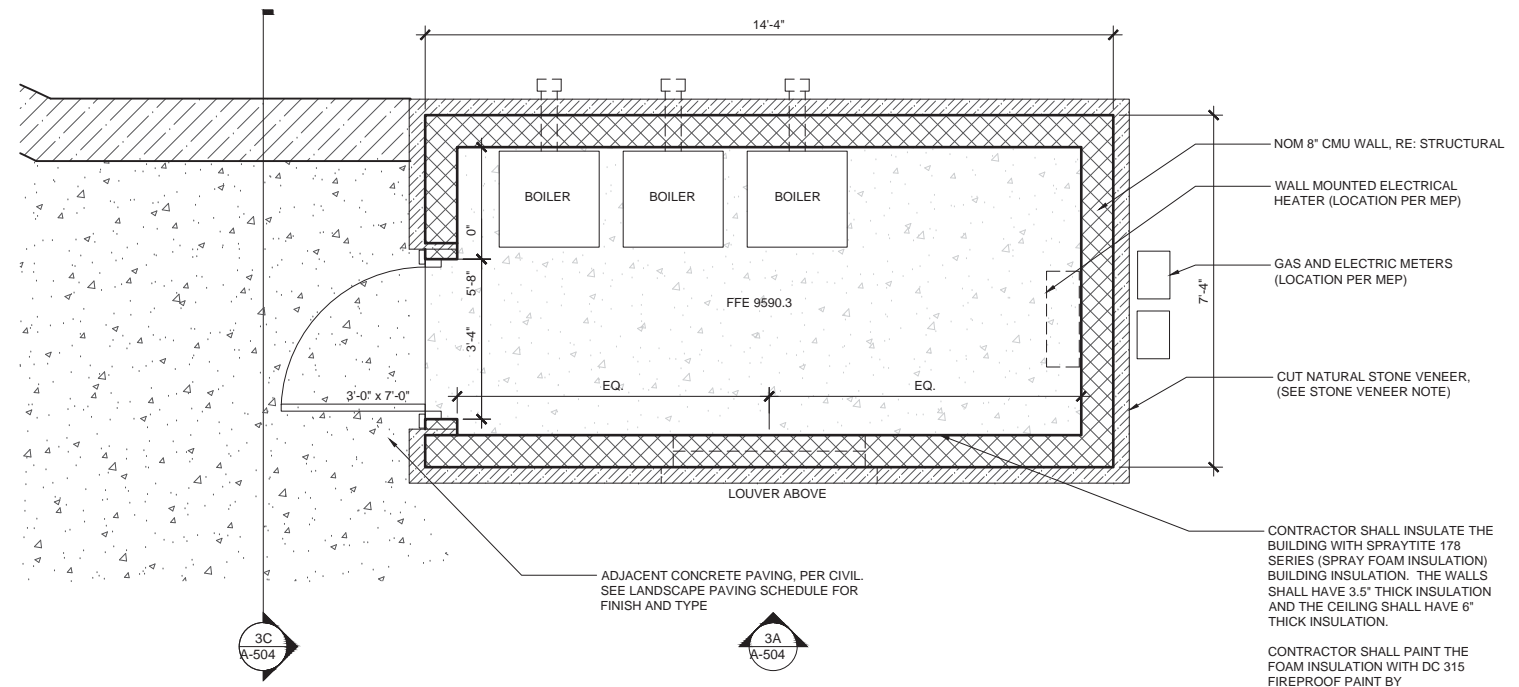
CARRY STONE VENEER AROUND ALL SIDES OF  
BUILDING AS REQUIRED TO HIDE STRUCTURAL  
CORE. STONE TO BE COLORADO BUFF OR  
APPROVED EQUAL. AVAILABLE FROM PINE'S  
STONE COMPANY, CARBONDALE, CO. 81623.  
CONTACT: 970.945.2940

WOOD STAIN  
EXTERIOR WOOD STAIN AVAILABLE FROM  
BENJAMIN MOORE. PRODUCT: ARBORCOAT  
EXTERIOR STAIN, SEMI-TRANSPARENT, MATTE  
FINISH. COLOR: LAKE SHORE TRAIL 1084  
INSTALL PER MANUFACTURER'S SPECIFICATIONS

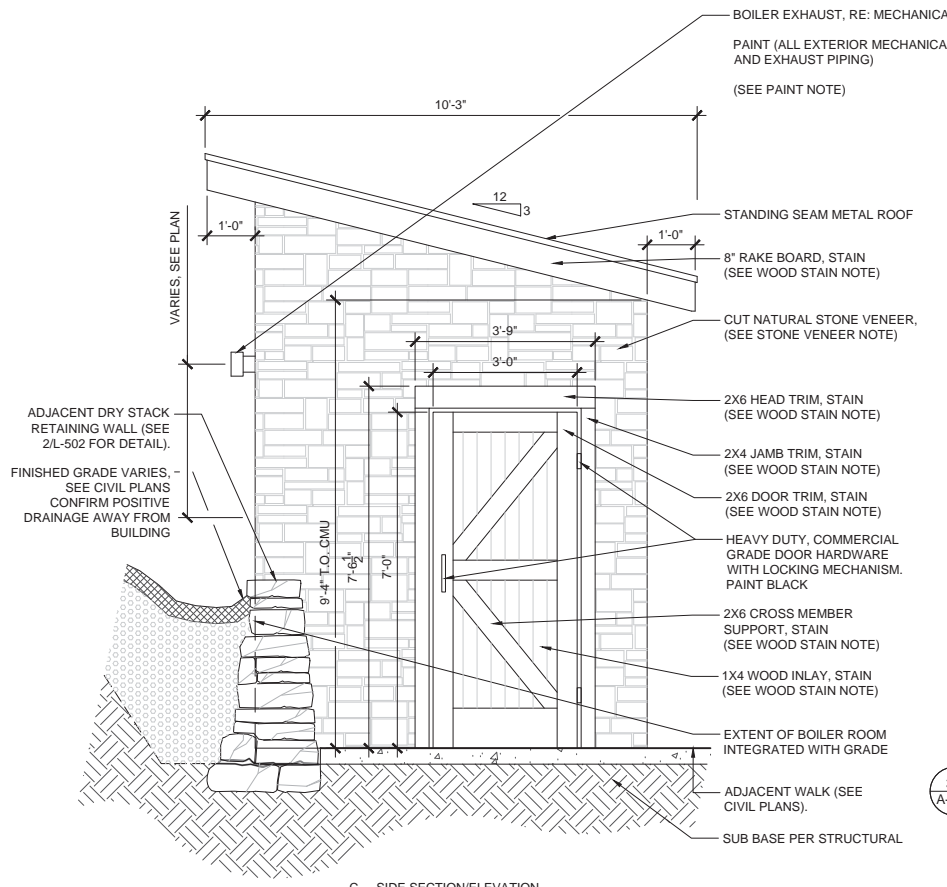
PAINT  
BENJAMIN MOORE EXTERIOR PAINT - LOW  
LUSTRE (542).  
COLOR: CLASSIC BURGUNDY  
INSTALL PER MANUFACTURER'S SPECIFICATIONS

NOTES:

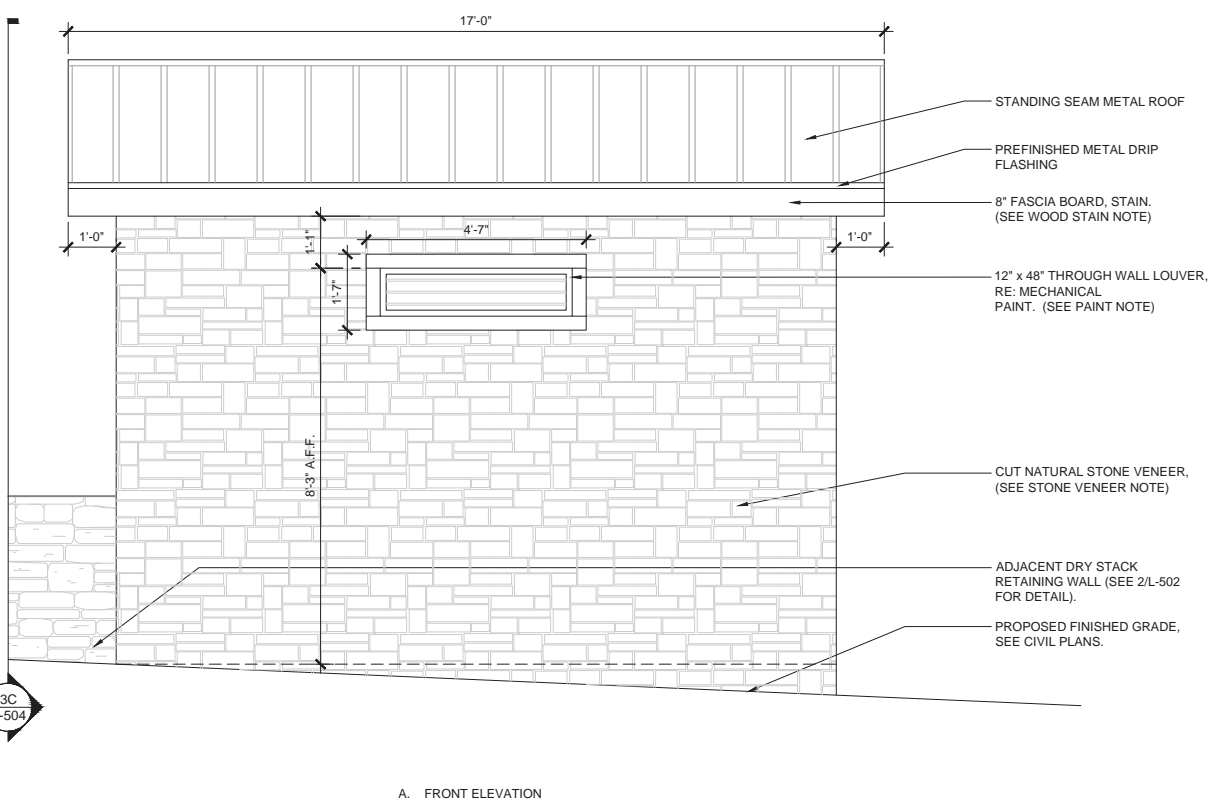
- CONTRACTOR TO PROVIDE MIN. 4'X4' MOCKUP OF FINISHED WALL FOR LANDSCAPE ARCHITECT REVIEW. PROVIDE 1/3 MEDIUM AND 1/3 HEAVY OXIDIZED COLOR WITHIN THE OVERALL WALL PATTERN. MOCKUP TO INCLUDE STONE VENEER WITH VARIATION OF STONE SIZES / COLORS AND GROUT JOINTS. GROUT COLOR TO MATCH STONE VENEER, MEDIUM RAKE JOINTS.
- CONTRACTOR RESPONSIBLE FOR STRUCTURAL ENGINEER COORDINATION FOR INSPECTION OF CONCRETE FOOTINGS PRIOR TO POUR. SEE STRUCTURAL DRAWINGS.
- CONTRACTOR TO SUBMIT PAINT AND STAIN COLOR SAMPLES FOR OWNER'S REP. REVIEW AND APPROVAL PRIOR TO ORDERING.



B. PLAN



C. SIDE SECTION/ELEVATION



A. FRONT ELEVATION

1 BOILER ROOM  
1/2"=1'-0"



NOT FOR CONSTRUCTION  
BIG SET ONLY

DRAWN BY: MK, JK  
CHECKED BY: BC  
PROJECT NO.: 2016034.40  
ISSUE DATE: 2/3/17  
REVISIONS:

SHEET TITLE:  
HARDSCAPE DETAILS  
SHEET NUMBER:

NATURAL CUT STONE CAP:



CHARACTER IMAGE

3" THICK NATURAL CUT STONE CAP. CAP STONE TOP AND SIDE CHARACTER TO MATCH IMAGE SHOWN. SMOOTH (TOP) ROUGH (SIDES). OVERALL LENGTHS VARY (PER LAYOUT PLAN). CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER'S REP. REVIEW CLEARLY DIMENSIONING ALL CAP STONE SEGMENT LENGTHS. CENTER STONE CAP ON WALL AND MORTAR SET IN PLACE. STONE TO BE NEW MEXICO BUFF OR APPROVED EQUAL. AVAILABLE FROM PIONEER SAND CO., GOLDEN, CO. 80403. CONTACT: 303.279.4748

NATURAL CUT STONE VENEER:



CHARACTER IMAGE

4"X12" NATURAL CUT STONE VENEER, PATTERN RUNNING BOND, COLORS TO MATCH CHARACTER IMAGE SHOWN. INSTALL STONE PER PATTERN SHOWN BELOW. CARRY STONE VENEER AROUND ALL SIDES OF WALL AS REQUIRED TO HIDE WALL CORE. STONE TO BE COLORADO BUFF OR APPROVED EQUAL. AVAILABLE FROM PINE'S STONE COMPANY, CARBONDALE, CO. 81623. CONTACT: 970.945.2940

NATURAL CUT STONE INLAY:



CHARACTER IMAGE

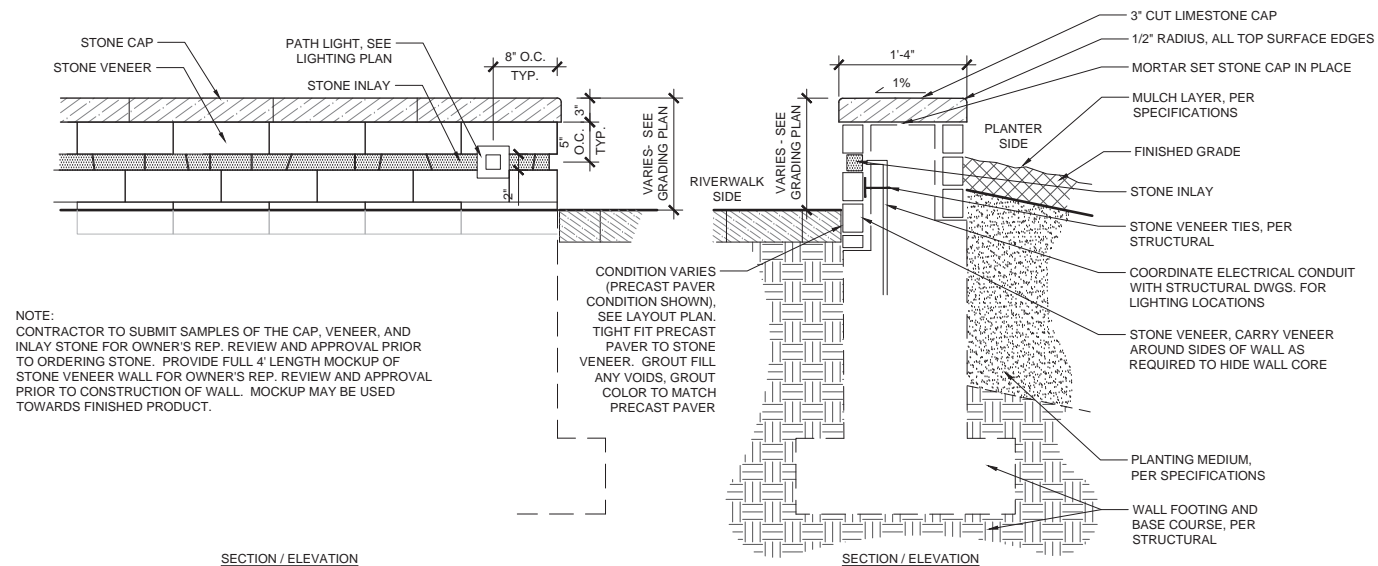
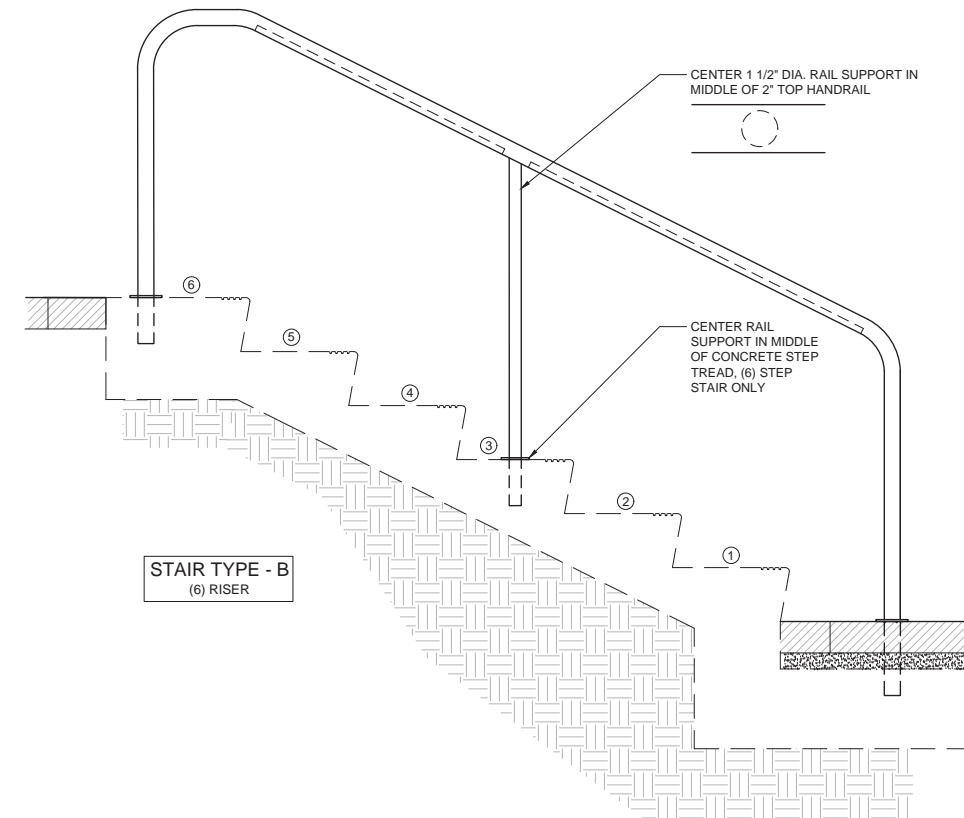
2" HEIGHT NATURAL CUT STONE VENEER INLAY. LENGTH VARIES - SEE GENERAL CHARACTER SHOWN ON WALL ELEVATIONS SHEET L-503. CARRY STONE VENEER AROUND ALL SIDES OF WALL AS REQUIRED TO HIDE WALL CORE. STONE TO BE PENNSYLVANIA BLUE SELECT OR APPROVED EQUAL. AVAILABLE FROM PIONEER SAND CO., GOLDEN, CO. 80403. CONTACT: 303.279.4748



CHARACTER IMAGE - STAINLESS STEEL HANDRAIL



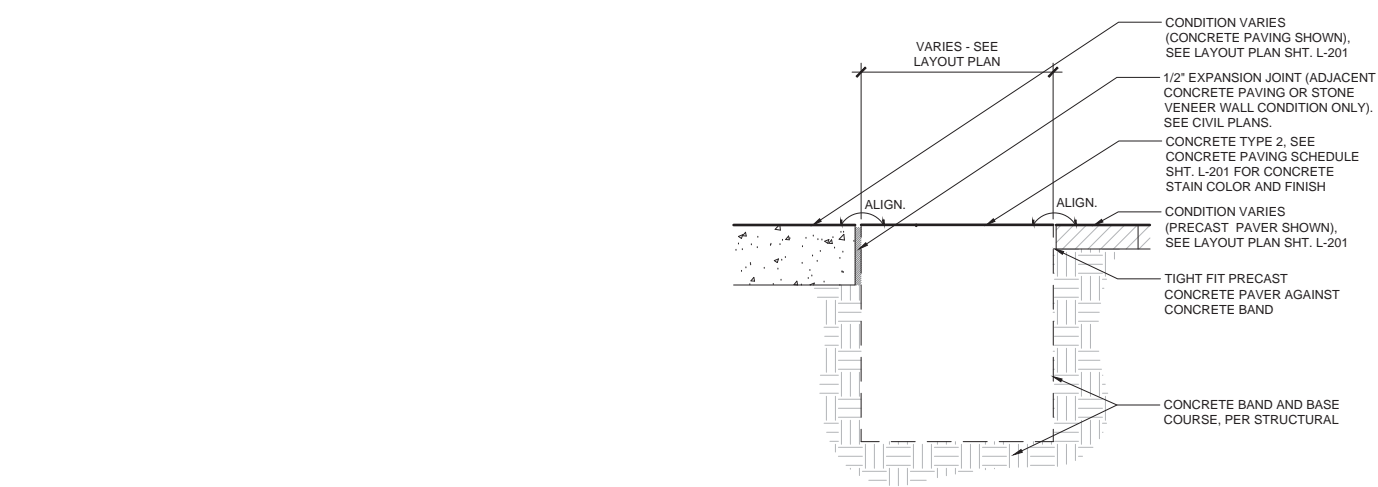
CHARACTER IMAGE - STAIR TREAD



3  
L-501  
1" = 1'-0"

STONE VENEER WALL

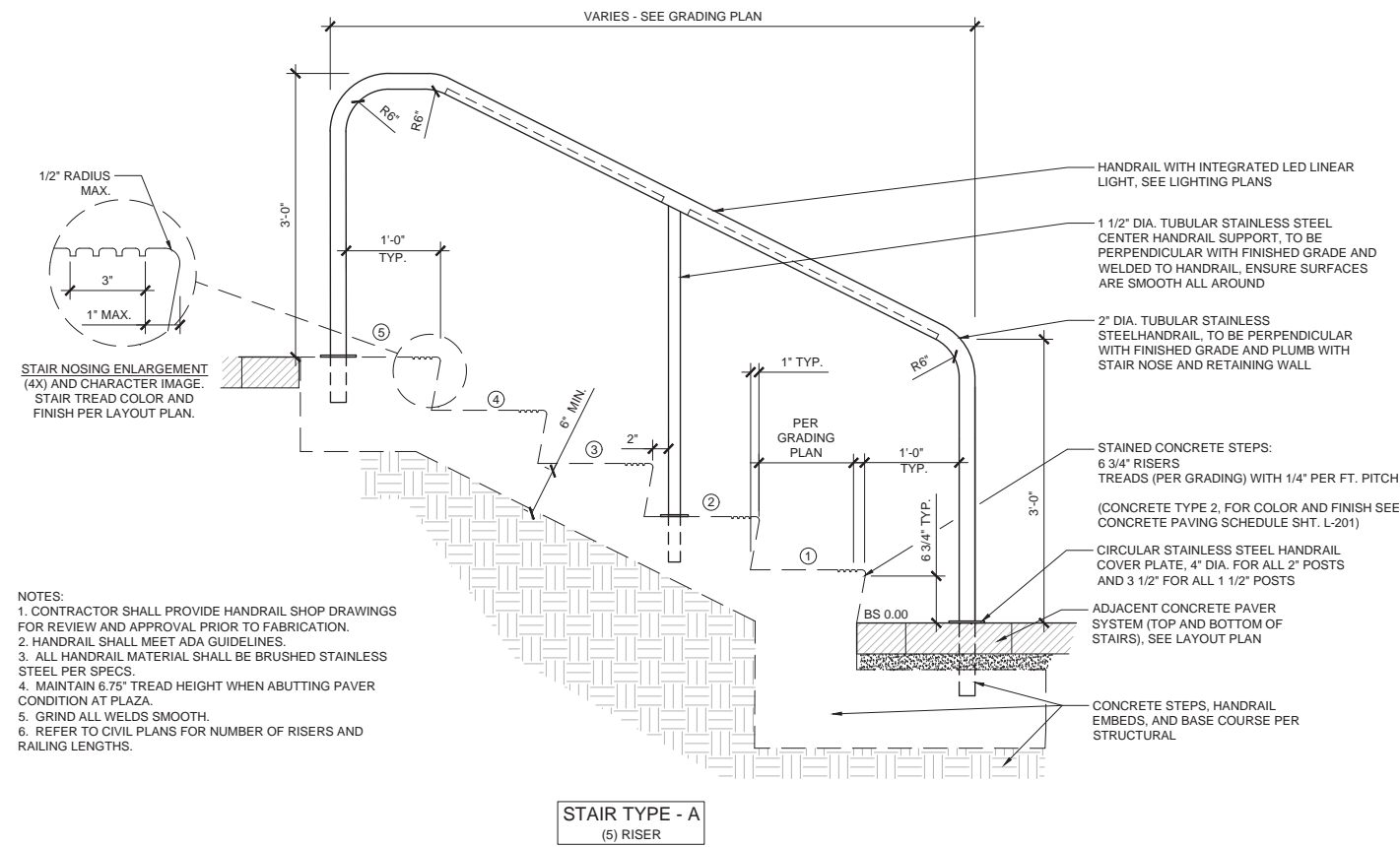
VARIES



2  
L-501  
1 1/2" = 1'-0"

CONCRETE BAND

SECTION



NOTES:  
1. CONTRACTOR SHALL PROVIDE HANDRAIL SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.  
2. HANDRAIL SHALL MEET ADA GUIDELINES.  
3. ALL HANDRAIL MATERIAL SHALL BE BRUSHED STAINLESS STEEL PER SPECS.  
4. MAINTAIN 6.75" TREAD HEIGHT WHEN ABUTTING PAVER CONDITION AT PLAZA.  
5. GRIND ALL WELDS SMOOTH.  
6. REFER TO CIVIL PLANS FOR NUMBER OF RISERS AND RAILING LENGTHS.

1  
L-501  
1" = 1'-0"

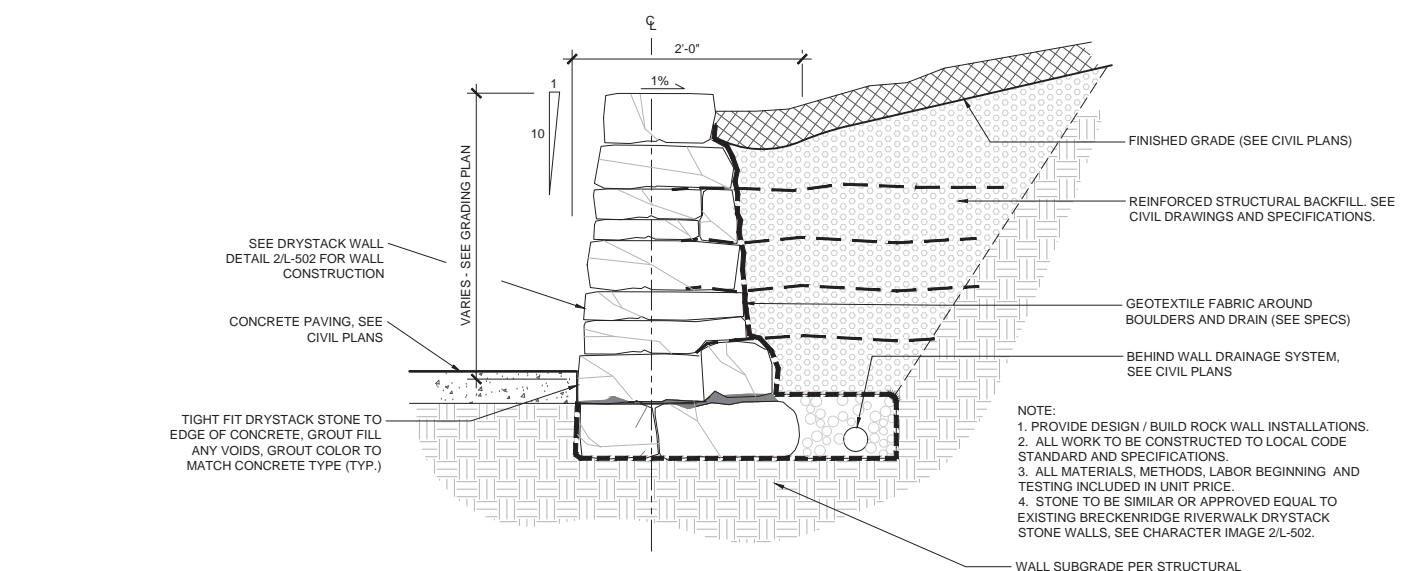
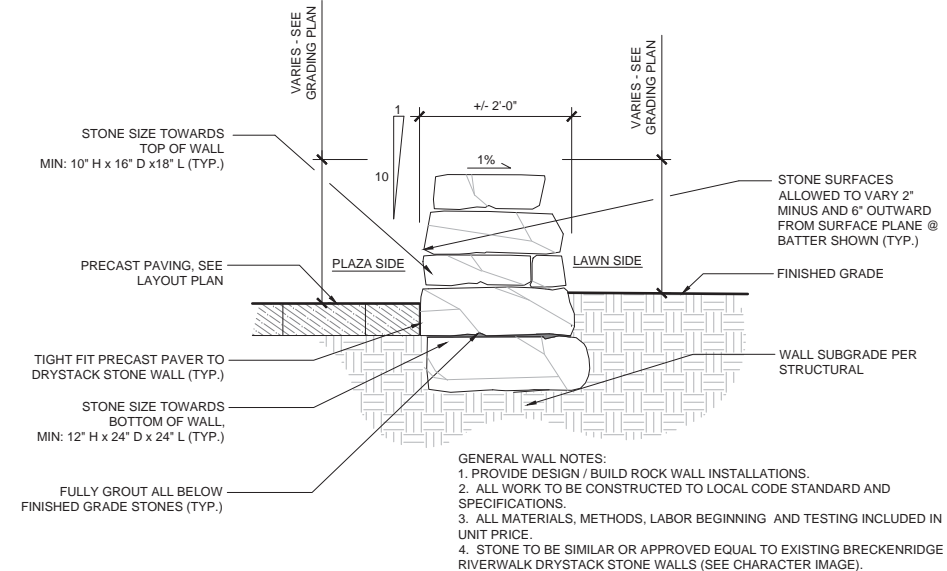
HANDRAIL LAYOUT @ STEPS

SECTION / ELEVATION

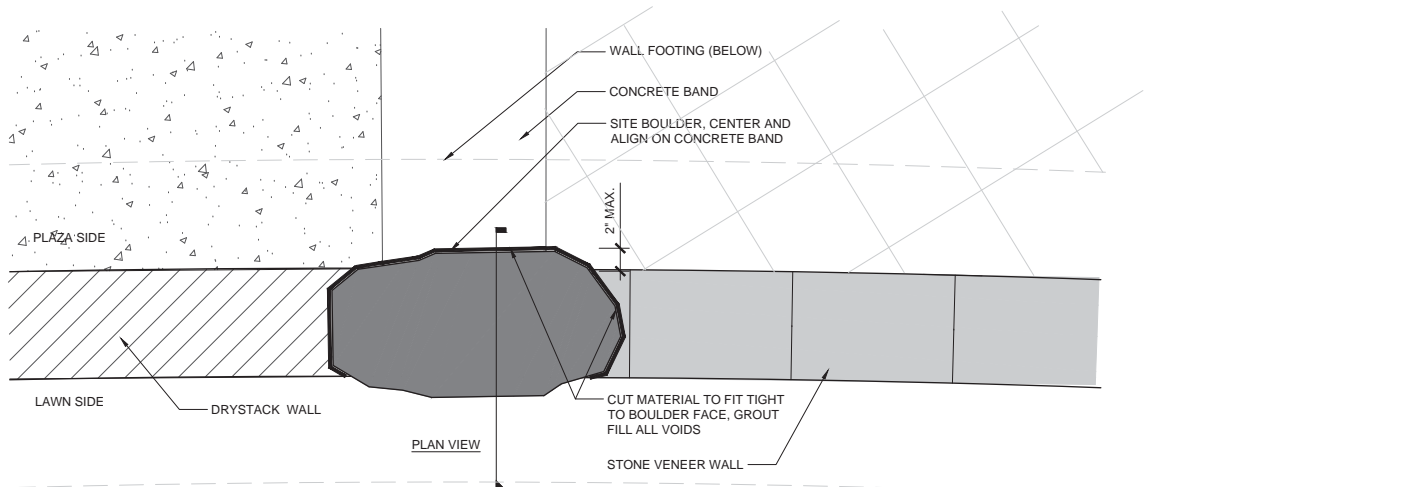


**DRYSTACK STONE NOTES:**

1. STONE TO BE UTILIZED FROM ON-SITE SUPPLY DURING DEMO PHASE, OR APPROVED EQUAL. BOULDERS SHALL VARY IN SIZE, AND IN GENERAL SHALL RANGE IN SIZES SHOWN ON THIS DETAIL. DUE TO WORKING WITH A NATURAL MATERIAL, SIZES SHOWN ARE APPROXIMATE. STONE SHOULD BE GRADATED FROM LARGER SIZES (BOTTOM OF WALL) TO SMALLER SIZES (TOP OF WALL).
2. BOULDER PLACEMENT SHALL BE GRADATED AS SHOWN, WITH LARGER BOULDERS PLACED TOWARDS THE BOTTOM AND SMALLER BOULDERS PLACED TOWARDS THE TOP. ALL BOULDERS SHALL BE TIGHTLY CHINKED AND PLACED LEVEL WITH NO SHARPLY ANGLED SURFACES ALLOWED.
3. A MOCK UP OF THE WALL SHALL BE CONSTRUCTED FOR REVIEW AND APPROVAL BY THE OWNER / OWNER'S REP. PRIOR TO FINAL CONSTRUCTION OF THE WALL.
6. ALL VERTICAL JOINTS WILL BE OFFSET, AS SHOWN.



**4 DRYSTACK WALL - RETAINING**  
 1" = 1' - 0"

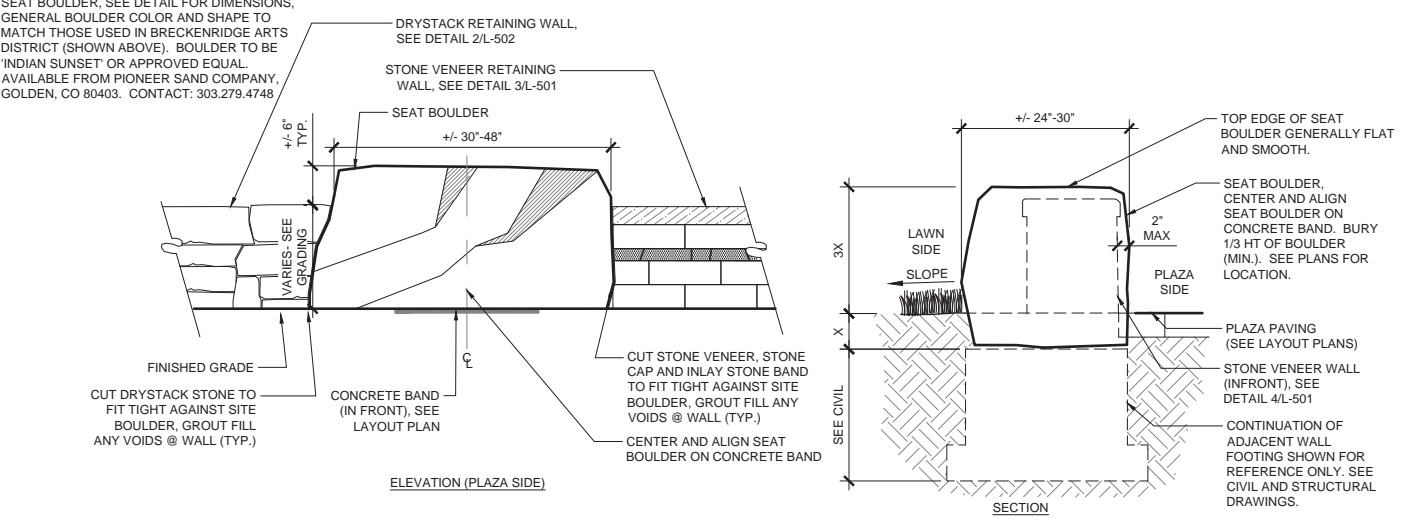


SEAT BOULDER, SEE DETAIL FOR DIMENSIONS. GENERAL BOULDER COLOR AND SHAPE TO MATCH THOSE USED IN BRECKENRIDGE ARTS DISTRICT (SHOWN ABOVE). BOULDER TO BE 'INDIAN SUNSET' OR APPROVED EQUAL AVAILABLE FROM PIONEER SAND COMPANY, GOLDEN, CO 80403. CONTACT: 303.279.4748

**NOTES:**

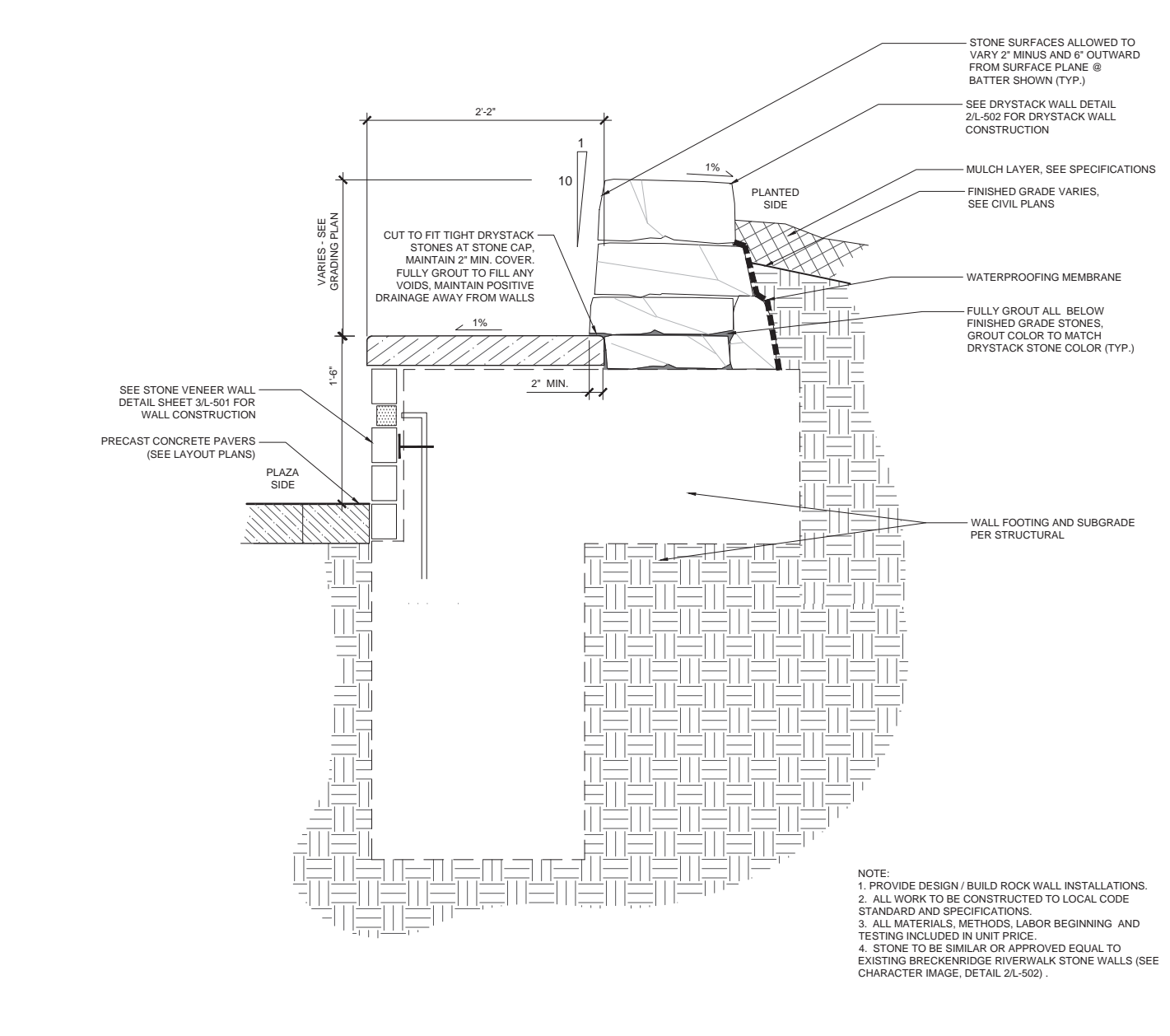
SELECTION, LOCATION, AND ARRANGEMENT OF BOULDERS SHALL BE FIELD APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. A PORTION OF THE BOULDER WALL SHALL BE CONSTRUCTED AS A MOCK-UP SECTION. THE MOCK UP SHALL BE REVIEWED BY AND ADJUSTED PER THE OWNER'S REPRESENTATIVE.

GENERALLY INSTALL BOULDER WITH STRIATIONS LEVEL TO GRADE. BOULDERS TO 'FIT' TOGETHER WITH ADJACENT WALLS. BOULDER ORIENTATION AND POSITION TO BE APPROVED BY OWNERS REP. PRIOR TO FINAL APPROVAL AND ADJACENT IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL GRADE ORIENTATION TO ADJACENT IMPROVEMENTS.



**3 BOULDER @ WALL**  
 3/4" = 1' - 0"

**2 DRYSTACK WALL**  
 1" = 1' - 0"



**1 DRYSTACK RETAINING SEATWALL**  
 1 1/2" = 1' - 0"

## Planning Commission Staff Report

- Subject:** DP 1 Master Plan and Site Plan Modification (aka Denison Placer Phase 1)  
(Town Project Hearing; PL-2017-0014)
- Proposal:** A proposal to construct 58 workforce for sale townhomes (13-one bedrooms, 37-two bedrooms, and 8-three bedrooms) and 18 one bedroom workforce rental apartment units (53 single family equivalents or SFEs) in 19 buildings on six acres of the northernmost undeveloped section of the Block 11 parcel with access from Denison Placer Road and Flora Dora Drive. Primary changes from the initial development approval include unit count, unit types, architecture and parking.
- Date:** February 11, 2017 (For meeting of February 21, 2017)
- Project Manager:** Julia Puester, AICP, Planning Manager
- Applicant/Owner:** Town of Breckenridge
- Agent:** Eric Komppa, Corum Real Este Group, Inc.
- Address:** 107 Denison Placer Road/1900 Airport Road/TBD Floradora Drive
- Legal Description:** Lot A-1, and Tract E, Runway Subdivision and Lot 2C, Block 10, Resubdivision Plat of the Common Area of Rock Pile Ranch Condominium
- Site Area:** Six acres (261,601 sq. ft.) Gross Land Area (includes future ROWs)
- |                             |                            |
|-----------------------------|----------------------------|
| Lot A-1, Runway Subdivision | 5.31 acres/231,423 sq. ft. |
| Tract E, Runway Subdivision | 0.17 acres/7,724 sq. ft.   |
| Lot 2C, Block 10, Airport   | 0.58 acres/25,365 sq. ft.  |
- Land Use District:** 31: Commercial, Industrial, Public Open Space, Public Facilities (including, without limitation, Public Schools and Public Colleges), child care facilities, and surface parking. Employee housing is an allowed use but only on Block 11 of the Breckenridge Airport Subdivision (aka Runway Subdivision).
- Site Conditions:** The Blue River runs along the eastern property line of Lot A-1 and Airport Road to the west. The location of northern area of the lot (known as Block 11) has some slightly undulating dredge rock tailings. A 50-foot wide sanitary sewer easement runs from east to west across the property. The property is vacant however, has undergone utility installations and partial road construction as approved under the 2016 DP1 development permit. Tract E is a long, linear tract of land with a varied width of 23 to 54 feet located west of Denison Placer Road, extending the length of Denison Placer Road. The tract is vacant and only a small section of this Tract will be included in the project that currently serves as paved access from Denison Placer Road to a paved overflow parking lot on a portion of Lot 2C. Lot 2C, Block 10 contains a small section of Floradora Drive which connects Airport Road to Denison Placer Road as well as two bus pull outs which have been installed per the 2016 development permit. There is a 10-foot snow stack



easement along Airport Road and a 15-foot drainage easement along the southern and eastern property line.

**Adjacent Uses:** North/Northeast: Workforce housing rental apartments (DP2) /Commercial and warehouse uses  
South/Southwest: Town of Breckenridge snow storage area, ski area satellite parking lot/Upper Blue Elementary School/Rock Pile Ranch commercial condos  
East: Blue River, Highway 9/Denison Placer Road  
West: Rock Pile Ranch commercial condos, Airport Road, Breckenridge Distillery

**Density:** **Maximum allowed under LUGs:** Employee housing consisting of an approved mix of housing types (single family, duplexes, and multi-family units) with a maximum density of 20 UPA is permitted on Block 11 if consistent with the Town's adopted Vision Statement for Block 11. All other property located within the Breckenridge Airport Subdivision, except Block 11, shall have a density (FAR) of 1:4.

Lot A-1 (5.31 acres/231,423 sq. ft.)  
106.2 SFEs = 169,920 sq. ft. (townhome @ 1,600 sq. ft. per SFE)  
106.2 SFEs = 127,440 sq. ft. (apartment @ 1,200 sq. ft. per SFE)

Tract E (0.177 acres/ 7,724 sq. ft.) – a portion of Tract E  
2.2 SFEs = 3,520 sq. ft. (townhome @ 1,600 SF per SFE) - 20 UPA

Lot 2C, Block 10 (0.58 acres/ 25,365 sq. ft.)  
6.3 SFEs = 6,341 sq. ft. (1:4 F.A.R.) – (commercial @ 1,000 sq. ft. per SFE)  
3.96 SFEs = 6,336 sq. ft. (townhome @ 1,600 sq. ft. per SFE)

**Proposed density - 9 UPA:**

Townhome

(13- 1 bedroom;  
37-2 bedroom;  
8-3 bedroom) 42.4 SFEs = 67,897 sq. ft.

Apartments

(18-1 bedroom) 10.5 SFEs = 12,540 sq. ft.

Total Proposed: 52.9 SFEs = 80,437 sq. ft.

**Mass:** Allowed under LUGs: 208,128 sq. ft. (20% bonus for townhome)  
149,592 sq. ft. (15% bonus for apartment)  
(Note Lot 2C not included in bonus calculations)

Proposed mass: 85,545 sq. ft. (this includes 1,769 sq. ft. trash enclosures, carport, and exterior storage and 1,686 sq. ft. of interior storage)

**Height:** Recommended: - 35' mean (no overall building height limit for multifamily residential buildings)

Proposed:

Building A1	23'8" mean (27'9" max overall)
Building A2	30'9" mean (38'5" overall)
Building B	23'5" mean (27'7" overall)
Building C1	24'2" mean (27'11" overall)
Building C2	24'3" mean (27'11" overall)
Building D1	34'7" mean (39'5" overall)
Building D2	34'7" mean (39'5" overall)
Building E	32'8" mean (35'6" overall)
Building F3	35'5" mean (38'11" overall)
Carport:	17'8" overall
Trash Enclosure	17' overall

**Parking:** Required: 114 spaces (1.5 spaces x 76 units)  
Proposed: 164 spaces

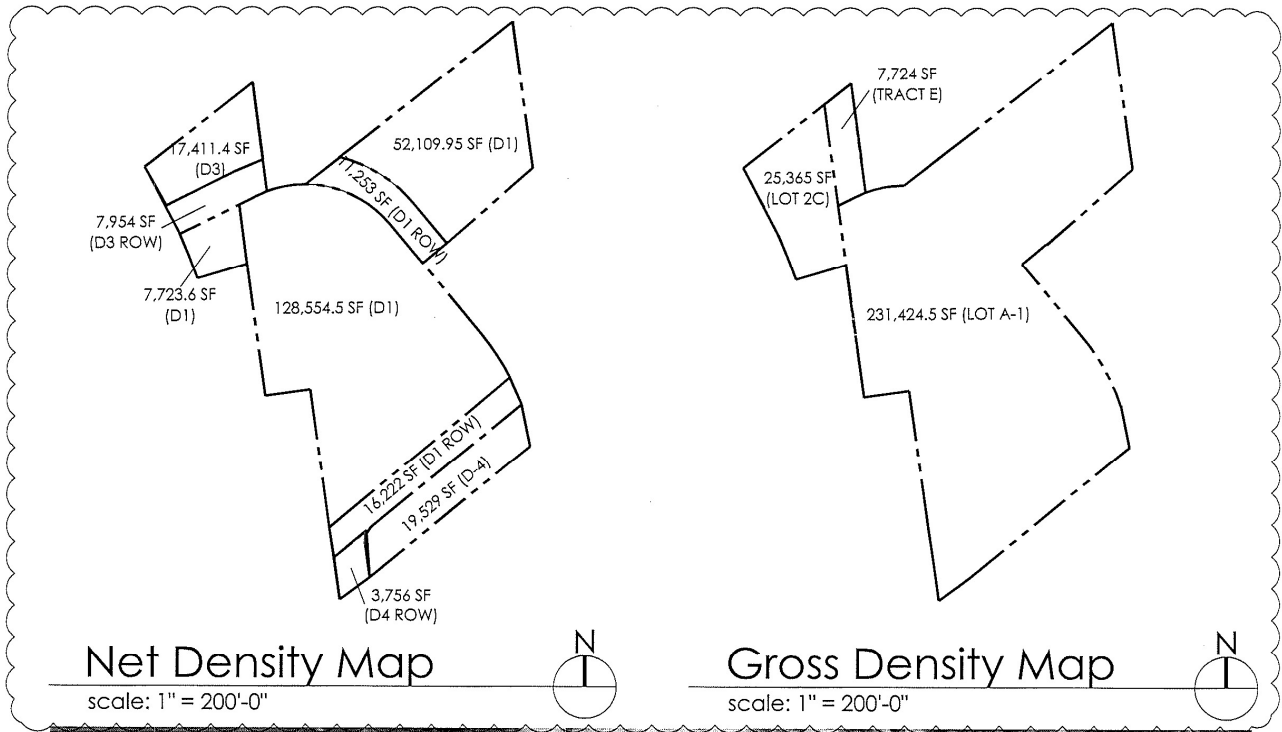
**Snowstack:** Required: 17,597 sq. ft. (25%)  
Proposed: 17,767 sq. ft. (25%)

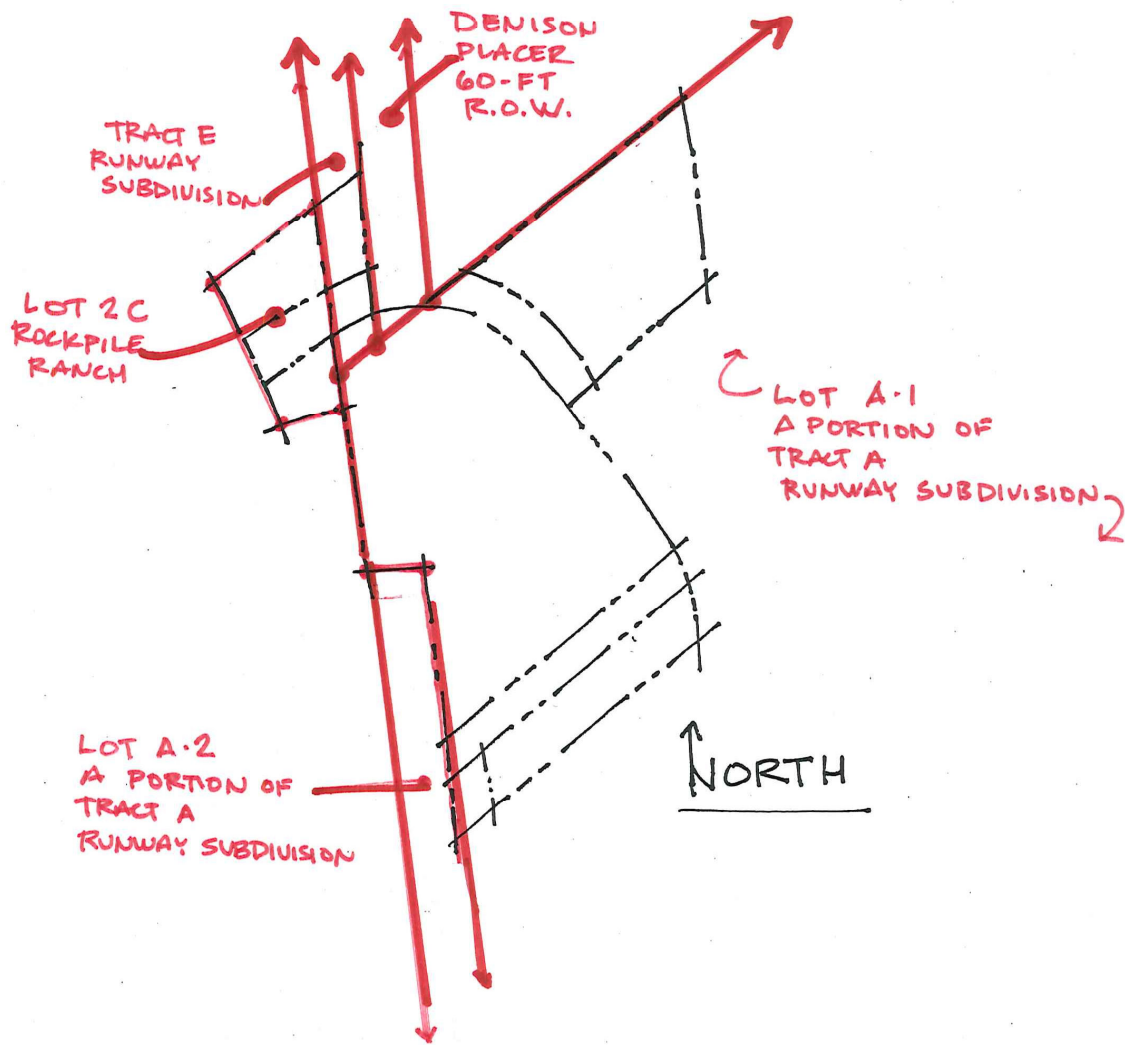
**Setbacks (Perimeter Setbacks):**

Absolute: Front: 10 ft.  
Side (East): 3 ft.  
Side (South): 3 ft.  
Rear: 10 ft.

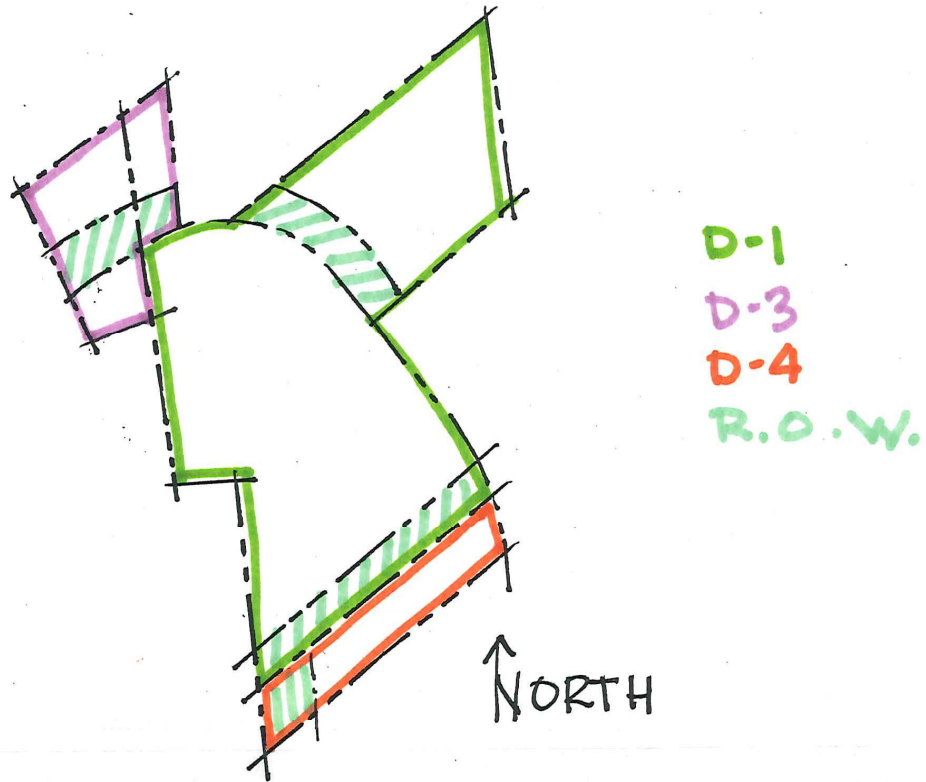
Relative: Front: 15ft.  
Side: 5 ft.  
Side: 5 ft.  
Rear: 15 ft.

Proposed: Front: 10 ft.  
Side: 10 ft.  
Rear: 10 ft./30 ft.





(RED = ORIGINAL PLATTED PROPERTIES)



LOT COVERAGE	D-1	D-3	D-4	
GROSS LOT AREA	215,863.05 SF (~5 ACRES)	25,365.5 SF (~.6 ACRES)	23,285 SF (~.5 ACRES)	264,513.5 SF (~6.1 ACRES)
ROW (FLORADORA & WALKER) - NOT PART OF NET CALCULATIONS	27,475 SF	7,954 SF	3,756 SF	39,185 SF
NET LOT AREA	188,388.1 SF (~4.3 ACRES)	17,411.5 SF (~.4 ACRES)	19,529 SF (~.4 ACRES)	225,328.5 SF (~5.2 ACRES)
BUILDING COVERAGE (OF NET LOT)	38,503 sf (20%)	3,162 sf (18%)	0	41,665 SF (18.5% of NET)
HARD SURFACE AREAS (OF NET LOT)	79,185 sf (42%)	5,378 sf (31%)	0	84,563 SF (37.5% of NET)
OPEN SPACE (OF NET LOT)	70,700.1 sf (38%)	8,871.5 sf (51%)	19,529 100%	99,100.5 SF (44% of NET)

Lot Coverage

## Item History

### The Property

Block 11 is approximately 72 acres and is located towards the northern end of the Town limits on the west side of Highway 9 between Coyne Valley Road and Valley Brook Street. The property was acquired jointly by the Town and the Summit School District through a condemnation process. The Town quit claimed two parcels (approximately 20 acres) to the School District and retained ownership of the remaining 52 acres. Upper Blue Elementary School is on one of the School District parcels and the other 8.7 acre School District parcel is vacant. In 2007, the Town Council entered into an MOU and approved the Colorado Mountain College site plan on 16 acres. Approximately 7.5 acres has been developed as a Police Station, Timberline Child Care, and Valley Brook Townhomes. Approximately 25 acres of land is remaining on Block 11, currently planned for workforce housing, internal parks and right of way.

### Vision Plan

In 2007 the Town approved a DTJ Design to create a Vision for Block 11. In 2009 the Council formally endorsed the 2007 Vision Plan (The Plan) for Block 11 by Resolution and amended the Town Land Use District Guidelines (LUGS) to reference the Plan and to allow employee housing (maximum 20 UPA/35' height), public facilities, schools, and surface parking. Prior to the amendment to the LUGS, no density was permitted on Block 11 as it was originally intended as an airport runway.

The Plan allows for a variety of housing types. These include single family, duplexes, carriage homes, triplexes, townhomes, and manor homes (6-10 unit buildings). The higher density option includes more manor homes and townhomes, and fewer single family homes. The Plan also encourages a variety of income targets mixed within the blocks, and for-sale, as well as rental housing.

The Plan shows the blocks angled to maximize solar opportunities and configured to allow for phased development based on market conditions.



### Denison Placer Phase 1 and 2 Workforce Housing and Overflow Parking Lot (Approved April 5, 2016)

The Planning Commission approved the Denison Placer Phase 1 (DP 1), Phase 2 (DP2) and Overflow Parking lot April 5, 2016. During that review process, DP1 and DP2 were processed as a Class A development permits as the business plan was to have them owned not by the Town but by a third party and rented (due to low income housing tax (LIHTC) credit grant stipulations for DP1). Denison Placer 2 was not targeted for low income tax credits and the Town Council moved forward with DP2, which is currently under construction. The Town did not receive the LIHTC grant for DP1. After denial of the grant application, the Town Council decided to move forward with developing DP1 as a town-owned project with a combination of for-sale (townhomes) and rental (apartments) units. Due to this change, site plan modifications are being proposed to make the for-sale units appeal more to buyers. As a Class A development application in 2016, there were 2 work sessions, one preliminary and one final hearing in

addition to a formal Planning Commission site visit for DP1 and DP2. The proposal to modify this approval is outlined below.

### **Changes From Approved Plans (from Denison Placer 1 and Overflow Parking Lot Site Plans)**

The site configuration remains largely unchanged. The roadway, property boundaries and the building footprints remain primarily in the same locations with some minor adjustments. The following major changes have been made to the Denison Phase 1 and Overflow Parking Lot plans which were approved by the Planning Commission April 5, 2016. (No change has been made to DP2).

#### **Site Plan and Civil Plan**

- The number of units has increased from 66 to 76, however because the plan now includes 1 bedroom units, the actual number of bedrooms has decreased from 138 down to 129.
- The overflow parking lot to the north of Floradora Drive has been replaced with 6 townhomes units in 2 buildings (Building Type E).
- Surface parking spaces throughout the site have been reduced from 133 spaces to 108. Enclosed parking spaces are new to the plan and include 39 spaces in townhomes garages and 3 carport parking spaces. Previously all parking provided was surface parking. Overall, the parking space count has increased.
- The property line has moved approximately 50 feet to the south into Block 11, incorporating Walker Street.
- A new Parcel D4 will be owned by the Town for open space, snow storage and regional detention.
- The community center building and pocket park have been removed and replaced with two townhome buildings, Building Type A1. (The community center was a requirement of the LIHTC application).
- Three trash enclosures remain to serve the development with the exception of the D3 parcel (previously overflow lot) which will have individual roll away containers. Two of the trash enclosures provide attached storage units for property owners.

#### **Architecture**

- Architecture in general has been revisited to provide for more variation and articulation especially on the side elevations.
- Additional building types have been added for more variation throughout the site.
- The two apartment buildings now consist of one bedroom units instead of two bedroom units.
- There are 33 units with tuck under garages, reducing the previous surface parking count.
- A new carport structure with three parking spaces, storage space and trash enclosure near Oxbow Park.
- Each unit has an attached garage for additional storage or has been provided a separate on site storage unit.

#### **Landscaping**

- A new snow storage plan is reflective of the overall site plan changes.

### **Staff Comments**

**Land Use (Policies 2/A & 2/R):** Employee housing is an allowed use on the part of the Block 11 property (the majority of Parcel D1). Parcel D3 is a part of Airport Subdivision, not Block 11 and has a recommended land use of commercial and industrial uses. By providing 6 residential townhome units on

the D3 parcel, staff is recommending negative four (-4) points under this policy based on past precedent when residential uses were proposed in this area. The majority of similar past precedent, with the exception being the Breckenridge Terrace project, have received negative four (-4) points. Staff recommends the negative four (-4) points rather than negative eight (-8) because 1) deed restricted residential is an allowed use on the adjacent Block 11 parcel which surrounds Parcel D3 on two sides, and 2) due to the allowed and proposed residential use on the Block 11 parcel, this site will not cause a major conflict or interruption of uses in the surrounding area.

- Summit Landscaping (PC#2000-166), 1925 Airport Road: Negative four (-4) points awarded for residential in a commercial zone district.
- Breckenridge Terrace (PC#1998-4-15), 1300 Airport Road: Negative eight (-8) points awarded for a sole residential workforce housing development in a commercial district.
- All Electric (PC#1998-5-7), 1680 Airport Road: Negative four (-4) points awarded for residential in a commercial district.
- Avalanche Commercial and Residential Condos (PC#1998-4-5), 1705 Airport Road: Negative four (-4) points awarded for residential in a commercial district.

**Density/Intensity (3/A & 3/R)/Mass (4/R):** Per Section 9-1-19-3 (absolute) (E)(1), *When new attainable workforce housing projects are developed within the corporate limits of the town, the town government shall transfer density it owns to the attainable workforce housing project at a one to four (1:4) ratio (i.e., transfer 1 development right for every 4 attainable workforce housing project units to be built).*

As Parcel D3 (aka Lot 2C, Block 10, Airport Subdivision) has a 1:4 FAR ratio, with 6,341 square feet allowed on site. Staff has excluded 3.96 SFEs from being transferred to the site based on the following formula:

- 6,341 square feet of allowed density/1,600 sq. ft. multiplier for townhomes= 3.96 SFEs allowed on D3.
  - 53 SFEs proposed - 3.96 SFEs= 49 SFEs.
- 49 SFEs at the Town's 1:4 density transfer ratio= **12.26 SFEs** will be required to be transferred to this site per the policy.

Staff has no concerns with the density or mass proposed. A Condition of Approval that 12.26 SFEs be transferred to the property has been added.

The density proposed equates to 9 units per acre (UPA). This is below the 20 UPA and 1:4 FAR limits even without the density and mass bonuses allowed per Section 9-1-19-3A(D)(3).

*D (3) Notwithstanding subsection D(1) of this section, a project located outside of the conservation district which consists of all employee housing units as herein defined, shall be allowed one hundred fifteen percent (115%) of its otherwise permitted density under the controlling development policy or document, including, but not limited to, the land use guidelines, master plan, planned unit development agreement or other controlling site specific rule, regulation or court order. (Ord. 20, Series 2000)*

This is calculated as follows based on the gross site area:

261,601 sq. ft. x 1.15 (115% bonus of 39,240 sq. ft) = 300,841 sq. ft. of the allowable 100% employee housing density. The application is well below the allowable density at 80,437 square feet. Staff has no concerns.



**Architectural Compatibility (5/A & 5/R):** Since the last review, the architect has made changes to the previously approved elevations. Most changes have been driven by the change from LIHTC requirements and, in part, the goal to stay financially competitive in that grant application process. Since the denial of that grant application, the Town Council has altered the townhomes from all rental units to a workforce housing for-sale product, but keeping the two apartment buildings as workforce rental units.

With these changes, the for-sale product (townhomes) has been modified to address what homeowners typically look for when purchasing a long term home in the community. This includes items such as garages or carports, storage, and more articulated and higher end architectural features. The location and pedestrian orientation of the buildings still focus on inviting pedestrian scale architecture and massing while providing interesting architecture.

The materials, forms and colors of the front, back and side elevations of the for-sale units are further articulated and broken up. New visual perspectives have been included in the packet. Staff has included a more detailed analysis on unique features of each building type below for Planning Commission review.

The materials on most of the building types are:

- corrugated metal
- horizontal and vertical cementitious siding with 6” reveal
- 3.5” cementitious window trim
- 5.5” cementitious corner trim and bellybands
- 6x6 wood columns with 8x8 wood column bases.

Building types A1 and A2 are the only building types which have natural wood siding accents. The proposed corrugated metal does not exceed 25% on any residential building façade. Policy 5/R states, *Fiber cement siding may be used without the assignment of negative points only if there are natural materials on each elevation of the structure (such as accents or a natural stone base) and the fiber cement siding is compatible with the general design criteria listed in the land use guidelines.*

With most elevations on the building types consisting of all cementitious material (siding and trim), staff is recommending negative six (-6) points.

Building Type A1: Two buildings of this 2-bedroom townhome type are located at the entrance of the project near the junction of Airport Road and Floradora Drive. With primarily neutral greys and browns with differing window trim colors, the front elevation provides relief in the cementitious siding façade with the natural wood connectors stepping back. The colors of these buildings are similar, but differ from one another (both schemes are provided on the color scheme key). The rear elevation, facing the parking lot, also provides relief in the facade, gable element details and timber columns throughout. The front and street side windows provide a balanced solid to void ratio while the side elevations that face adjacent buildings have fewer windows openings for privacy and the exterior attached storage units.

Building Type A2: There are three buildings of this 2-bedroom, one car garage townhome type with one on the west side of Floradora Drive, and two internal to the site. As a maroon and brown or the second color scheme, tan and rich brown buildings with metal wainscoating, all elevations have some relief and are further broken up by a change in siding material and orientation including vertical and horizontal cement board siding, natural wood on the front pop out elements, and corrugated metal on the side and rear pop out elements. Entries have gable and covered porch elements with natural wood timber

columns. These roof forms, materials and pop out elements help to break up the massing of these three story buildings.

Building Type B: Two 2 bedroom, 3 unit buildings are proposed with this building type on the western side of the property, closest to Highway 9. The front and rear elevations are broken up nicely with plenty of window fenestration, gable and shed roof forms with timber columns. The left elevation roof forms step down to one story further breaking up the mass. There is also heavy landscaping proposed on the south side of the building adjacent to Oxbow Park for further screening. Two color schemes have been included to create distinction from the Highway view.

Building Type C1: This building consisting of two 2 bedroom units and two 1 bedroom units occurs only once in the project, adjacent to DP2 and Floradora Drive. The most visible elevations from Floradora, the left and front elevations, feature a wrap around pedestrian level arcade, gable entry roof forms and second story overhangs. Colors on this building are cream and varying shades of grey. Staff feels the appearance of all the elevations visible from the right of ways have been broken up well. We have no concerns.

Building Type C2: There is only one of this building type, located internal to the site near DP2. This building consists of two 2 bedroom and one 1 bedroom townhome units and seven attached storage units. The front parking lot facing elevation and rear DP2 facing elevations have more fenestrations, gable entry elements and roof overhangs. The internal side elevations have less fenestrations, however still provide variation in the wall planes with a one story corrugated metal element housing storage units on one side and varying wall planes on the other side.

Building Type D1: Ranging from one to three stories in height, these three buildings (with 1, 2 and 3 bedroom units) are the largest of the townhome building types. Two are located on the either side of Floradora as well as one internal to the site. Although the building type is large, it is broken up well due in part to the differing unit sizes and garages. The material is; cementitious siding and trim with metal wainscoting and timber columns. The color schemes also vary with building location. Second story balconies on two of the units help in breaking up the rear facades.

Staff has concerns regarding potential snow shed from the one story, two car garage element onto the adjacent recessed driveway and would suggest a snow guard on that side of the garage roof as well as a roof overhang at the adjacent unit alley side entrance. The applicant has indicated that they will redesign the roof pitch to address this concern and will submit for staff approval. This has been added as a conditional of approval.

Building Type D2: There are three of these 2 and 1 bedroom unit townhome types, two of which are on the eastern side of Floradora Drive and one off Walker Road on the south end of the site. The materials consist of cementitious siding and trim with timber columns. The facades are broken up with gable and shed roof entries, second floor balconies, and pop outs to provide further relief. Staff has concerns regarding potential snow shed from the protruding one story, two car garage element onto the adjacent recessed driveway. The same condition of approval has been included for D2.

Building Type E: Two building type E townhomes are located on the north side of Floradora Drive (previous overflow parking lot), containing three 2 bedroom units with garages each. These two buildings are the same color scheme proposed of varying grays and tan with rust colored corrugated metal applied as wainscoting at the base of the building and also on the second story overhanging elements which breaks up the street facing facades. Staff would prefer to see a second color scheme as

these two buildings are adjacent to each other to prevent excessive similarity. Does the Commission concur?

Building Type F3: As the two rental apartments on the eastern side of the project, these buildings contain nine 1 bedroom units each with internal storage. It has gable roof elements and shed roof forms, balconies and columns. The roof line exceeds the 50-foot maximum recommended under policy 5/R for length of unbroken ridgeline and warrants negative one (-1) point. There is four-sided articulated architecture, a pedestrian arcade on the front elevation, and good fenestration. Materials comprise of cementitious board and batten siding and trim, timber kicks and columns, and corrugated metal wainscoting. As these buildings are large, staff would prefer to have a darker color scheme and a separate color palette for each building. Does the Commission concur?

Carport Building: There is one carport near Oxbow Park which serves three open air covered parking spaces for the nearby townhomes as well as six storage units at the rear of the carport structure. A trash enclosure has also been incorporated into the structure with a shed roof structure and corrugated siding. The corrugated metal siding is the primary siding proposed on the trash enclosure (left) and storage side (rear) of the structure which results in excess of 25% non-natural material on each elevation. Staff has discussed this with the architect and both elevations will be reduced to 25% non-natural material. Staff has not included a point allocation to this effect, however has included this modification as a condition of approval. The carport structure has heavy timber beams and cementitious siding and trim. The right elevation which faces Oxbow Park is well detailed with windows and varying siding materials. The left elevation facing the internal parking lot is broken up and the rear elevation is low and well landscaped from the Highway. Staff has no concerns.

Trash Enclosure: There are two additional trash enclosures in the project, both internal to the site. Measuring 15 and 17 feet in height respectively, staff has no concerns with the height, materials (cementitious siding, timber columns and non-reflective metal roofs) or colors (maroon and brown) of the structures. Both enclosures are attractive and one enclosure also provides six storage units for townhomes on site. Staff has no concerns.

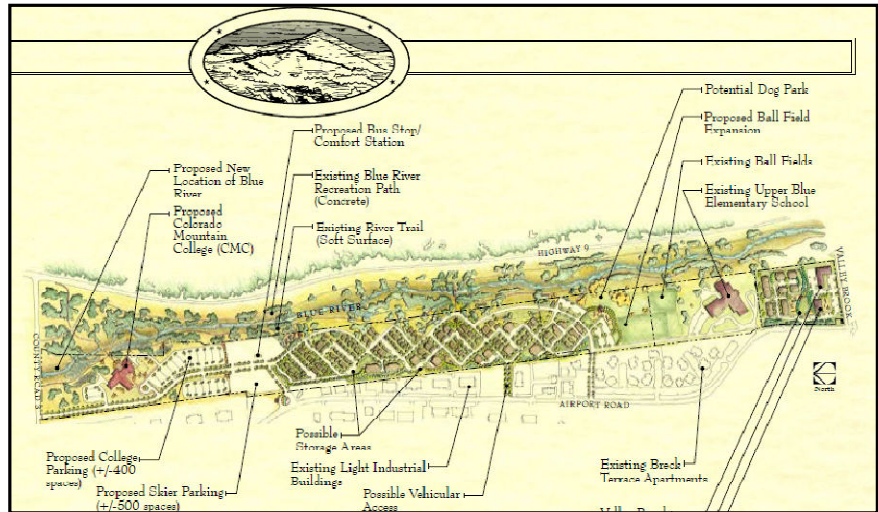
The chroma for all the colors on each building type meet Code. The color schemes tie the development together without being too similar. Staff has suggested some additional variety be made for building types E and F3. No more than three colors were used per building per the policy (metal and timber columns excluded per past precedent). All color schemes have been included on the elevations in your packet for review.

**Placement Of Structures (9/A & 9/R):** According to Section 9-1-19-9 (Absolute) (2) (d), *Perimeter Boundary: The provisions of this subsection shall only apply to the perimeter boundary of any lot, tract or parcel which is being developed for attached units (such as duplexes, townhouses, multi-family, or condominium projects), or cluster single-family.*

All absolute setbacks have been met. However, the relative 15-foot front setbacks are not being met along Floradora Drive. The design concept was to have the townhomes closely fronting the street to create an urban design street presence. Further, the rear relative setback of 15 feet is not being met on the apartment Buildings F3. Negative six (-6) points are warranted as two relative setbacks are not being met. This setback configuration remains unchanged from the approved 2016 site plan.

**Access / Circulation (16/A & 16/R; 17/A & 17/R):**

The 50-foot Floradora ROW has been relocated per the 2016 approved plan 45 feet to the south. The ROW curves south through the property, following the Block 11 Vision Plan alignment (see Block 11 Vision Plan below). Denison Placer Road intersects Floradora Drive near the triangular access easement at DP2 (apartments currently under construction). The south and west side of the ROW has a 10-foot asphalt recreational path designed to carry pedestrian and bicycle traffic through Block 11 while the north and east side of the ROW has a 5-foot sidewalk through the property. Sidewalks are proposed from the recreational path to the front doors of the townhomes along Floradora Drive. Walker Road to the south of the site has been proposed as a private road however, it has been sized to accommodate a public right of way should it be converted to a public road in the future.



Denison Placer Road intersects Floradora Drive near the triangular access easement at DP2 (apartments currently under construction). The south and west side of the ROW has a 10-foot asphalt recreational path designed to carry pedestrian and bicycle traffic through Block 11 while the north and east side of the ROW has a 5-foot sidewalk through the property. Sidewalks are proposed from the recreational path to the front doors of the townhomes along Floradora Drive. Walker Road to the south of the site has been proposed as a private road however, it has been sized to accommodate a public right of way should it be converted to a public road in the future.

For the internal facing units, sidewalks are proposed from the private roads to the front doors. Lastly, the previously approved bus stop, with pull outs in both directions, have been installed already per the approved plan. The sidewalk along Airport Road will be extended to meet the existing sidewalk which ends in front of Rock Pile Ranch Condominiums property.

**Parking (18/A & 18/R):** 1.5 parking spaces are required per unit or 114 parking spaces total. 164 spaces which represent just over 2 spaces per unit, is being provided. 39 of the parking spaces are located in garages and 3 spaces are located in the carport. Parking areas both internal and on private alleys will be maintained by one property management company. Staff is supportive of 2 spaces per unit as we continuously hear of parking shortages around town but especially in areas occupied by full time residents. Staff has no concerns.

**Site and Environmental Design (7/R):** The Town hired Tetra Tech to create an over lot grading plan for the entire Block 11 parcel which the majority of work for this section of the plan has already been completed. The goal of plan was to take the grade of the entirety of Lot A-1 and integrate it more toward the river parcel, dropping the grade to relate the future housing units to the river. For this section of Lot A-1 which contains Denison Placer Housing Phase 1 and 2, the site remains relatively similar and relatively flat toward the west (Airport Road, Rock Pile Ranch) and north (CMC) while it drops approximately 6 feet as the site rises east from the river. A majority of the few mature trees on the east side of the property have been lost with this lowered grade. As this is disturbed dredge tailings, staff and the Commission had no major concerns with the removal of the rock with the original 2016 approval. There are no changes.

**Open Space (21/A & 21/R):** As a residential use, an open space requirement of 30% is required. 31% open space is proposed. Primary areas of open space include the eastern property boundary near the river, areas near the apartment buildings and private areas around the townhome units. In addition, located off site, Oxbow Park to the east of Floradora Drive is tentatively slated for construction in Summer 2017. The park has not been included in the open space calculations. However, it will be a

great asset to the neighborhood residents as well as the users of the Blue River trail and general public. The primary change with this site plan modification is the removal of the tot lot which was adjacent to the community center building along Floradora Drive. This application meets the open space requirements and staff has no concerns.

**Storage (14/A & 14/R):** Interior storage of 5% is encouraged which equates to 3,500 square feet based on 69,985 square feet of habitable space. With storage needs of fulltime residents, providing storage space was an important aspect of the project. Each living unit, including the apartments have a minimum of 18 square foot floor area for storage. These storage spaces are either part of an attached garage or a separate storage unit, located in an area attached to a building (building type A1, C2), carport or trash enclosure. The storage unit heights allow for larger items such as bikes and kayaks to be accommodated. The apartment buildings (building type F3) have storage units provided within their respective buildings. The interior storage areas of the townhomes and apartment buildings equate to 4,358 square feet (or 6% of habitable space). Staff has no concerns as code is being met.

**Landscaping (22/A & 22/R):** The landscaping plan creates a residential street setting along Floradora Drive. This streetscape is one which can be continued throughout Block 11 and is consistent with the Vision Plan approved by Town Council in 2007. Landscape quantities and sizes are as follows:

- 38 Narrow leaf cottonwood @1.5"-3" caliper (7 @ 3" caliper)
- 95 Quaking Aspen @ 1.5"-3" caliper (31 @ 3" caliper)
- 112 Quaking Aspen @ 8' multi-stem
- 23 Colorado Blue Spruce @ 8'-10' tall
- 48 Bristlecone Pine @ 6'-8' tall
- 321 shrubs @ #5 containers each

*Per this policy, (1) At least one tree a minimum of eight feet (8') in height, or three inch (3) caliper, should be planted at least every fifteen feet (15') along all public rights of way adjacent to the property to be developed.*

For the approximately 560 feet of ROW in Phase 1, thirty seven (37) trees should be planted. The drawings are showing three hundred sixteen (316) trees on the site, of which thirty eight (38) trees will be planted onsite along the DP1 right of way. Staff is supportive of the proposal as is the Streets Department. Trees will be placed in locations which allow for town snowplow operations in or near the rights of ways.

The amount of landscaping proposed meets the policy. The 8' height minimum for evergreens and three (3) inch caliper for deciduous trees is being met for the thirty eight (38) trees. More than 50% of the deciduous trees are multi-stem throughout the site.

Further, 26% of area within internal parking areas are proposed on Parcel D1 and 50% on Parcel D3, exceeding the code requirement of a minimum of 6% landscape area internal to the parking lot. Staff has no concerns.

A minimum of a five (5)-foot buffer is required adjacent to a public right of way which is being met. However, 22/R (B)(2) recommends a minimum of 10 feet for landscape areas. On Parcel D3 (the previous overflow parking lot), the north side of the parking lot and is less than 10 feet wide. Negative two (-2) points were previously awarded under this policy and staff noted that past precedent has not been found regarding this. No change to the point analysis is proposed.

**Refuse (15A & 15R):** Three dumpster enclosures are proposed throughout the development. One enclosure is attached to the carport near Oxbow Park, one is incorporated to a storage unit building internal to the site on the western side of Floradora and the third is a freestanding enclosure internal to the site north of the apartment buildings. The architect and property management company have been in contact with Waste Management, a local trash hauling company, and they plan on pulling the containers out to access them with their truck. If this becomes a non-workable method with other similar companies prior to construction, the enclosures will be modified to accommodate the truck movements at an angle. The dumpster enclosures have been sized to accommodate recycling. Staff has no concerns at this time, however, has added a condition of approval that additional trash hauling companies be consulted for functionality of the design.

**Social Community / Employee Housing (24/A &24/R):** Per this policy, any application with 9.51-100 percent of project density in employee housing receives positive ten positive (+10) points and with 100% workforce housing this application warrants the maximum positive ten (+10) points.

Furthermore, under Section *B. Community Need: Developments which address specific needs of the community which are identified in the yearly goals and objectives report are encouraged. Positive points shall be awarded under this subsection only for development activities which occur on the applicant's property.*

#### Past Precedent

1. Gibson Heights, PC#2001011 (+6) Need for affordable housing is a primary community need.
2. Valley Brook Childcare Facility, PC#2007107 (+6) Meets community need for daycare centers and nurseries.
3. McCain Solar Garden, PC#2011065 (+6) Use of renewable sources of energy for the community is a priority for the Town Council.
4. Pinewood Village II, PL-2014-0170 (+6) Workforce housing development is an identified 2015 goal by the Town Council.
5. Huron Landing, PL-2015-0498, (+3) Workforce housing was a stated 2015 Council goal and community need.

Affordable housing on this parcel has been identified by the Town Council in their yearly Goals and Objectives report. The Planning Commission supported positive six (+6) points at the final hearing in 2016.

The Commission supported positive six (+6) points for meeting a Council goal and positive ten (+10) points for percentage of workforce housing, for a total of positive sixteen (+16) points under this policy previously. There is no proposed change to this point allocation.

**Utilities Infrastructure (26/A & 26/R; 28/A):** A 50-foot sewer easement runs across the property affecting the design of the parking and building alignment. A 48 inch pipe has been installed since the approval which runs through the property carrying drainage from Barton Gulch to the river in the 50-foot utility easement. Previously, the water ran into a drainage easement located on Lot 2C (Parcel D3) and dissipated into the ground. Water and sewer are proposed in the Floradora right of way and private roadways. The civil engineer for the project has been working with the Town Water Department and Upper Blue Sanitation District to properly locate the utility lines to individual units. All utilities will be underground. Staff has no concerns.

**Drainage (27/A & 27/R):** Two large regional detention ponds was approved with this plan in 2016. These are located primarily off site on Town owned property. Engineering staff is generally supportive of the proposal pending a final drainage report showing that the ponds will serve as regional detention ponds for future development to the north (Phase 2) and to the south. Engineering will also look for natural looking detention ponds designed such that they do not appear to be large holes in the ground void of any vegetation. No change is proposed with this application.

Previously, the Town and nearby property owners struggled with significant amounts of drainage flows across Airport Road from Barton Gulch to this site. The flow had been so extreme at times that a few years ago, Airport Road was shut down due to the back up flow from the drainage infrastructure on Lot 2C and the lot to the north, Lot 2B (privately held). To provide a long term solution to the drainage and detention issue in this general area, a 48 inch storm sewer line was proposed and approved in 2016 with the original application, to take the area drainage from Barton Gulch, capture it and run it via the large 48 inch pipe through Lot A-1 (Denison Placer Phase 1) toward the river. This pipe has been installed. No change is proposed.

**Transit (25/R):** *Non-auto transit system elements include buses and bus stops, both public and private, air service, trains, lifts, and lift access that have the primary purpose of providing access from high density residential areas or major parking lots of the town to the mountain, etc.*

Two bus pull outs were approved with the original plan at the entrance of Floradora Drive near Airport Road. These pull outs have been constructed and are in use today. Positive four (+4) points were awarded to this project based on Policy 25/R Transit, and past precedent. There is no change proposed.

**Fences (47/A):** Fences are permitted if “...specifically authorized in a vested master plan containing specific fence design standards.” Fences are shown for all of the townhome units. These fences are wood, and low, similar to Valley Brook Townhomes at approximately 3’6” in height. The Block 11 Vision Plan and Policy 47 identifies fences including design standards for height, material, finish, and solid to void ratio, which are all being met with this proposal. Fence locations and detail has been defined on the landscape plan to reflect the architectural building types layout changes. A new visual perspective has also been provided in the architectural perspectives which show the buildings with fences and landscaping. There is no major change with this application and staff has no concerns.

**Snow Removal And Storage (13/R):** Snow storage meets the minimum 25% requirement. There is also a 5-foot snow stack easement proposed along both the 10-foot recreational path and 5-foot sidewalk.

Both Floradora Drive and Denison Placer Road are public rights of ways to be maintained by the Town. The other parking drives and all parking areas will be maintain by the property management company.

The snow storage plan (Sheet L-2) shows a deep snow storage area in the easternmost portion of the site in the detention pond and in smaller areas throughout the site. With the original approval, staff consulted the property management company selected to manage the property, Corum, (whom also have experience in the area managing Pinewood Village 1&2) to determine whether the snow storage configuration is realistic. The Agent for this proposal, Corum, believes it will be functional as a site of this size will require heavier machinery for clearing snow from the parking lots and the operators will plan to use the areas shown as snow stacking. The Planning Commission was comfortable with the deeper snow stack shown previously as it will be managed by one property management company with experience in this area. Staff has no concerns.

**Recreation Facilities (20/R):** *Each residential project should provide for the basic needs of its own occupants, while at the same time strive to provide additional facilities that will not only be used for their own project, but the community as a whole.*

A 10-foot wide asphalt recreation path that runs the nearly 700-foot length on the west side of Floradora is proposed (some off this length is outside of the site boundaries). This path will handle the future needs of the residents in these first two phases as well as future housing phases over time, connecting people to neighborhoods, parks and Upper Blue Elementary School. In addition, a 5-foot concrete sidewalk is proposed on the east side of Floradora. The Planning Commission awarded positive three (+3) points for the 10-foot recreation path and 5-foot sidewalk along Floradora. No change is proposed. Staff has no concerns.

**Exterior Lighting (Sec. 9-12):** All street lights are proposed with a full cut off fixtures (type S-2 on Sheet E.101) and have been approved by the Town Streets Department. Internal parking lot lighting also meet the full cut off fixture requirements (types S-1 and S-2). Internal parking lot lighting has a fixture maximum height of 18 feet with a required setback equal to the fixture height. This is being met with this application. All internal site fixtures will also meet the lighting requirement of 0.2-1.5 foot candles for parking lots. The fixtures on the buildings (type S-3) also meet code requirements. Staff has no concerns.

**Point Analysis (Section: 9-1-17-3):** The application meets all Absolute Policies of the Development Code. Points have been awarded under the Relative policies. Staff has prepared a final point analysis with a recommended passing score of positive four (+4) points.

Negative Points recommended:

- Policy 2/R, Land Use (-4) for deed restricted residential use in a commercial district.
- Policy 6/R, Architectural Compatibility (-6) for some elevations with all non-natural materials.
- Policy 6/R, Architectural Compatibility (-1) for long unbroken ridgeline measuring 58 feet in length on Buildings F3.
- Policy 9/R, Placement of Structures (-6) for the front and rear relative setbacks not being met.
- Policy 22/R, Landscaping (-2) for landscape areas with less than 10 feet in width.

Positive Points recommended:

- Policy 20/R, Recreation (+3) for providing a 10-foot asphalt Recreational path which connects the length of the residential property to the proposed bus stops and future development on Block 11.
- Policy 24/R, Social Community (+10) for 100% workforce housing.
- Policy 24/R, Social Community (+6) for meeting a Council goal of providing workforce housing.
- Policy 25/R, Transit (+4) for bus pull outs both directions on Floradora Drive.

Total (+4)

**Questions for the Planning Commission**



- Does the Commission agree that the D1 and D2 building types should have snow guards and a roof overhang at the unit adjacent to the two car garage to prevent large amounts of snow shed?
- Does the Commission find that building type E should have another color palate for the second building?
- Would the Commission prefer a darker color palette and second color scheme for building type F3 (apartment buildings)?
- Does the Commission have comments regarding the Point Analysis?

### **Staff Recommendation**

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013). As a result, the Planning Commission is asked to identify any Development Code policies that the application does not comply with and make a related recommendation to the Town Council.

Staff recommends the Planning Commission recommend the Town Council approve DP1 Master Plan and Site Plan Modification, PL-2017-0014, located at 107 Denison Placer Road/TBD Flora Dora Drive/1900 Airport Road, Lot A-1, and Tract E, Runway Subdivision, and Lot 2C, Block 10, Resubdivision Plat of the Common Area of Rock Pile Ranch Condominium, resulting in positive four (+4) points and attached Findings and Conditions.

<b>Town Project Impact Analysis</b>				
Project:	DP1 Master Plan and Site Plan Modification	<b>Positive Points</b>	<b>+23</b>	
PC#:	2017-0014	<b>Negative Points</b>	<b>- 19</b>	
Date:	2/11/2017	<b>Total Allocation:</b>	<b>+4</b>	
Staff:	Julia Puester, AICP, Planning Manager			
Items left blank are either not applicable or have no comment				
<b>Sect.</b>	<b>Policy</b>	<b>Range</b>	<b>Points</b>	<b>Comments</b>
<b>1/A</b>	<b>Codes, Correlative Documents &amp; Plat Notes</b>	Complies		
<b>2/A</b>	<b>Land Use Guidelines</b>	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)	- 4	Affordable housing an allowed use on Block 11, Lot 2 Airport Subdivision recommends commercial and industrial which is a portion of the site
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
<b>3/A</b>	<b>Density/Intensity</b>	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
<b>5/A</b>	<b>Architectural Compatibility</b>	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)	- 6	Cementitious siding and trim, natural material not on each elevation
<b>6/A</b>	<b>Building Height</b>	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)	- 1	Apartment buildings have 58 foot ridge line
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
<b>8/A</b>	<b>Ridgeline and Hillside Development</b>	Complies		
<b>9/A</b>	<b>Placement of Structures</b>	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)	- 6	Front and Rear relative setbacks of 15' not met.
<b>12/A</b>	<b>Signs</b>	Complies		
<b>13/A</b>	<b>Snow Removal/Storage</b>	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
<b>14/A</b>	<b>Storage</b>	Complies		
14/R	Storage	2x(-2/0)		
<b>15/A</b>	<b>Refuse</b>	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
<b>16/A</b>	<b>Internal Circulation</b>	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
<b>17/A</b>	<b>External Circulation</b>	Complies		
<b>18/A</b>	<b>Parking</b>	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		

18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2+2)		
<b>19/A</b>	<b>Loading</b>	Complies		
20/R	Recreation Facilities	3x(-2/+2)	+3	10' asphalt recreation path along Floradora Drive.
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
<b>22/A</b>	<b>Landscaping</b>	Complies		
22/R	Landscaping	2x(-1/+3)	-2	landscape areas less than 10 feet in width
<b>24/A</b>	<b>Social Community</b>	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)	+10	100% workforce housing
24/R	Social Community - Community Need	3x(0/+2)	+6	Council goal being met with providing workforce rental housing with low AMI targets.
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)	+4	Bus stops both sides of Floradora
<b>26/A</b>	<b>Infrastructure</b>	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
<b>27/A</b>	<b>Drainage</b>	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		Major drainage improvement to area with 48" underground drainage pipe through property to the river.
<b>28/A</b>	<b>Utilities - Power lines</b>	Complies		
<b>29/A</b>	<b>Construction Activities</b>	Complies		
<b>30/A</b>	<b>Air Quality</b>	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
<b>31/A</b>	<b>Water Quality</b>	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
<b>32/A</b>	<b>Water Conservation</b>	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		

33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
<b>34/A</b>	<b>Hazardous Conditions</b>	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
<b>35/A</b>	<b>Subdivision</b>	Complies		
<b>36/A</b>	<b>Temporary Structures</b>	Complies		
<b>37/A</b>	<b>Special Areas</b>	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
<b>38/A</b>	<b>Home Occupation</b>	Complies		
<b>38.5/A</b>	<b>Home Childcare Businesses</b>	Complies		
<b>39/A</b>	<b>Master Plan</b>	Complies		
<b>40/A</b>	<b>Chalet House</b>	Complies		
<b>41/A</b>	<b>Satellite Earth Station Antennas</b>	Complies		
<b>42/A</b>	<b>Exterior Loudspeakers</b>	Complies		
<b>43/A</b>	<b>Public Art</b>	Complies		
43/R	Public Art	1x(0/+1)		
<b>44/A</b>	<b>Radio Broadcasts</b>	Complies		
<b>45/A</b>	<b>Special Commercial Events</b>	Complies		
<b>46/A</b>	<b>Exterior Lighting</b>	Complies		
<b>47/A</b>	<b>Fences, Gates And Gateway Entrance Monuments</b>	Complies		
<b>48/A</b>	<b>Voluntary Defensible Space</b>	Complies		
<b>49/A</b>	<b>Vendor Carts</b>	Complies		

## TOWN OF BRECKENRIDGE

**DPI Master Plan and Site Plan Modification (aka Denison Placer Phase 1 and Overflow  
Parking Lot)  
Lot A-1 and tract E, Runway Subdivision, and Lot 2C, Block 10, Rock Pile Ranch Condo  
Subdivision  
107 Denison Placer Road/TBD Floradora Road/1900 Airport Road  
PL-2017-0014**

### FINDINGS

1. This project is a “Town Project” as defined in Section 9-4-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. The Planning Commission reviewed and considered this Town Project on **February 21, 2017**, scheduled and held a public hearing on **February 21, 2017**, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4(2) of the Breckenridge Town Code. At the conclusion of the public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on **February 28, 2017**. This Town Project was listed on the Town Council’s agenda for the **February 28, 2017** agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project the Town Council received from the Director of the Department of Community Development, and gave due consideration to, a point analysis for the Town Project in the same manner as a point analysis is prepared for a final hearing on a Class A development permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.

### CONDITIONS

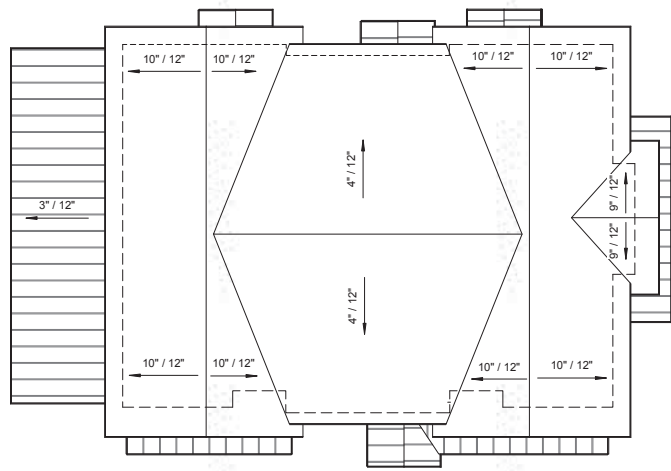
#### **PRIOR TO THE ISSUANCE OF A BUILDING PERMIT**

1. The civil plan shall be refined and accepted by the Town Engineering Department prior to construction.

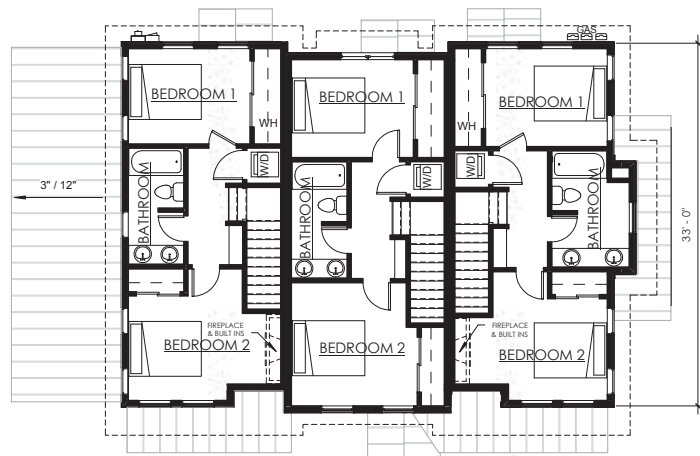
2. The landscape plan shall be refined and accepted by the Town Planning Department prior to the issuance of a building permit.
3. Confirmation on trash enclosure functionality for service from waste haulers shall be received prior to the issuance of a building permit.
4. Building types D1 and D2 shall either install snow guards and a roof overhang at the unit adjacent to the two car garage to prevent large amounts of snow shed or submit a redesign of the garage roof form to be approved by the Planning Department.
5. A second color scheme shall be submitted for building type E and approved by the Planning Department.
6. The carport building shall be not exceed 25% non-natural material on any elevation.

**PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY**

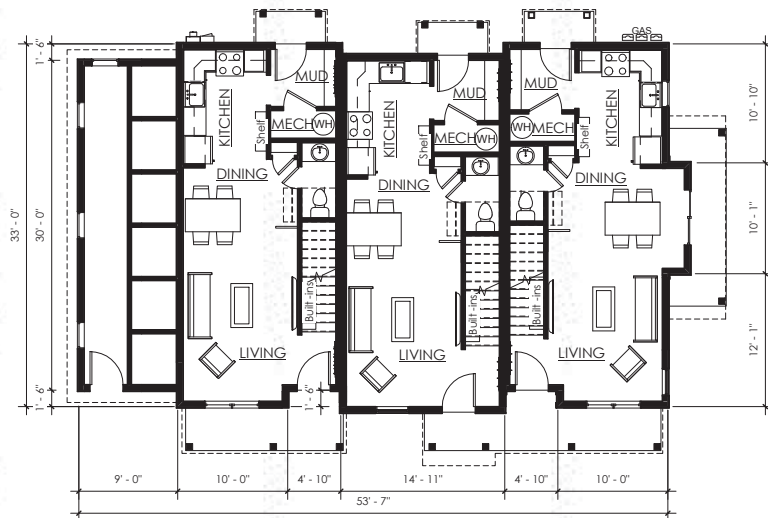
7. The Town shall transfer 12.26 single family equivalents (SFEs) in accordance with the Joint Upper Blue Master Plan, to the property prior to the issuance of the first Certificate of Occupancy.
8. A master plan exhibit will be prepared which meets the requirements of Policy 39, Master Plans.



8 Roof Plan  
1/8" = 1'-0"



7 Second Floor Plan  
1/8" = 1'-0"



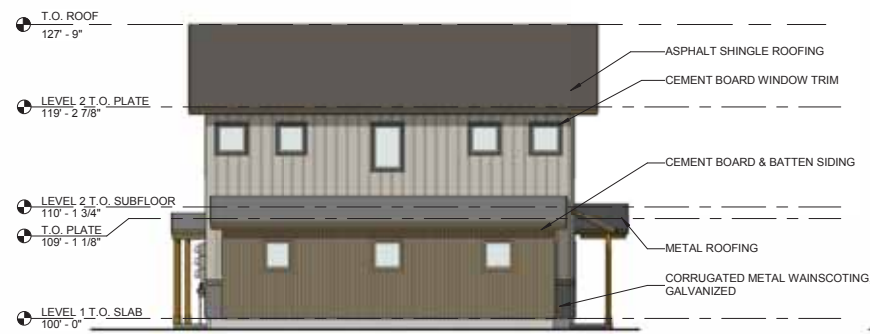
6 First Floor Plan  
1/8" = 1'-0"



5 Right Elevation (Street)  
1/8" = 1'-0"



4 Front Elevation (Street)  
1/8" = 1'-0"



3 Left Elevation (Internal) - Storage  
1/8" = 1'-0"



11 Left Elevation (Internal)  
1/8" = 1'-0"



2 Back Elevation (Parking)  
1/8" = 1'-0"



1 Perspective View - Color 1

	COLOR SCHEME 1		COLOR SCHEME 2	
BODY	BARN WOOD	GALVANIZED	NAT SIDING	GALVANIZED
TRIM	NAT SIDING	WINDOW TRIM - COLOR 1	NAT SIDING	WINDOW TRIM - COLOR 1
	WINDOW TRIM - COLOR 2	TRIM - COLOR 3	WINDOW TRIM - COLOR 2	TRIM - COLOR 2
NATURAL	STAINED TIMBER FRAME	STAINED TIMBER FRAME	STAINED TIMBER FRAME	STAINED TIMBER FRAME
	CORRUGATED WAINSCOT	CORRUGATED WAINSCOT	CORRUGATED WAINSCOT	CORRUGATED WAINSCOT

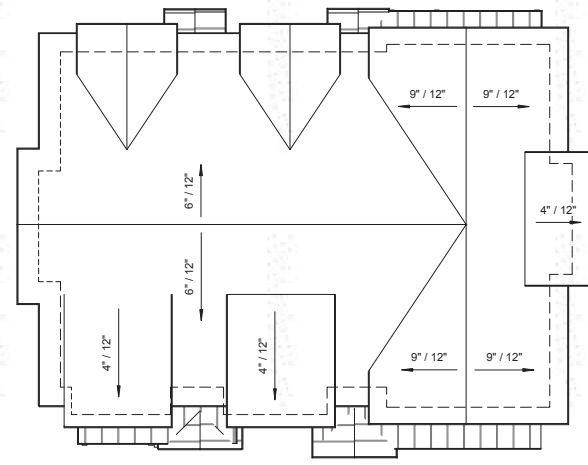
BUILDING TYPE A1	
<b>BUILDING SQUARE FOOTAGE:</b>	
FIRST FLOOR = 1469 SF	
SECOND FLOOR = 1322 SF.	
<b>TOTAL = 2791 SF</b>	
<b>UNIT BREAKDOWN:</b>	
(3) 2 BEDROOM UNITS = 935 SF	
INTERIOR STORAGE = 47 SF (5.0%)	
<b>NOTE: EXTERIOR STORAGE 270 SF (18 SF EACH LOCKER) PROVIDED ON COLOR SCHEME 1 FOR BOTH A1 BUILDINGS.</b>	
<b>BUILDING TYPE QUANTITY:</b>	
(2) BUILDING TYPE A1	



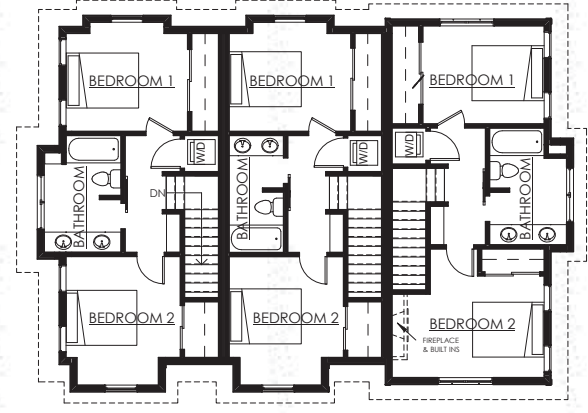
Unit Location

DISCLAIMER:  
THESE DOCUMENTS ARE PROVIDED BY COBURN DEVELOPMENT INC., FOR THE DESIGN INTENT OF THIS SPECIFIC PROJECT AND ONLY THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION COORDINATION, METHODS AND MATERIALS REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO THE QUALITY OF WORKMANSHIP AND MATERIALS REQUIRED FOR EXECUTION OF THESE DOCUMENTS AND WORK OR MATERIALS SUPPLIED BY ANY SUBCONTRACTORS. ALL WORK SHALL COMPLY WITH GOVERNING CODES AND ORDINANCES. THE CONTRACTOR SHALL REVIEW AND UNDERSTAND ALL DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS, FIELD CONDITIONS OR DIMENSIONS.

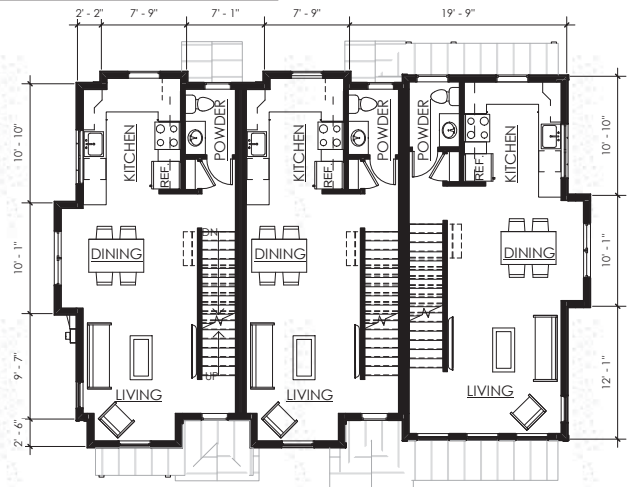




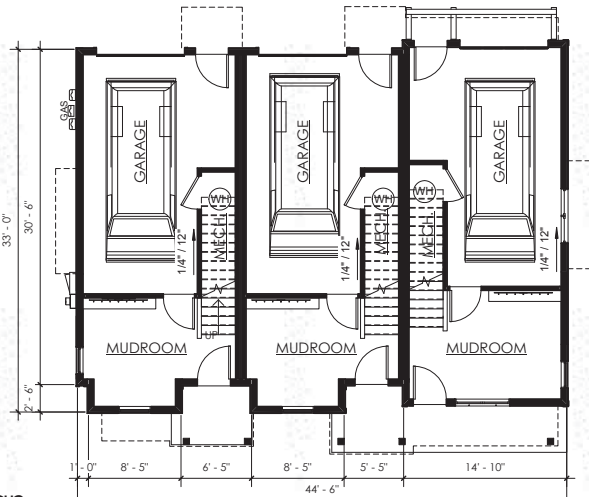
8 Roof Plan  
1/8" = 1'-0"



9 Third Floor Plan  
1/8" = 1'-0"



7 Second Floor Plan  
1/8" = 1'-0"



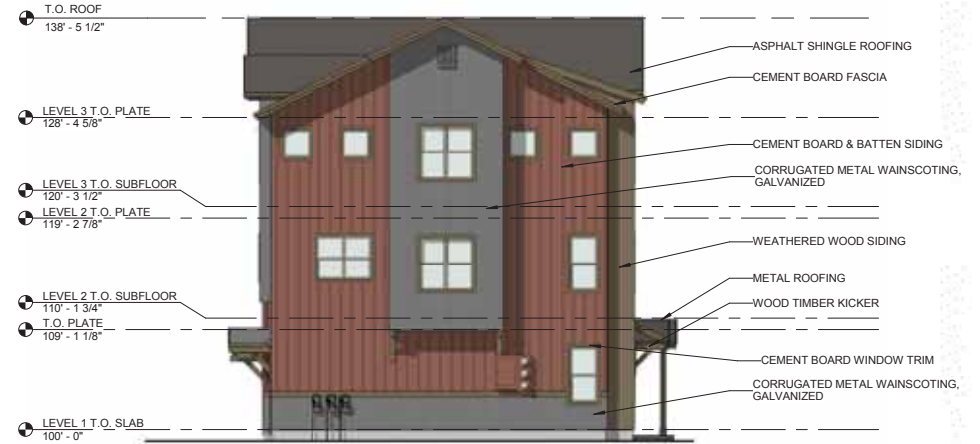
6 First Floor Plan  
1/8" = 1'-0"



5 Right Elevation (Internal)  
1/8" = 1'-0"



4 Front Elevation (Street)  
1/8" = 1'-0"



3 Left Elevation (Internal)  
1/8" = 1'-0"



2 Back Elevation (Alley)  
1/8" = 1'-0"



1 Perspective View - Color 3

	CORRUGATED WAJNSCOT COLOR SCHEME 3		CORRUGATED WAJNSCOT COLOR SCHEME 4	
BODY	COLOR 1 - BARNWOOD	COLOR 2 - NAT. STAIN	COLOR 1 - BARNWOOD	COLOR 2 - NAT. STAIN
TRIM	WINDOW TRIM - COLOR 2	TRIM - COLOR 3	WINDOW TRIM - COLOR 2	TRIM - COLOR 3
NATURAL	PAINTED TIMBER FRAME - COLOR 2	25% GALVANIZED	PAINTED TIMBER FRAME - COLOR 3	25% RUSTED

BUILDING TYPE A2	
<b>BUILDING SQUARE FOOTAGE:</b>	
FIRST FLOOR RES. =	443 SF
FIRST FLOOR GARAGE =	994 SF
SECOND FLOOR RES. =	1,356 SF
THIRD FLOOR RES. =	1,374 SF
<b>TOTAL LIVING (RES.) SPACE =</b>	<b>3173 SF</b>
<b>TOTAL SPACE =</b>	<b>3616</b>
<b>UNIT BREAKDOWN:</b>	
(3) 2 BEDROOM UNITS =	1,352 SF EA.
INTERIOR STORAGE =	68 SF (5.0%)
<b>NOTE:</b>	ADDITIONAL GEAR STORAGE AVAILABLE IN ATTACHED GARAGE
<b>BUILDING TYPE QUANTITY:</b>	
(3) BUILDING TYPE A	



Unit Location



3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

DP1

BRECKENRIDGE, CO

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02.10.2017

SHEET No.

A2.0  
BUILDING A2



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1 Perspective View - Color 5

	COLOR SCHEME 5		COLOR SCHEME 6	
BODY	SIDING - CLR 1	SIDING - CLR 2	SIDING - CLR 1	SIDING - CLR 2
TRIM	WINDOW TRIM - COLOR 3	TRIM - COLOR 3	WINDOW TRIM - COLOR 3	TRIM - COLOR 3
NATURAL	STAINED TIMBER FRAME	CORRUGATED WAJNSCOT RUSTED	STAINED TIMBER FRAME	CORRUGATED WAJNSCOT GALVANIZED

BUILDING TYPE B	
<b>BUILDING SQUARE FOOTAGE:</b>	
FIRST FLOOR = 1681 SF	
SECOND FLOOR = 1346 SF	
<b>TOTAL = 3027 SF</b>	
<b>UNIT BREAKDOWN:</b>	
(2) 2 BEDROOM UNITS = 889 SF	INTERIOR STORAGE = 45 SF, 5.0%
(1) 3 BEDROOM UNIT = 1144 SF	INTERIOR STORAGE = 81.3 SF, 7.1%
NOTE: EXTERIOR 3X6 (18SF) STORAGE LOCKER PROVIDED FOR EACH UNIT	
<b>BUILDING TYPE QUANTITY:</b>	
(2) BUILDING TYPE B1	



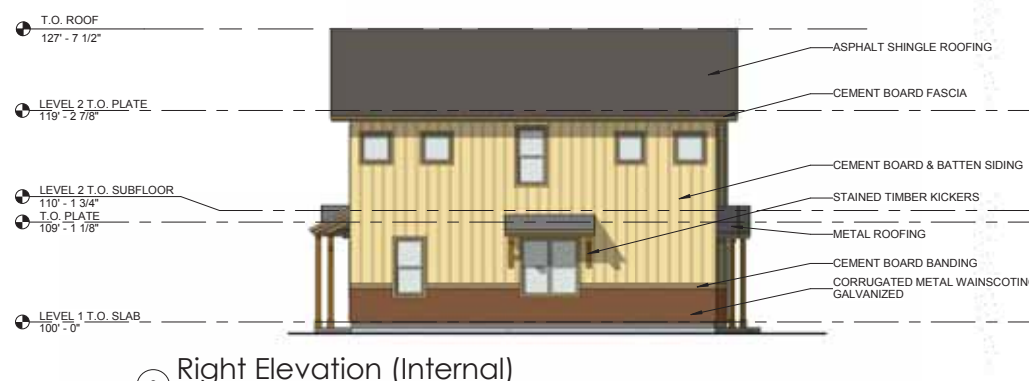
Unit Location



5 Left Elevation (Highway 9)  
1/8" = 1'-0"



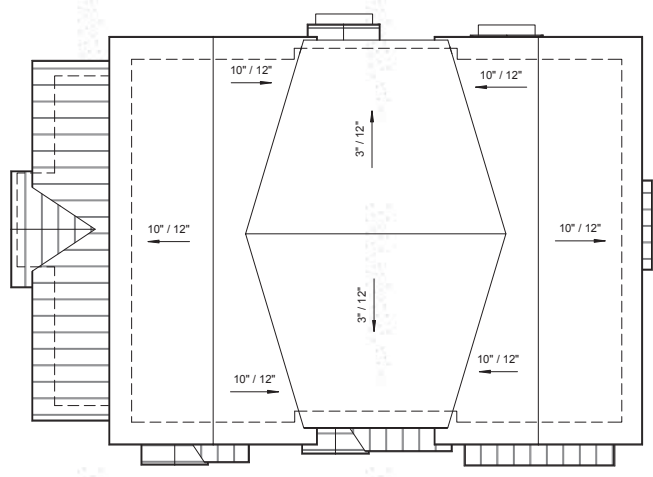
4 Front Elevation (Parking)  
1/8" = 1'-0"



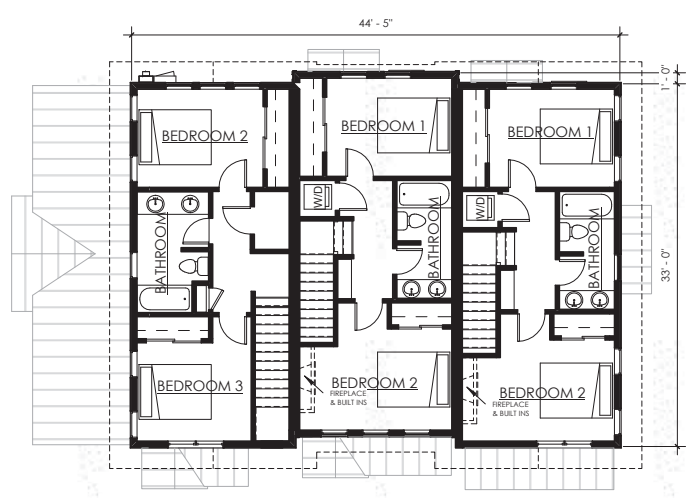
3 Right Elevation (Internal)  
1/8" = 1'-0"



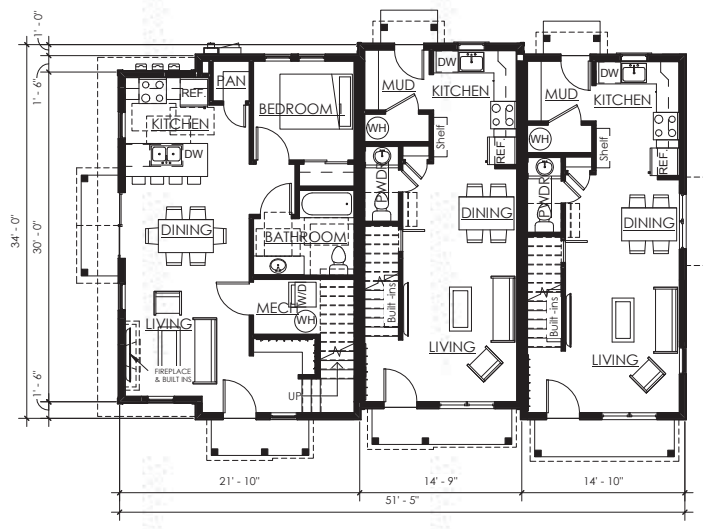
2 Back Elevation (Open Space)  
1/8" = 1'-0"



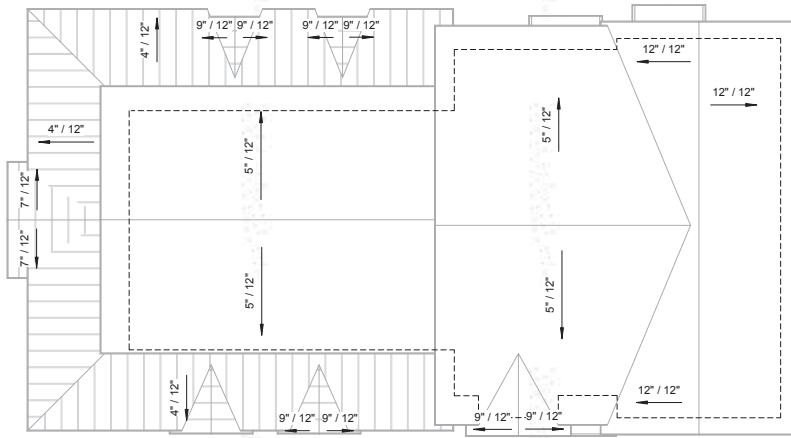
8 Roof Plan  
1/8" = 1'-0"



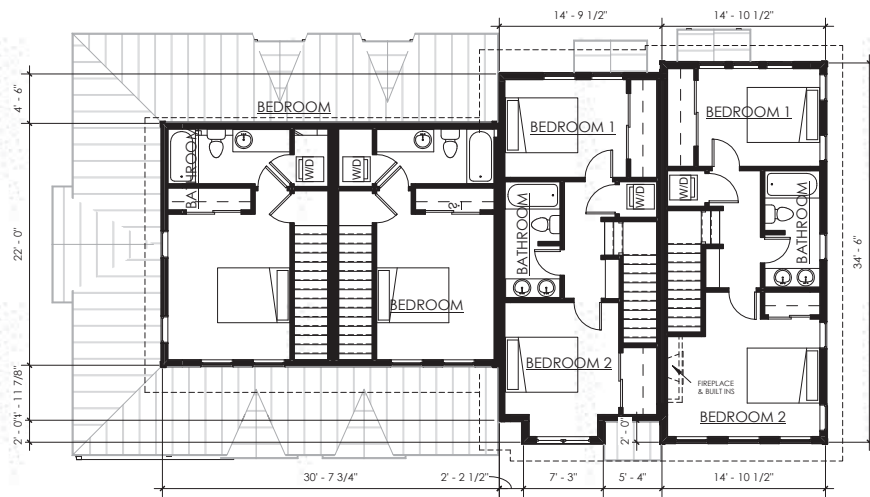
7 Second Floor Plan  
1/8" = 1'-0"



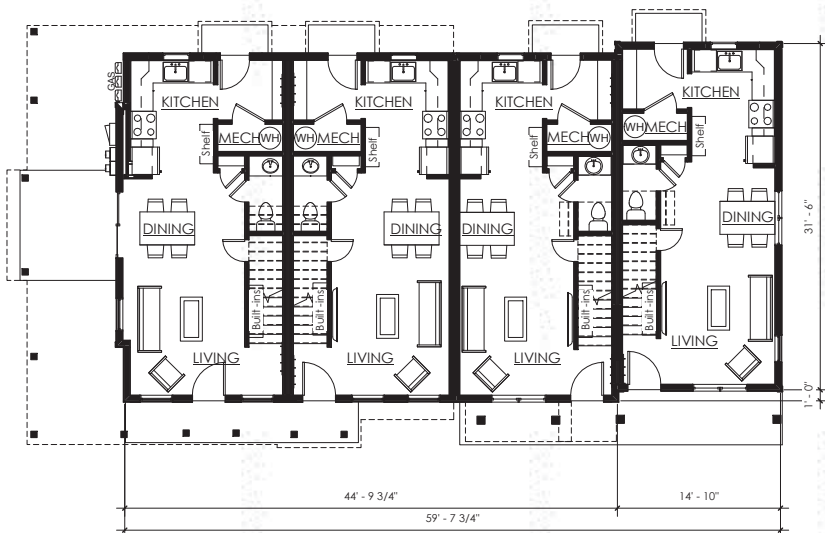
6 First Floor Plan  
1/8" = 1'-0"



8 Roof Plan  
1/8" = 1'-0"



7 Second Floor Plan  
1/8" = 1'-0"



6 First Floor Plan  
1/8" = 1'-0"



5 Left Elevation (Street)  
1/8" = 1'-0"



4 Front Elevation (Parking lot)  
1/8" = 1'-0"



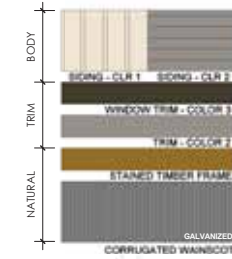
3 Right Elevation (Internal)  
1/8" = 1'-0"



2 Back Elevation (Internal, CMC)  
1/8" = 1'-0"



1 Perspective View Color 7



COLOR SCHEME 7

**BUILDING TYPE C1**

**BUILDING SQUARE FOOTAGE:**

FIRST FLOOR = 1,893 SF  
SECOND FLOOR = 1,497 SF  
TOTAL = 3,390 SF

**UNIT BREAKDOWN:**

(2) 2 BEDROOM UNITS = 943 SF  
INTERIOR STORAGE = 48 SF, 5.0%  
(2) 1 BEDROOM UNIT = 775 SF  
INTERIOR STORAGE = 39 SF, 5.0%

**NOTE:** EXTERIOR 3x6 (18 SF) STORAGE LOCKER PROVIDED FOR EACH UNIT

**BUILDING TYPE QUANTITY:**

(1) BUILDING TYPE C1



Unit Location



3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

DP1

BRECKENRIDGE, CO

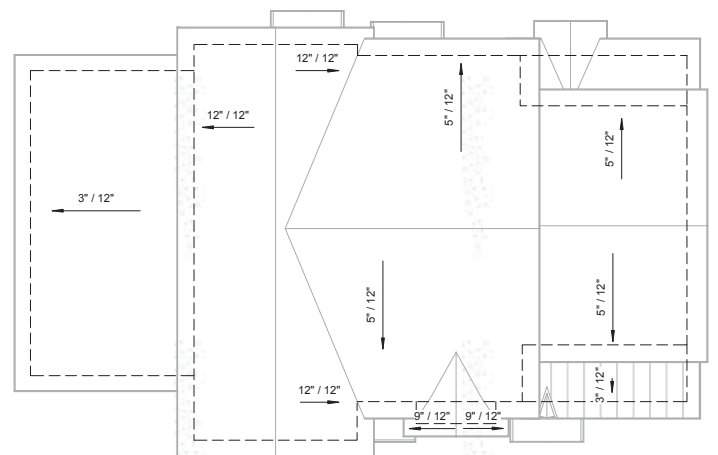
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02.10.2017

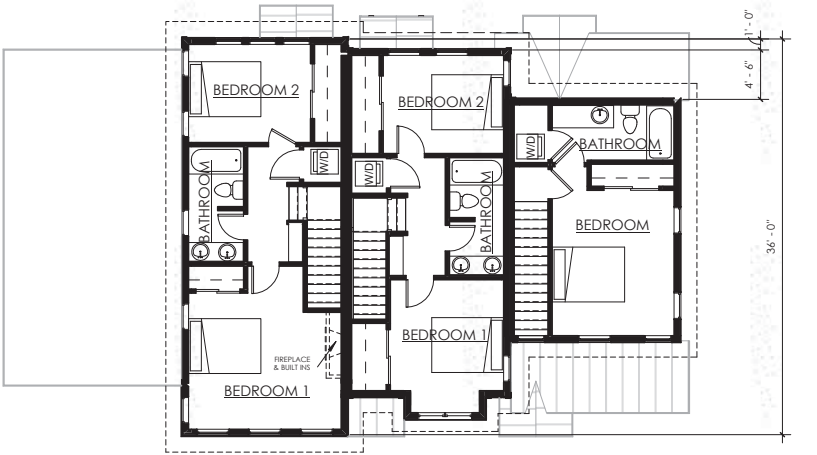
SHEET No.

A4.0  
BUILDING C1

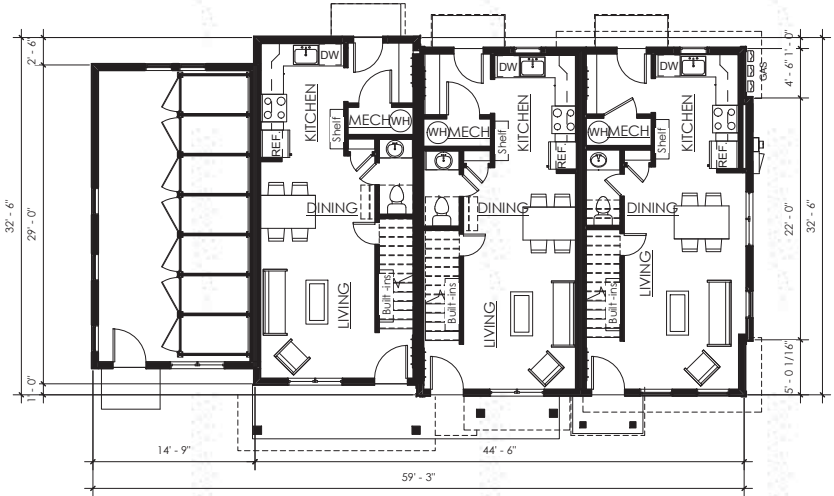




8 Roof Plan  
1/8" = 1'-0"



7 Second Floor Plan  
1/8" = 1'-0"



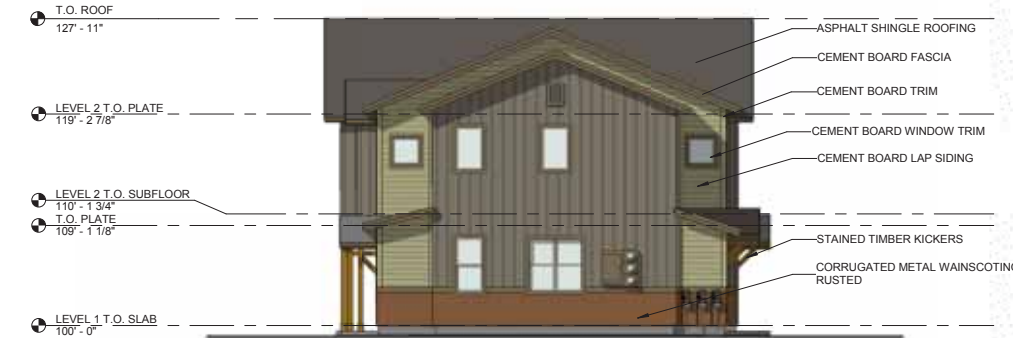
6 First Floor Plan  
1/8" = 1'-0"



5 Left Elevation (Internal)  
1/8" = 1'-0"



4 Front Elevation (Parking Lot)  
1/8" = 1'-0"



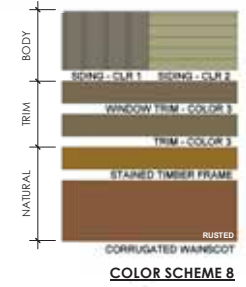
3 Right Elevation (Internal)  
1/8" = 1'-0"



2 Back Elevation (Internal, CMC)  
1/8" = 1'-0"



1 Perspective View 8



BUILDING TYPE C2	
<b>BUILDING SQUARE FOOTAGE:</b>	
FIRST FLOOR RES. =	1,417 SF
FIRST FLOOR COM. =	402 SF
SECOND FLOOR RES. =	1,235 SF
TOTAL RES =	2,652 SF
TOTAL COM. =	402 SF
<b>UNIT BREAKDOWN:</b>	
(2) 2 BEDROOM UNITS =	963 SF
INTERIOR STORAGE =	50.5 SF, 5.2%
(1) 1 BEDROOM UNIT =	778 SF
INTERIOR STORAGE =	39 SF, 5.0%
EXTERIOR STORAGE/COM. =	402 SF
<b>NOTE:</b> EXTERIOR 3X6 (18SF) STORAGE LOCKER PROVIDED FOR EACH UNIT	
<b>BUILDING TYPE QUANTITY:</b>	
(1) BUILDING TYPE C2	



Unit Location



3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

DP1

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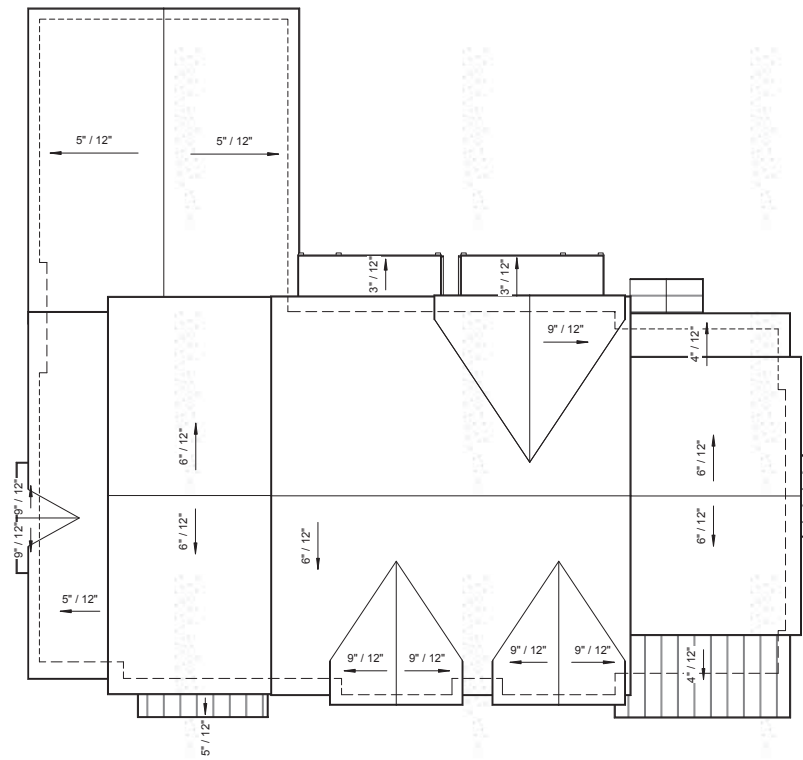
FINAL DEVELOPMENT  
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SHEET No.

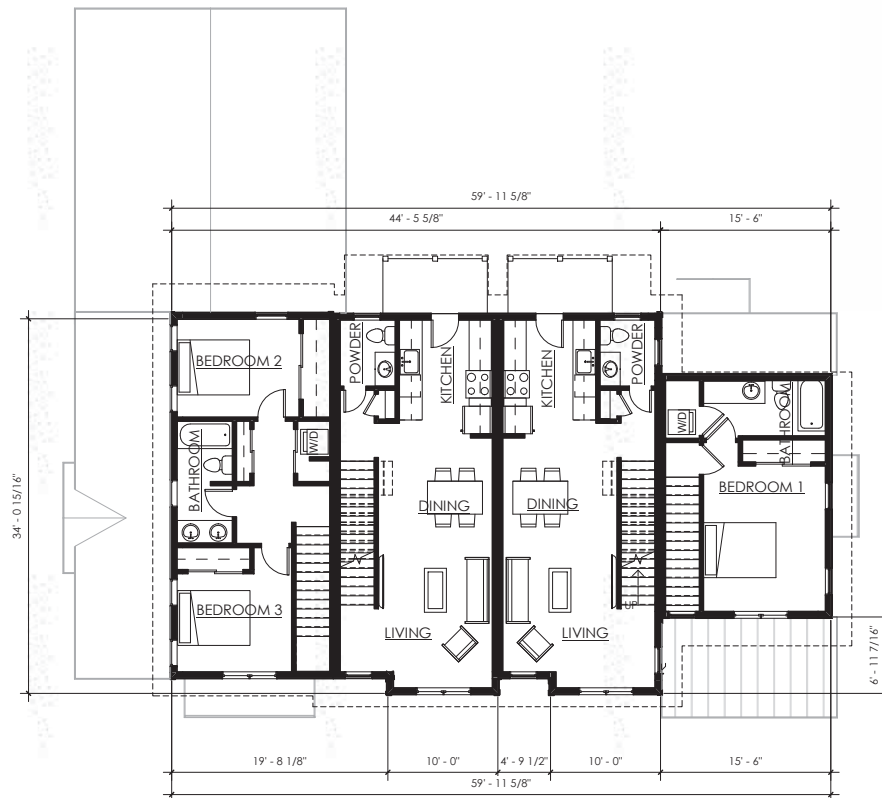
A5.0  
BUILDING C2



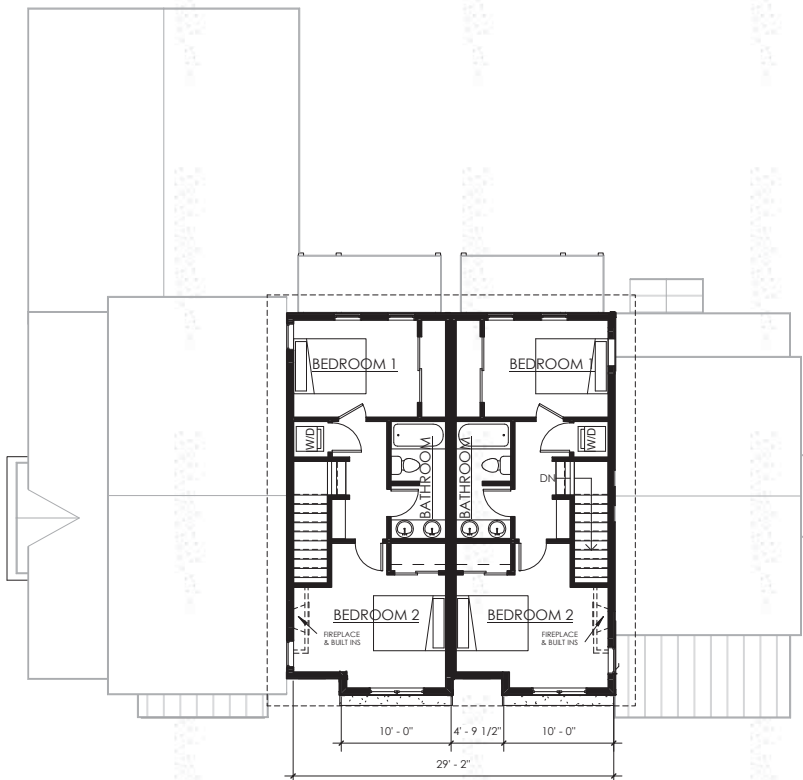
1 Perspective View - Color 9



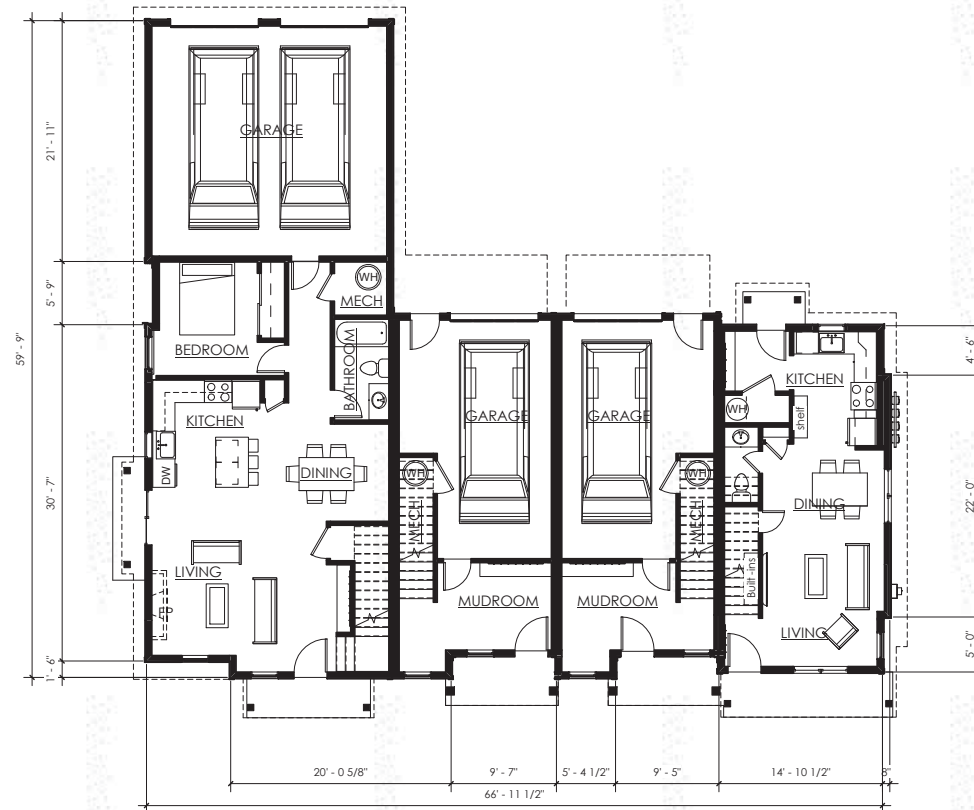
8 ROOF PLAN  
1/8" = 1'-0"



7 SECOND FLOOR PLAN  
1/8" = 1'-0"



2 THIRD FLOOR PLAN  
1/8" = 1'-0"



6 FIRST FLOOR PLAN  
1/8" = 1'-0"

BUILDING TYPE D1	
<b>BUILDING SQUARE FOOTAGE:</b>	
FIRST FLOOR RES. =	1,570 SF
FIRST FLOOR GARAGE =	1,159 SF
SECOND FLOOR RES. =	1,663 SF
THIRD FLOOR RES. =	929 SF
<b>TOTAL LIVING (RES.) =</b>	<b>4,162 SF</b>
<b>TOTAL SF =</b>	<b>5,321 SF</b>
<b>UNIT BREAKDOWN:</b>	
(1) 1 BEDROOM UNIT - 2 STORY =	755 SF
INTERIOR STORAGE =	38 SF, 5.0%
(2) 2 BEDROOM UNITS - 3 STORY =	1,065 SF
WITH GARAGE =	1,400 SF
INTERIOR STORAGE =	55.8 SF, 5.2%
(1) 3 BEDROOM UNIT - 2 STORY =	1,282 SF
WITH GARAGE =	1,771 SF
INTERIOR STORAGE =	92.8 SF, 7.2%
<b>BUILDING TYPE QUANTITY:</b>	
(3) BUILDING TYPE D1	

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Unit Location





**COBURN**  
ARCHITECTURE

3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DP1**

BRECKENRIDGE, CO



5 Perspective View - Color 9



4 LEFT ELEVATION (INTERNAL OR STREET)  
1/8" = 1'-0"



3 FRONT ELEVATION (STREET)  
1/8" = 1'-0"



2 BACK ELEVATION (ALLEY)  
1/8" = 1'-0"



1 RIGHT ELEVATION (INTERNAL OR STREET)  
1/8" = 1'-0"



Unit Location

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FINAL DEVELOPMENT  
REVIEW RESUBMITTAL 2  
02.10.2017

SHEET No.

**A 6.1**  
BUILDING D1



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Boulder, Colorado  
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f: 303-447-3933

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BRECKENRIDGE, CO



1 Perspective View - Color 11

**BUILDING TYPE D2**

BUILDING SQUARE FOOTAGE:

FIRST FLOOR RES. = 1,716 SF  
FIRST FLOOR GARAGE = 1,050 SF  
SECOND FLOOR RES. = 1,664 SF  
THIRD FLOOR RES. = 1006 SF  
**TOTAL LIVING (RES.) = 4,386 SF**  
**TOTAL SF = 5,436 SF**

UNIT BREAKDOWN:

- (1) 1 BEDROOM UNIT - 2 STORY = 770 SF  
INTERIOR STORAGE = 39 SF, 5.0%
- (2) 2 BEDROOM UNITS - 3 STORY = 1,122 SF  
W/ TUCKUNDER = 1,424 SF  
INTERIOR STORAGE = 56.9 SF, 5.0%
- (1) 3 BEDROOM UNIT - 2 STORY = 1,297 SF  
W/ GARAGE = 1741 SF  
INTERIOR STORAGE = 92.8 SF, 7.1%

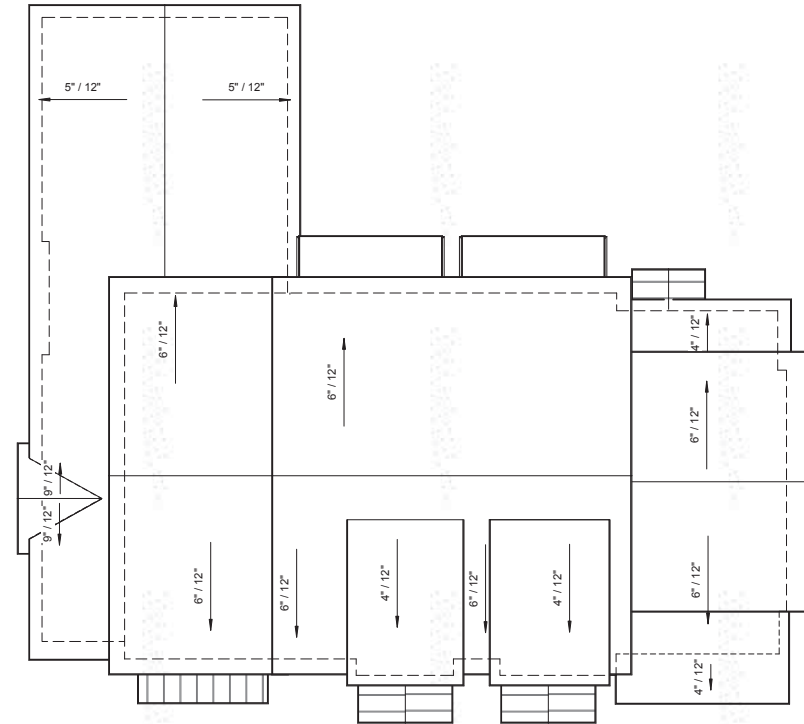
BUILDING TYPE QUANTITY:

- (3) BUILDING TYPE D2

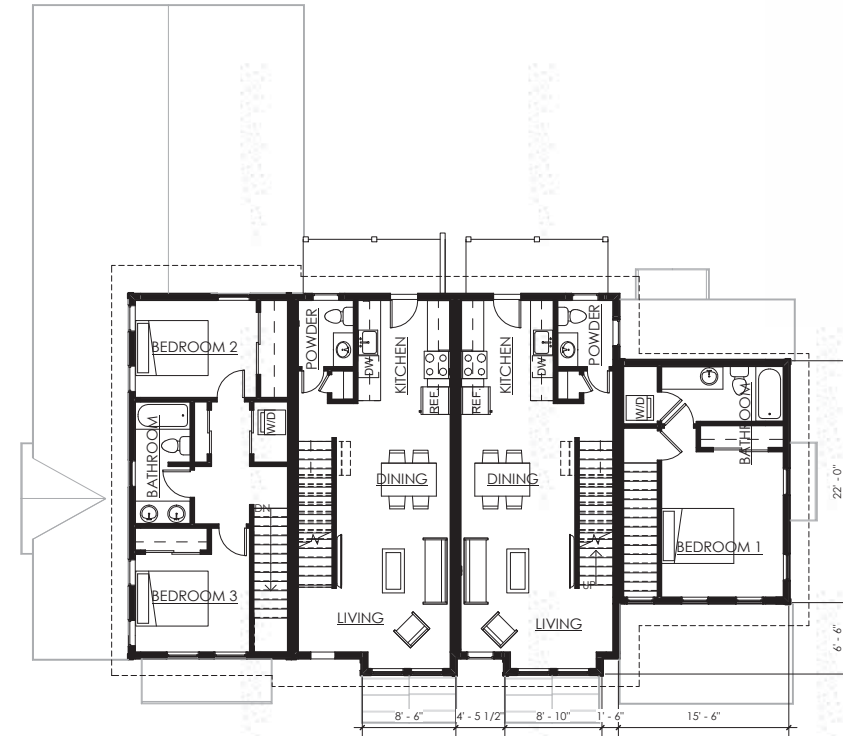
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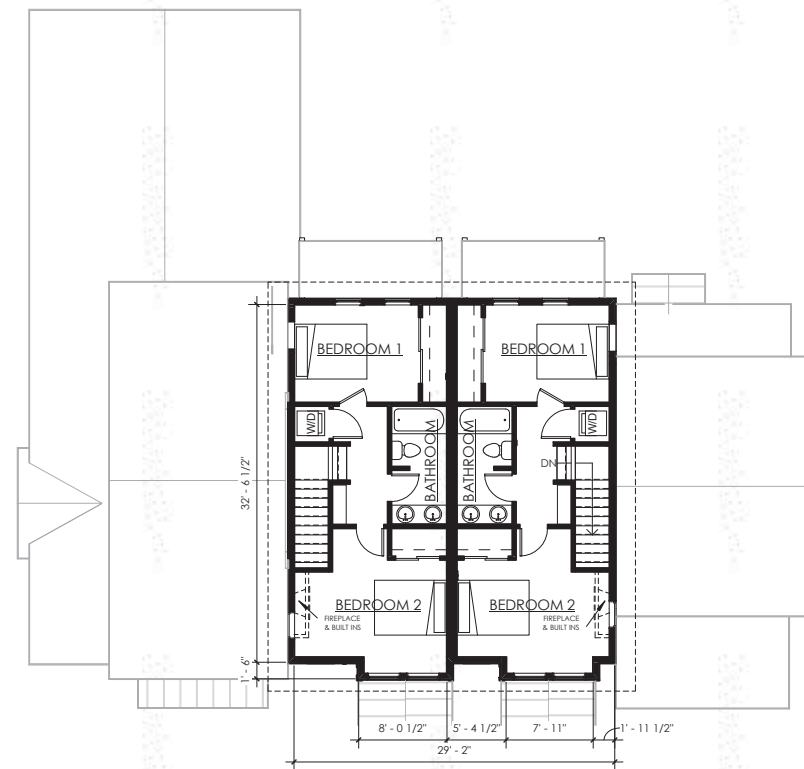
Unit Location



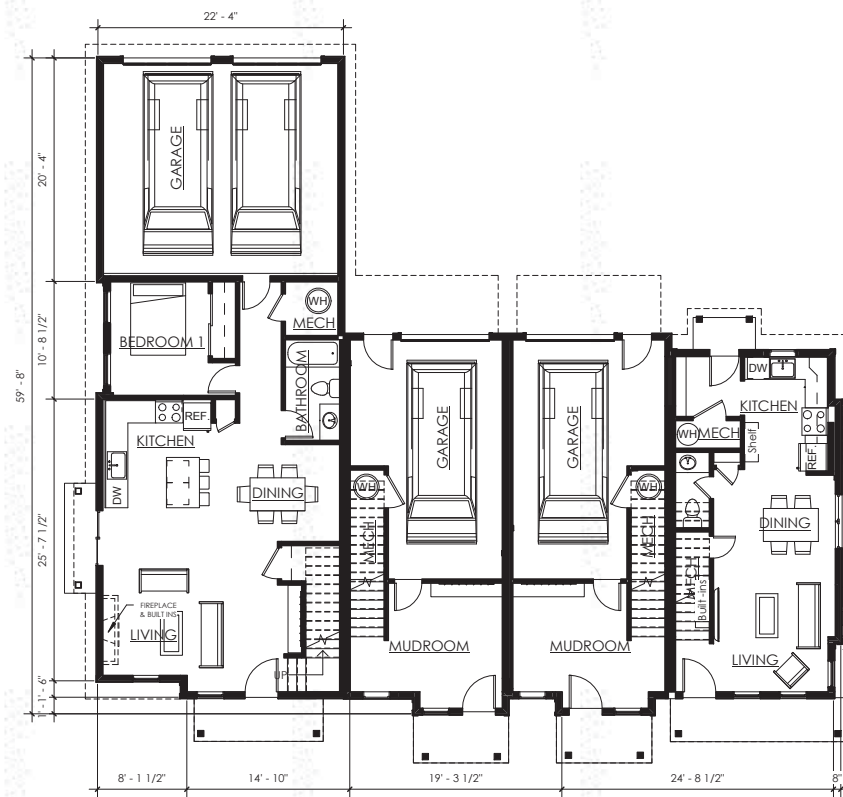
8 ROOF PLAN  
1/8" = 1'-0"



7 SECOND FLOOR PLAN  
1/8" = 1'-0"



2 THIRD FLOOR PLAN  
1/8" = 1'-0"



6 FIRST FLOOR PLAN  
1/8" = 1'-0"

1 BEDROOM UNIT EXTRA  
STORAGE ACCOUNTED FOR IN  
ENTRY/MUDROOM AND UNDER  
STAIRS





**COBURN**  
ARCHITECTURE

3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DP1**

BRECKENRIDGE, CO



5 Perspective View - Color 11

	COLOR SCHEME 11	COLOR SCHEME 12
BODY	SIDING - CLR 1 SIDING - CLR 2	SIDING - CLR 1 SIDING - CLR 1
TRIM	WINDOW TRIM - COLOR 3	WINDOW TRIM - COLOR 1
	TRIM - COLOR 3	TRIM - COLOR 1
NATURAL	STAINED TIMBER FRAME	STAINED TIMBER FRAME
	CORRUGATED WAINSCOT GALVANIZED	CORRUGATED WAINSCOT RUSTED



4 LEFT ELEVATION (INTERNAL OR STREET)  
1/8" = 1'-0"



3 FRONT ELEVATION (STREET)  
1/8" = 1'-0"



2 BACK ELEVATION (ALLEY)  
1/8" = 1'-0"



1 RIGHT ELEVATION (INTERNAL OR STREET)  
1/8" = 1'-0"



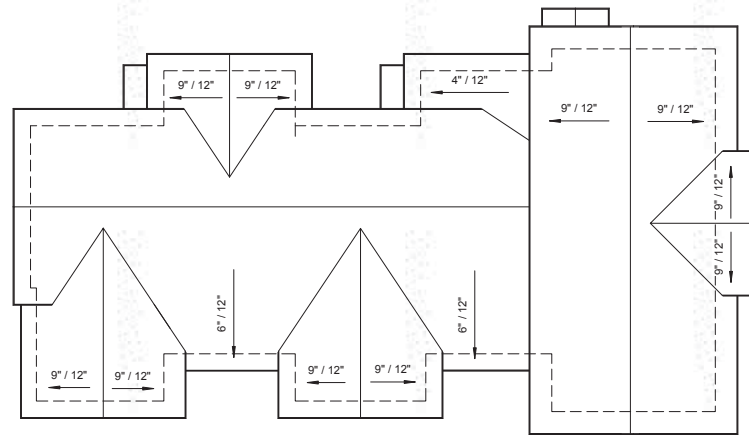
Unit Location

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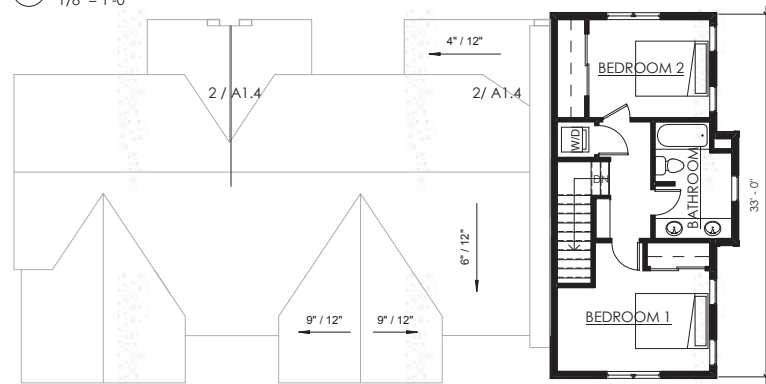
FINAL DEVELOPMENT  
REVIEW RESUBMITTAL 2  
02.10.2017

SHEET No.

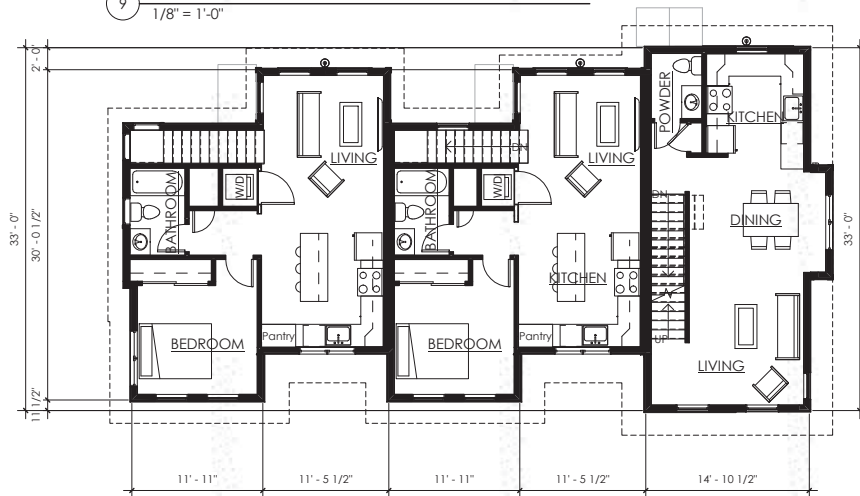
**A7.1**  
BUILDING D2



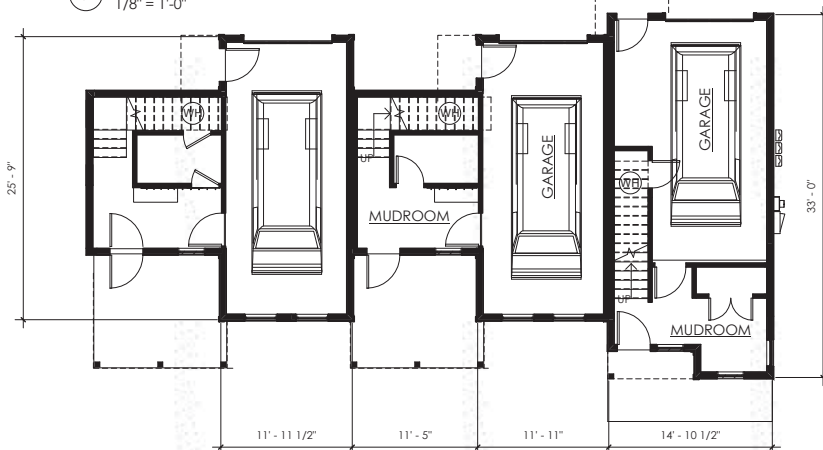
8 Roof Plan  
1/8" = 1'-0"



9 Third Floor Plan  
1/8" = 1'-0"



7 Second Floor Plan  
1/8" = 1'-0"



6 First Floor Plan  
1/8" = 1'-0"



5 Right Elevation  
1/8" = 1'-0"



4 Front Elevation  
1/8" = 1'-0"



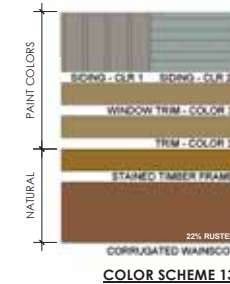
3 Left Elevation  
1/8" = 1'-0"



2 Back Elevation  
1/8" = 1'-0"



1 Perspective View - Color 13



**BUILDING TYPE E**

**BUILDING SQUARE FOOTAGE:**

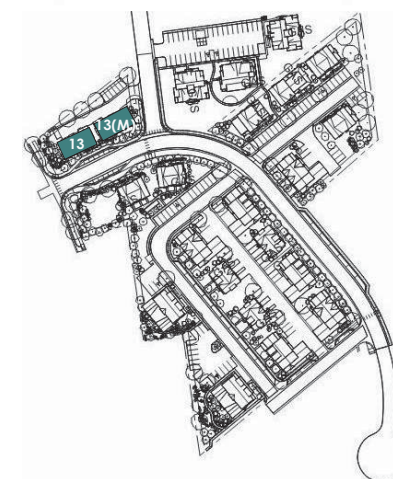
FIRST FLOOR RES. = 575 SF  
FIRST FLOOR GARAGE = 897 SF  
SECOND FLOOR RES. = 1604 SF  
THIRD FLOOR RES. = 474 SF

TOTAL LIVING = 2653 SF  
TOTAL SF = 3550 SF

**UNIT BREAKDOWN:**

(1) 2 BEDROOM UNITS - 3 STORY = 1122 SF  
W/TUCKUNDER = 1416 SF  
INTERIOR STORAGE = 58.5 SF, 5.2%  
(2) 1 BEDROOM UNITS - 2 STORY = 778 SF  
W/TUCKUNDER = 1086 SF  
INTERIOR STORAGE = 58 SF, 7.4%

**BUILDING TYPE QUANTITY:**  
(2) BUILDING TYPE E



Unit Location



3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DP1**

BRECKENRIDGE, CO

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FINAL DEVELOPMENT  
REVIEW RESUBMITAL 2  
02.10.2017

SHEET No.

**A8.0**  
**BUILDING E**





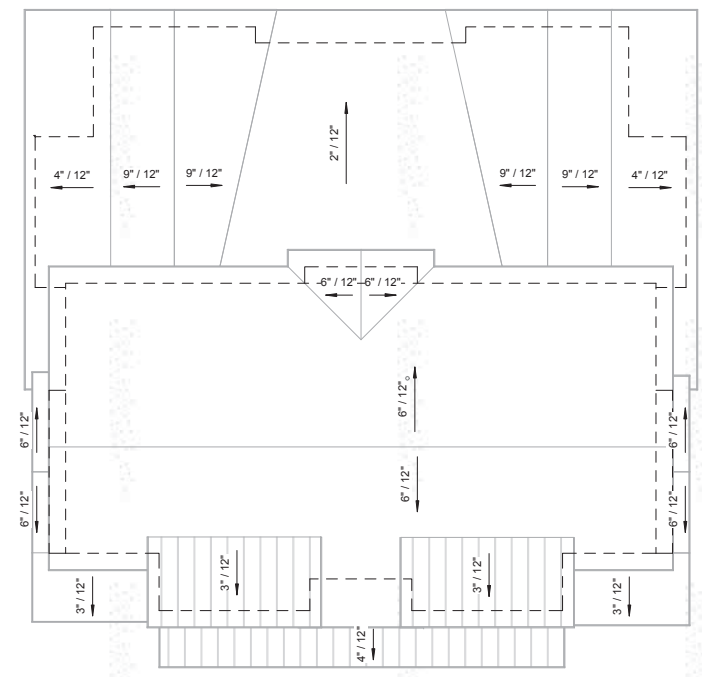
5 Perspective View - Color 14

BUILDING TYPE F3	
<b>BUILDING SQUARE FOOTAGE:</b>	
FIRST FLOOR RES. =	2,137 S.F.
FIRST FLOOR COM. =	642 S.F.
SECOND FLOOR RES. =	2,780 S.F.
THIRD FLOOR RES. =	1,353 S.F.
<b>TOTAL RESIDENTIAL =</b>	<b>6,270 S.F.</b>
<b>TOTAL COMMON =</b>	<b>642 S.F.</b>
<b>UNIT BREAKDOWN:</b>	
(9) 1 BEDROOM UNITS, 1 STORY =	636 FT
INTERIOR STORAGE =	32 SF, 5.0%
<b>NOTE: EXTERIOR 3X6 (18SF) STORAGE LOCKER PROVIDED FOR EACH UNIT</b>	
<b>BUILDING TYPE QUANTITY:</b>	
(2) BUILDING TYPE F3	

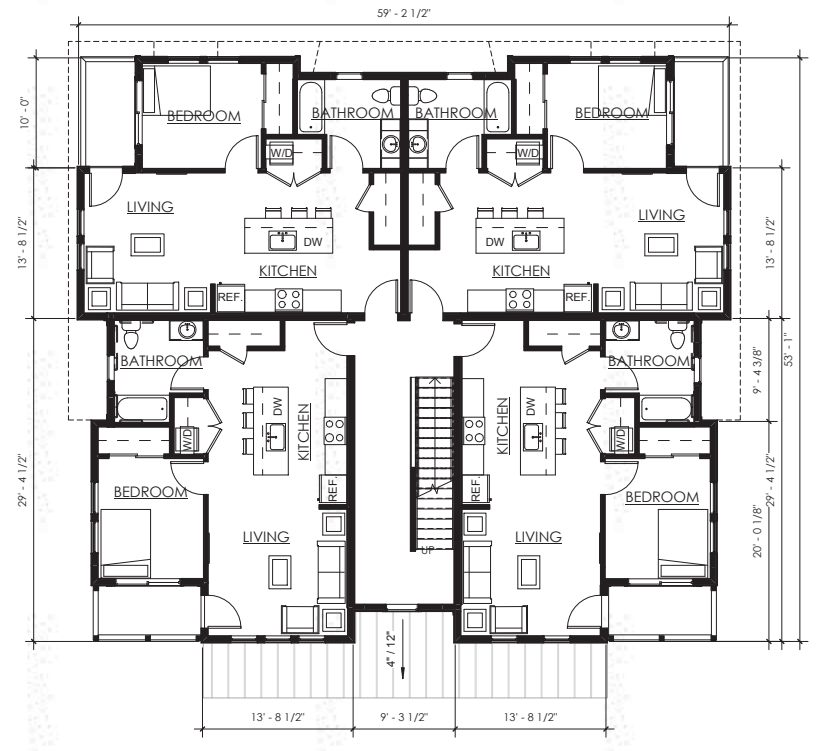
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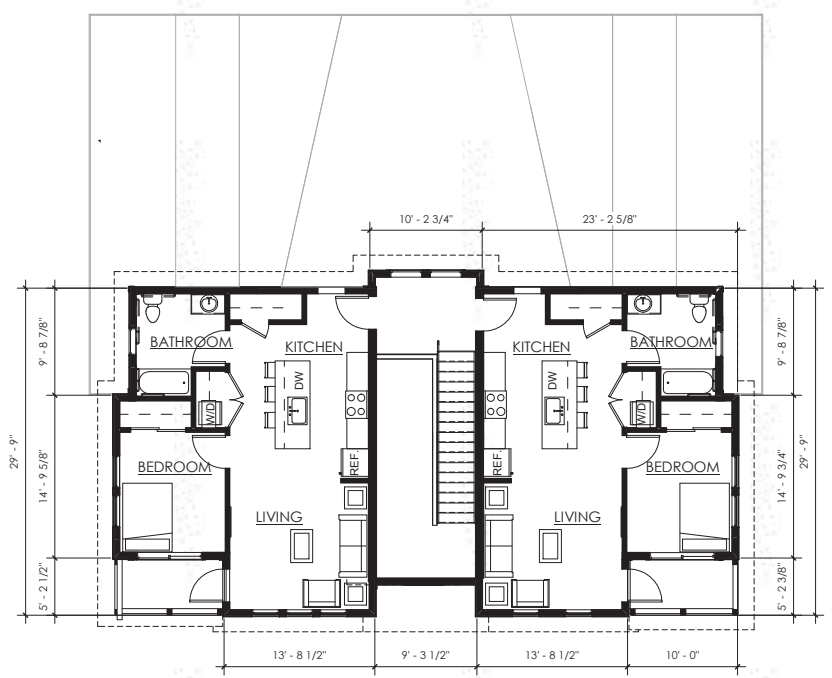
Unit Location



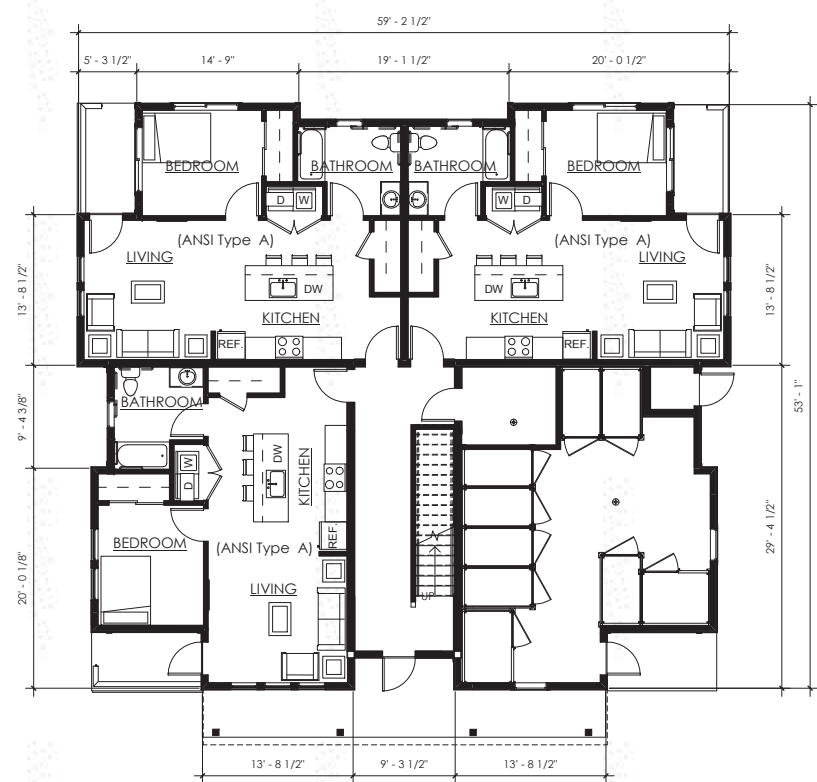
1 Roof Plan  
1/8" = 1'-0"



3 Second Floor Plan  
1/8" = 1'-0"



4 Third Floor Plan  
1/8" = 1'-0"



2 First Floor Plan  
1/8" = 1'-0"



**COBURN**  
ARCHITECTURE

3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

DP1

BRECKENRIDGE, CO

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FINAL DEVELOPMENT  
REVIEW RESUBMITAL 2  
02.10.2017

SHEET No.

**A9.1**  
**BUILDING F3**



3 Front Elevation (Street)  
1/8" = 1'-0"



4 Left Elevation (Internal)  
1/8" = 1'-0"



1 Right Elevation (Internal)  
1/8" = 1'-0"



2 Back Elevation (Airport Rd.)  
1/8" = 1'-0"

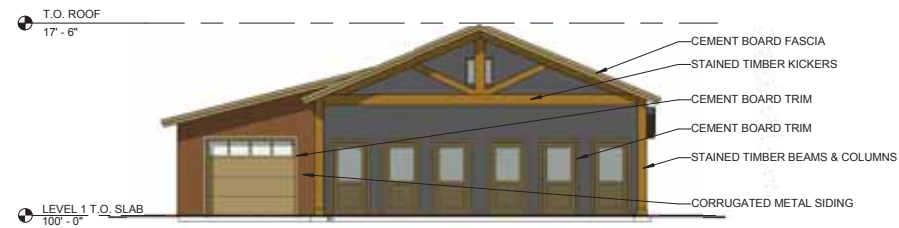
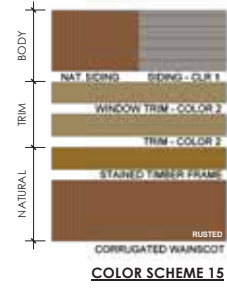
BODY	BRN - CLR 1	BRN - CLR 2
TRIM	WIN - CLR 1	TRM - CLR 1
NATURAL	STAINED TIMBER FRAME	CORRUGATED WAINSCOT RUSTED

**COLOR SCHEME 14**



Unit Location





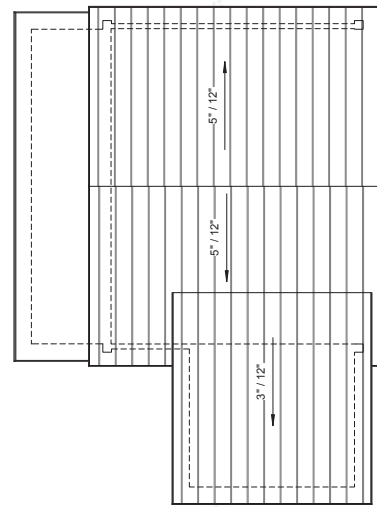
4 Front Elevation  
 1/8" = 1'-0"



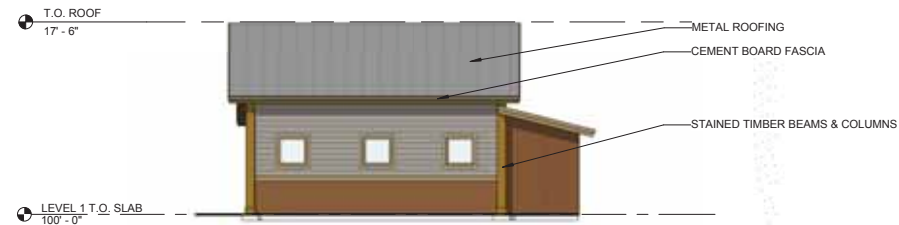
5 Perspective View



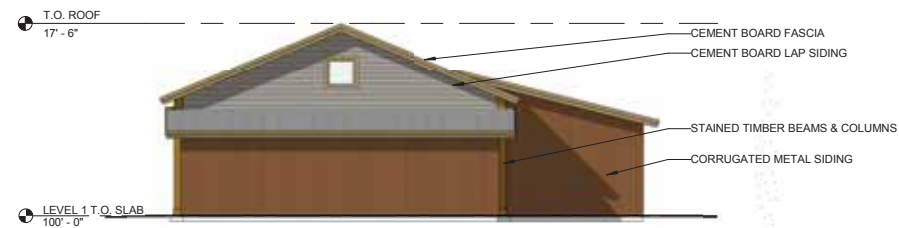
1 Perspective View Back



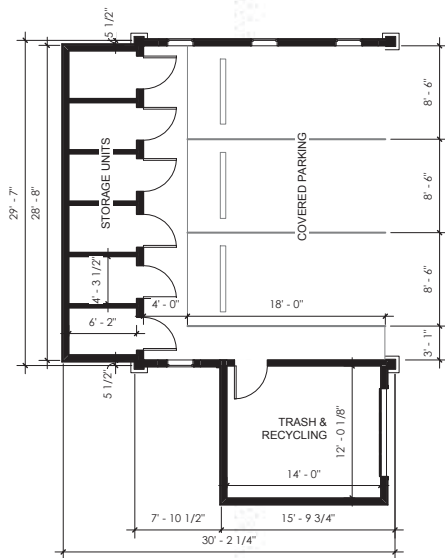
8 Roof Plan  
 1/8" = 1'-0"



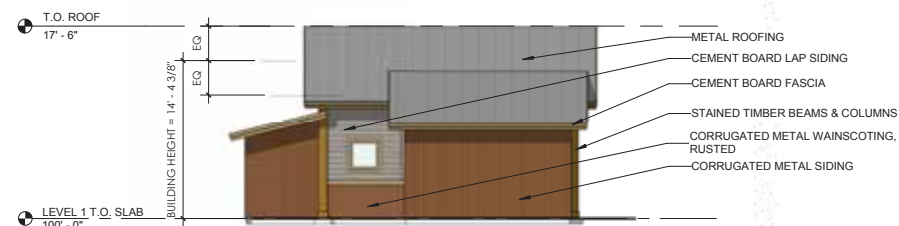
C Right Elevation  
 1/8" = 1'-0"



3 Back Elevation  
 1/8" = 1'-0"



6 First Floor Plan  
 1/8" = 1'-0"



2 Left Elevation  
 1/8" = 1'-0"

CARPORT	
<b>BUILDING SQUARE FOOTAGE:</b>	
BUILDING = 1023 S.F.	
STORAGE = 175 S.F.	
<b>UNIT BREAKDOWN:</b>	
(6) STORAGE UNITS	
(3) PARKING SPACES	
(1) TRASH & RECYCLING	
<b>BUILDING TYPE QUANTITY:</b>	
(1) CARPORT	



Unit Location

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5 Perspective View



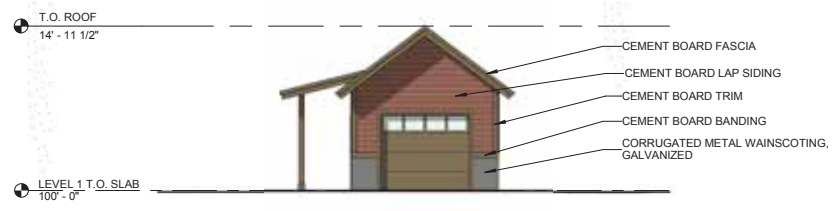
1 Perspective View Back

TRASH & STORAGE
<b>BUILDING SQUARE FOOTAGE:</b>
BUILDING COVERAGE = 382 S.F.
STORAGE = 145 S.F.
<b>UNIT BREAKDOWN:</b>
(6) STORAGE UNITS
(1) TRASH & RECYCLING
<b>BUILDING TYPE QUANTITY:</b>
(1) TRASH & STORAGE

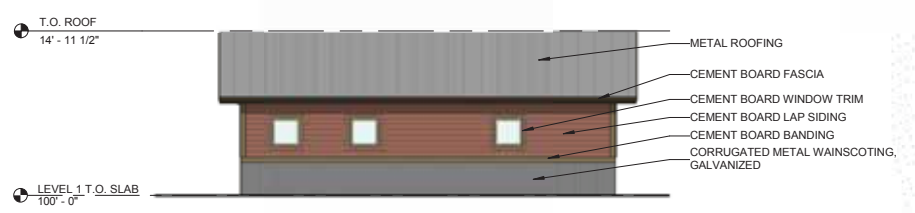
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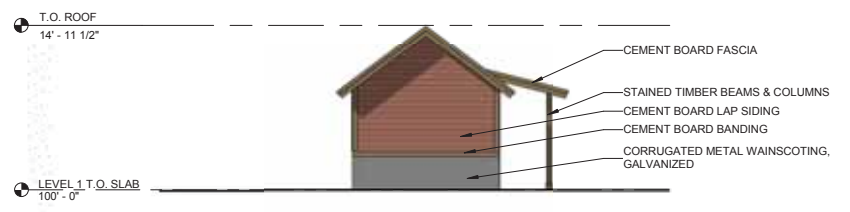
Unit Location



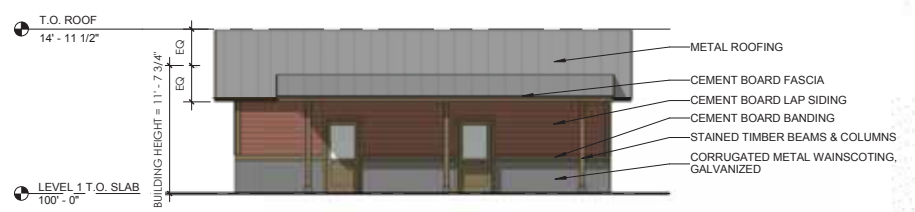
4 Front Elevation  
1/8" = 1'-0"



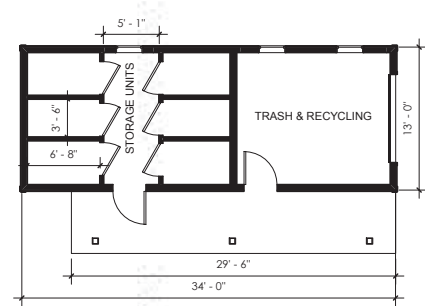
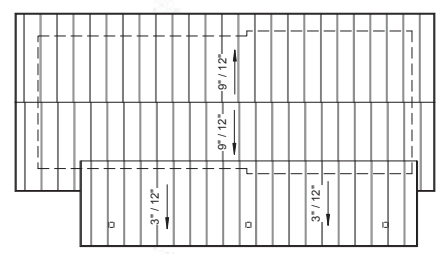
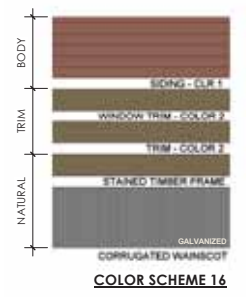
C Right Elevation  
1/8" = 1'-0"

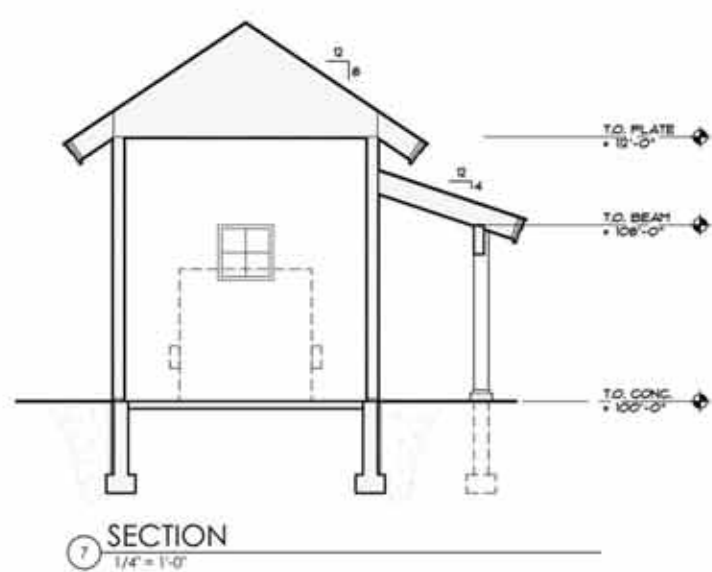


3 Back Elevation  
1/8" = 1'-0"

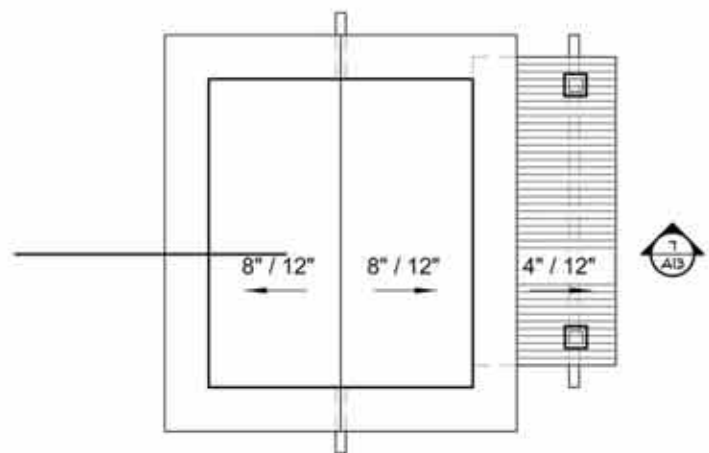


2 Left Elevation  
1/8" = 1'-0"

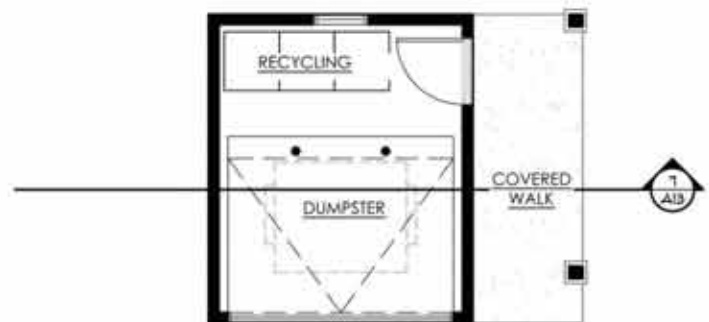




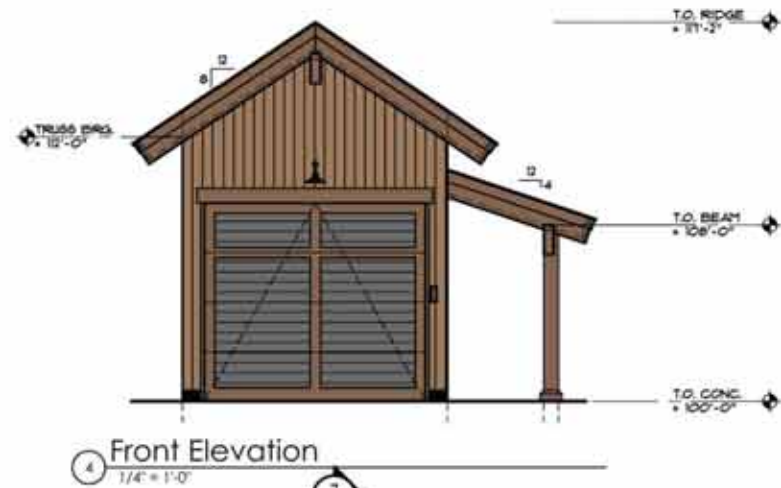
7 SECTION  
1/4" = 1'-0"



6 Roof Plan  
1/4" = 1'-0"



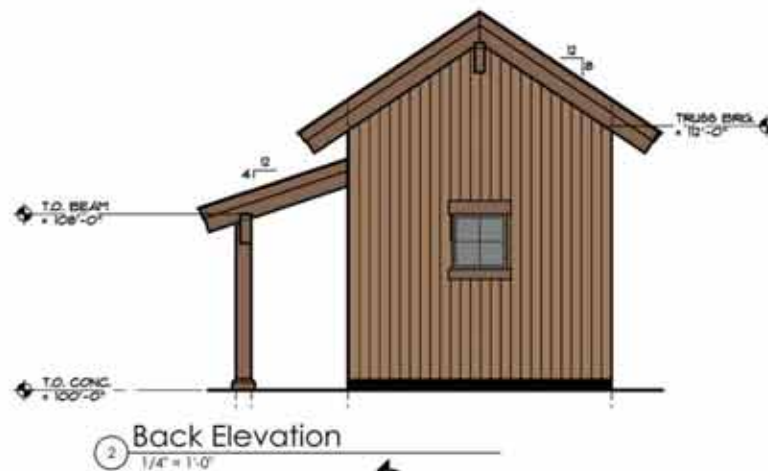
5 First Floor Plan  
1/4" = 1'-0"



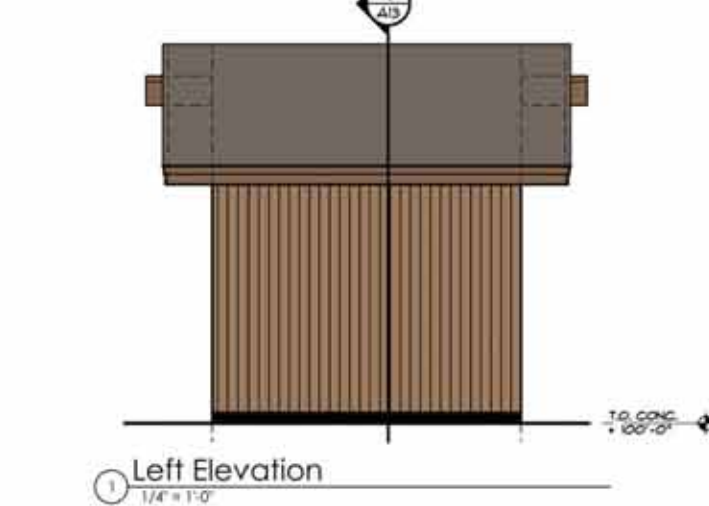
4 Front Elevation  
1/4" = 1'-0"



3 Right Elevation  
1/4" = 1'-0"



2 Back Elevation  
1/4" = 1'-0"



1 Left Elevation  
1/4" = 1'-0"

**TRASH ENCLOSURE**  
BUILDING TYPE QUANTITY:  
**(4) TRASH ENCLOSURES**



Enclosure Locations  
1" = 150'



**COBURN**  
ARCHITECTURE

3020 Carbon Place #200  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DENISON**  
**AFFORDABLE**  
**HOUSING**  
BRECKENRIDGE, CO



160 East Adams  
Breckenridge, Colorado  
p: 970-453-6880

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NOTIFY THE ARCHITECT IMMEDIATELY OF  
ANY DISCREPANCIES IN THE DRAWINGS,  
FIELD CONDITIONS OR DIMENSIONS.

ISSUED/REVISION SCHEDULE		
DESCRIPTION	AUTHOR CHECKED	DATE

FINAL DEVELOPMENT  
REVIEW  
01.30.2017

SHEET No.  
**A13**  
**TRASH**  
**ENCLOSURE**



**LANDSCAPE NOTES**

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF TWO YEARS AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN 5' FROM BUILDING OR WALL FOUNDATIONS. ALL IRRIGATION DISTRIBUTION LINES, HEADS, AND EMITTERS SHALL BE KEPT OUTSIDE 5' AWAY FROM ALL BUILDING AND WALL FOUNDATIONS.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH STANDARD FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND WITH A SINGLE LEADER AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A MINIMUM PERIOD OF 3 YEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEARS FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SHREDDED BARK LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- A PERMANENT IRRIGATION SYSTEM SHALL BE INSTALLED. ALL TREES AND SHRUBS SHALL BE DRIP IRRIGATED.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT IN SEEDED AREAS.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE TOWN OF BRECKENRIDGE SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION.
- THE OWNER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.
- IRRIGATION TO BE DESIGN/BUILD. REFER TO SPECIFICATIONS.
- ALL SEEDED SLOPES EXCEEDING 33% (3:1) IN GRADE SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF CHANGE ORDER IS NECESSARY.

**LAYOUT NOTES**

- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES IS PROHIBITED AT THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE THE STORM SEWER IS PROHIBITED.
- THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION SPECIFICATIONS.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

**EROSION CONTROL NOTES**

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOW LINE AND THE PUBLIC RIGHTS-OF-WAY OF THE TOWN OF BRECKENRIDGE AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- A LAYER OF SUITABLE MULCH SHALL BE APPLIED TO ALL DISTURBED PORTIONS OF THE SITE WITHIN 14 DAYS OF THE COMPLETION OF OVERLOT GRADING. SAID MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE AND SHALL BE TACKED OR FASTENED BY AN APPROVED METHOD SUITABLE FOR THE TYPE OF MULCH USED.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF WAYS.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- THE USE OF OSHA APPROVED COLORADO WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURE IS NOT ACCEPTABLE.
- THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES IS PROHIBITED AT THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED.
- THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS.

**PLANT SCHEDULE**

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
(UNLESS OTHERWISE NOTED)				
<b>DECIDUOUS TREES</b>				
112	ANC	QUAKING ASPEN	POPULUS TREMULOIDES	8' CLUMP B&B
95	ANG	QUAKING ASPEN	POPULUS TREMULOIDES	1.5-3" CAL. *31 TO BE 3" CAL.
38	COT	NARROWLEAF COTTONWOOD	POPULUS ANGUSTIFOLIA	1.5-3" CAL. *7 TO BE 3" CAL.
<b>EVERGREEN TREES</b>				
48	BCP	BRISTLECONE PINE	PINUS ARISTATA	6-8' HT.
23	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	8-10' HT.
<b>SHRUBS</b>				
52	CUR	SQUAW CURRANT	RIBES CEREUM	# 5 CONTAINER
23	LIL	COMMON LILAC	SYRINGA VULGARIS	# 5 CONTAINER
17	MUG	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	# 5 CONTAINER
42	NIN	MOUNTAIN NINEBARK	PHYSOCARPUS MONOGYNUS	# 5 CONTAINER
41	PEK	PEKING COTONEASTER	COTONEASTER ACUTIFOLIUS	# 5 CONTAINER
30	RBE	RED-BERRIED ELDER	SAMBUCUS RACEMOSA	# 5 CONTAINER
35	SER	SASKATOON SERVICEBERRY	AMELANCHIER ALNIFOLIA	# 5 CONTAINER
50	WOO	WOOD'S ROSE	ROSA WOODSII	# 5 CONTAINER
31	GSP	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA'	# 5 CONTAINER
<b>ORNAMENTAL GRASSES</b>				
8	BFE	ELIJAH BLUE FESCUE	FESTUCA GLAUCA 'ELIJAH BLUE'	# 1 CONTAINER
12	DEC	TUFTED HAIR GRASS	DESCHAMPSIA CESPITOSA	# 1 CONTAINER
11	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	# 1 CONTAINER
<b>PERENNIALS</b>				
*NOTE: TO BE PLANTED 15" O.C.				
AUT	AUTUMN JOY STONECROP	SEDUM 'AUTUMN JOY'	4" CONTAINER / F15	
BELL	BELLFLOWERCLY	CAMPANULA	4" CONTAINER / F15	
CLY	YELLOW COLUMBINEDAL	AQUILEGIA 'CHRYSANTHA 'DENVER GOLD'	4" CONTAINER / F15	
CMW	WALKER'S LOW CATMINTLPM	NEPETA FAASSENII 'WALKER'S LOW'	4" CONTAINER / F15	
DAL	RED DAYLILY	HEMEROCALLIS 'AUTUMN RED'	4" CONTAINER / F15	
ERU	SULPHUR FLOWER	ERIOGONUM UMBELLATUM	4" CONTAINER / F15	
LPM	POPSICLE MIX LUPINE	LUPINUS 'POPSICLE MIX'	4" CONTAINER / F15	
PEN	HUSKER RED BEARDS TONGUE	PENSTEMON 'HUSKER RED'	4" CONTAINER / F15	
SAL	MAY NIGHT PURPLE SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4" CONTAINER / F15	
POO	ORIENTAL POPPY	PAPAVER ORIENTALE	4" CONTAINER / F15	
SIS	SNOW-IN-SUMMER	CERASTIUM TOMENTOSUM	4" CONTAINER / F15	
SWW	SWEET WOODRUFF	GALIUM ODORATUM	4" CONTAINER / F15	
YAA	YARROW	ACHILLEA 'MOONSHINE'	4" CONTAINER / F15	

**PLANT MATERIAL BY PARCEL**

PARCEL NAME & QUANTITY:		
Parcel 1	Parcel 3	TOTAL
31	7	38
81	14	95
105	7	112
20	3	23
41	7	48
278	43	321

\* PLEASE REFER TO THE PLANT SCHEDULE ABOVE FOR NAME AND SIZES.

**TURF GRASS**

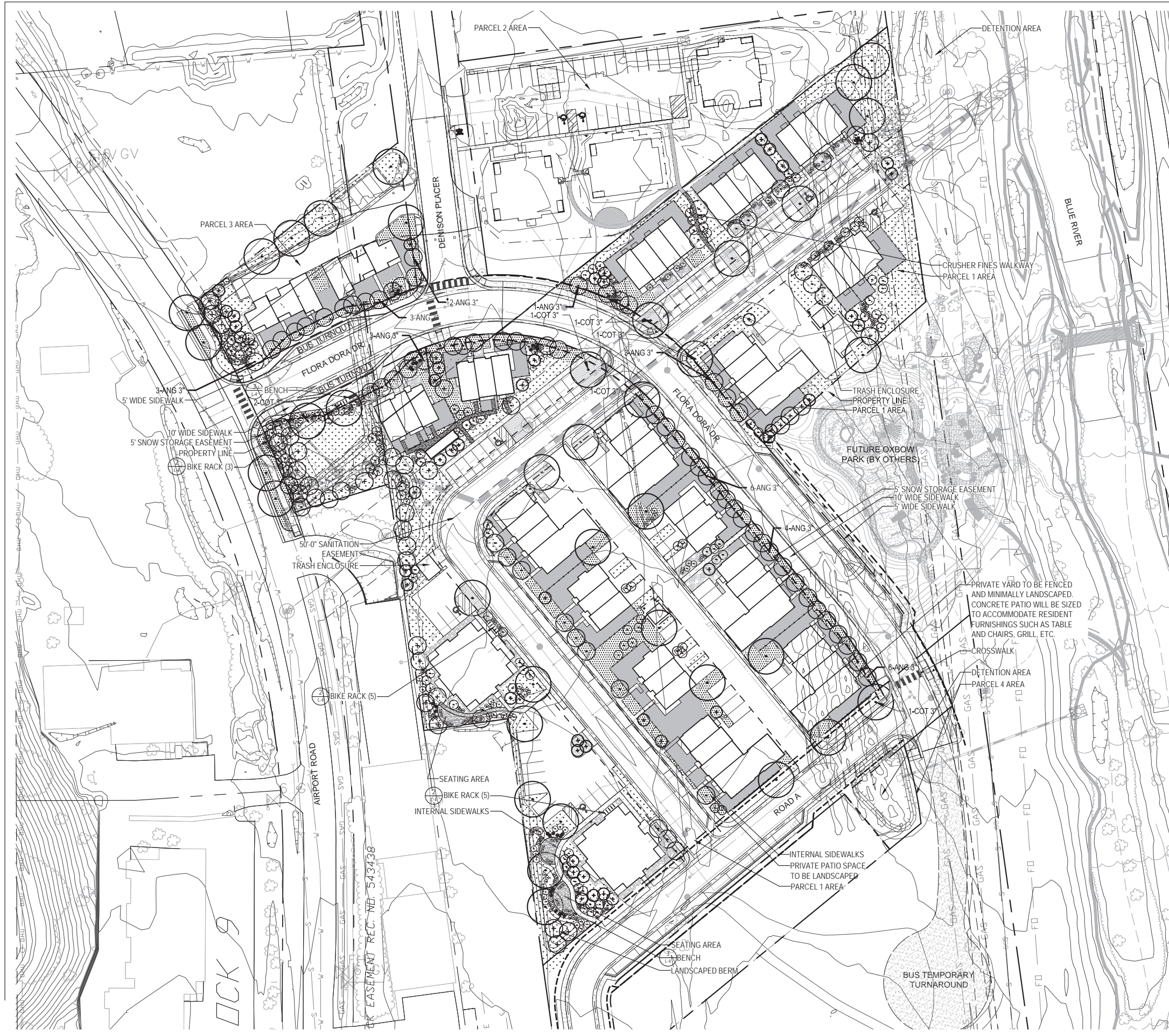
COMMON NAME  
 ECOLOTURF (OR APPROVED EQUAL)

**NATIVE HIGH COUNTRY GRASS SEED MIXTURE**

COMMON NAME	% OF TOTAL	LBS. PER 1000 S.F.
SLENDER WHEATGRASS	30%	0.6 LBS.
CANBY BLUEGRASS	15%	0.3 LBS.
BIG BLUEGRASS	10%	0.2 LBS.
IDAHO FESCUE	10%	0.2 LBS.
SHEEP FESCUE	10%	0.2 LBS.
WESTERN WHEATGRASS	10%	0.2 LBS.
BLUE WILDRYE	5%	0.1 LBS.
TUFTED HAIRGRASS	5%	0.1 LBS.
TOTAL	100%	2.0 LBS.

\* SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED



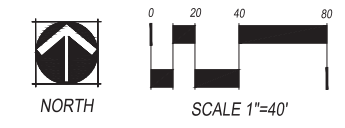


**LEGEND**

	PROPERTY LINE
	SNOW STORAGE EASEMENT
	SIDEWALK
	STEEL EDGER
	FENCE
	LANDSCAPE MULCH
	SOD
	NATIVE SEED
	CRUSHER FINES-GREY
	CONCRETE
	COBBLE DRIP EDGE
	FLAGSTONE
	PRIVATE YARD AREA
	DECIDUOUS TREES
	EVERGREEN TREES
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	ORNAMENTAL GRASSES

ELIJAH BLUE FESCUE - FESTUCA GLAUCA ELIJAH BLUE  
TOMTEED WALK GRASS - DESCHAMPSIA DESPINOZA  
FEATHER REED GRASS - CALAMAGROSTIS ACUTIFLORA KARL FOERSTER

NOTE:  
ENCROACHMENT LICENSE AGREEMENTS FOR LANDSCAPE IMPROVEMENTS LOCATED IN THE UPPER BLUE SANITATION DISTRICT EASEMENT WILL BE COMPLETED PER DISTRICT STANDARDS. IMPROVEMENTS LOCATED IN THE EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER.



**DENISON PLACER AFFORDABLE HOUSING**  
BRECKENRIDGE, CO

OWNER:  
TOWN OF BRECKENRIDGE

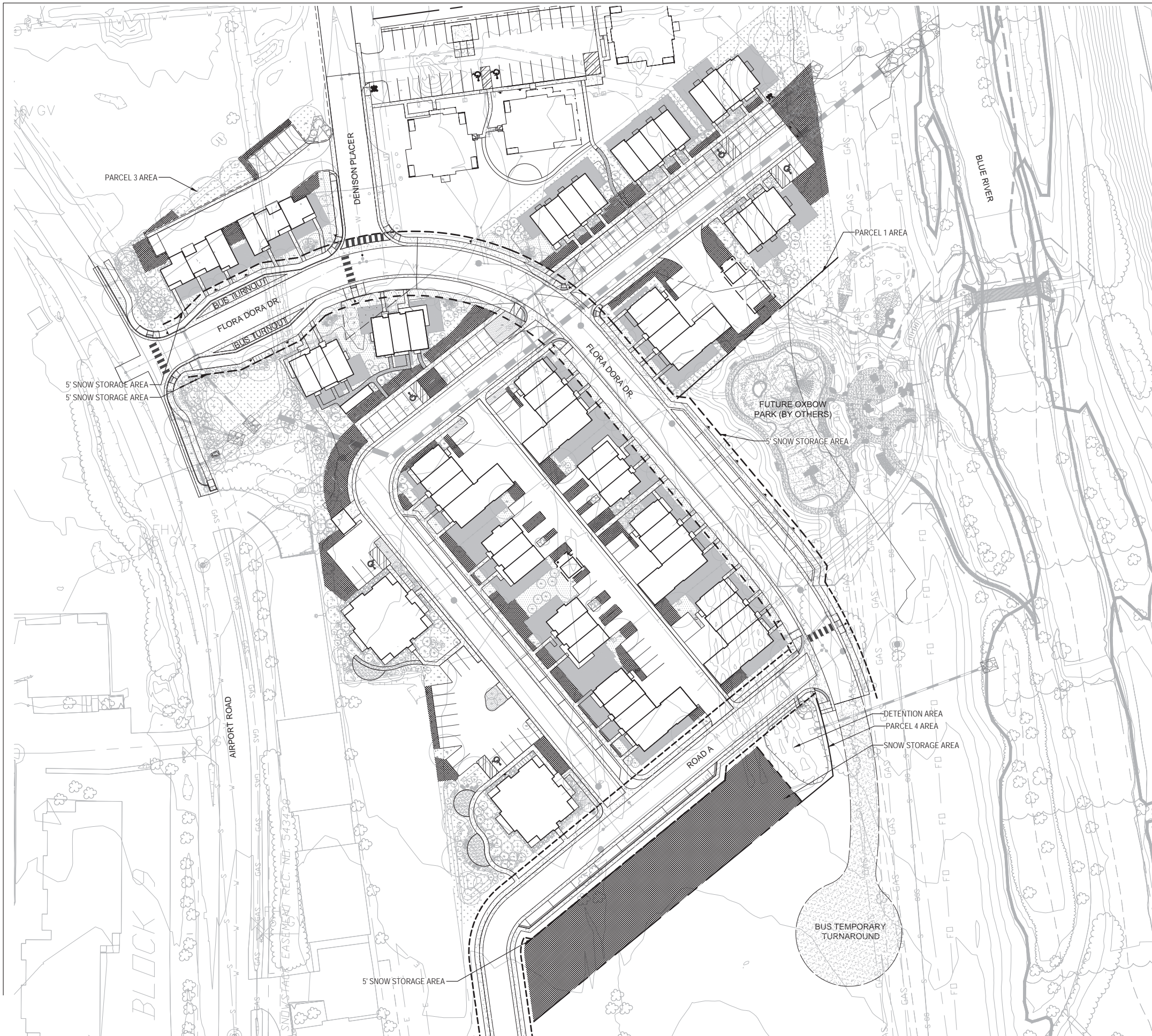
NOT FOR  
CONSTRUCTION

DATE:  
12/29/16 TOB PC  
01/30/17 TOB PC

SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
L-2.0





**LEGEND**

SNOW STORAGE DELINEATION		
PRIVATE YARD AREA		
SNOW STORAGE CALCULATIONS:		
SITE SQUARE FOOTAGE	SNOW STORAGE AREA (REQ.)	SNOW STORAGE AREA (PROVIDED)
PARCEL 1 HARDSCAPE AREA: 64,878 SF PARCEL 3 HARDSCAPE AREA: 5,498 SF PARCEL 4 HARDSCAPE AREA: 0 SF	PARCEL 1 AREA: 16,219.5 SF PARCEL 3 AREA: 1,374.5 SF PARCEL 4 AREA: 0 SF	PARCEL 1 AREA: 16,331 SF PARCEL 3 AREA: 1,436 SF PARCEL 4 AREA: 15,565 SF

NOTE: HARDSCAPE CALCULATIONS DO NOT INCLUDE FLORA DORA DRIVE RIGHT OF WAY, DENISON PLACER RIGHT OF WAY, ROAD A RIGHT OF WAY AND INTERNAL LANDSCAPE PATHS TO ACCESS LANDSCAPE AREAS.

**DENISON PLACER AFFORDABLE HOUSING**  
 BRECKENRIDGE, CO

OWNER:  
TOWN OF BRECKENRIDGE

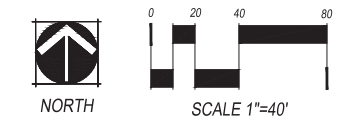
NOT FOR CONSTRUCTION

DATE:  
12/29/16 TOB PC  
01/30/17 TOB PC

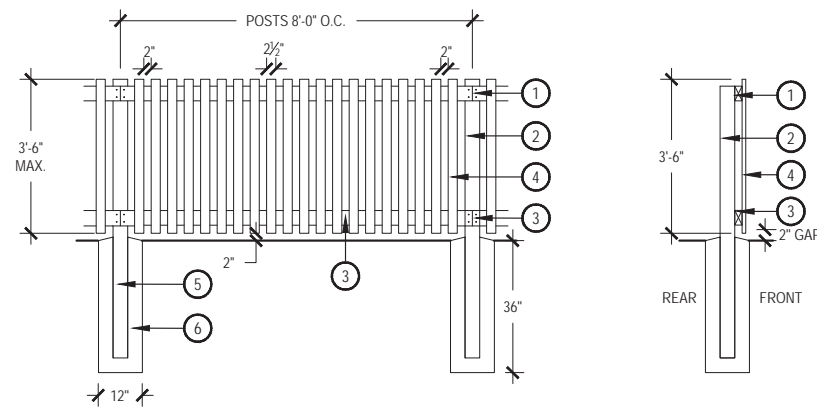
SHEET TITLE:  
SNOW STORAGE PLAN

SHEET NUMBER:  
L-3.0

NOTE:  
 ENCROACHMENT LICENSE AGREEMENTS FOR LANDSCAPE IMPROVEMENTS LOCATED IN THE UPPER BLUE SANITATION DISTRICT EASEMENT WILL BE COMPLETED PER DISTRICT STANDARDS. IMPROVEMENTS LOCATED IN THE EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER.

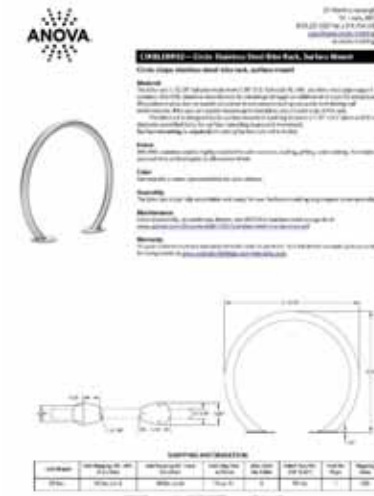






- 1 2"x4" TOP RAIL
- 2 4"x4" CEDAR POST
- 3 2"x4" BOTTOM RAIL
- 4 1"x 2 1/2" CEDAR PICKET
- 5 4"x4" CEDAR POST
- 6 CONCRETE FOOTING
- 7 REFER TO IMAGES TO THE LEFT FOR TOP OF FENCE OPTIONS

NOTES:  
 1. PICKET FENCING SHALL HAVE A MAXIMUM SOLID TO VOID RATIO OF 3:1.  
 2. PICKET FENCING SHALL BE DECORATIVE, CHARACTERIZED BY MILLED PICKET SHAPES THAT COMPLEMENT THE ARCHITECTURAL STYLE OF THE BUILDING.  
 3. FENCE SHALL HAVE A MAXIMUM HEIGHT OF 42" (3'-6")  
 4. FENCE MATERIALS SHALL BE WOOD POSTS, PICKETS, AND RAILS.  
 5. FENCE SHALL BE STAINED OR PAINTED.

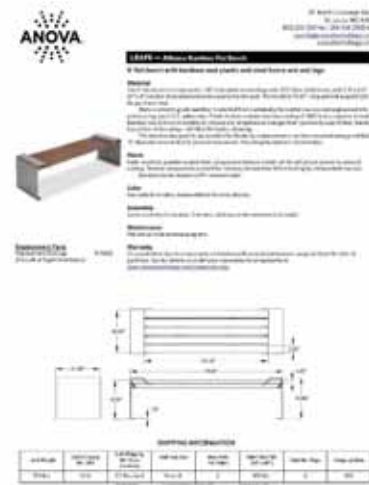


1 WOOD FENCE, TYP.

SCALE: 1/2" = 1'-0"

2 BIKE RACK, 'ANOVA'

SCALE: N.T.S.



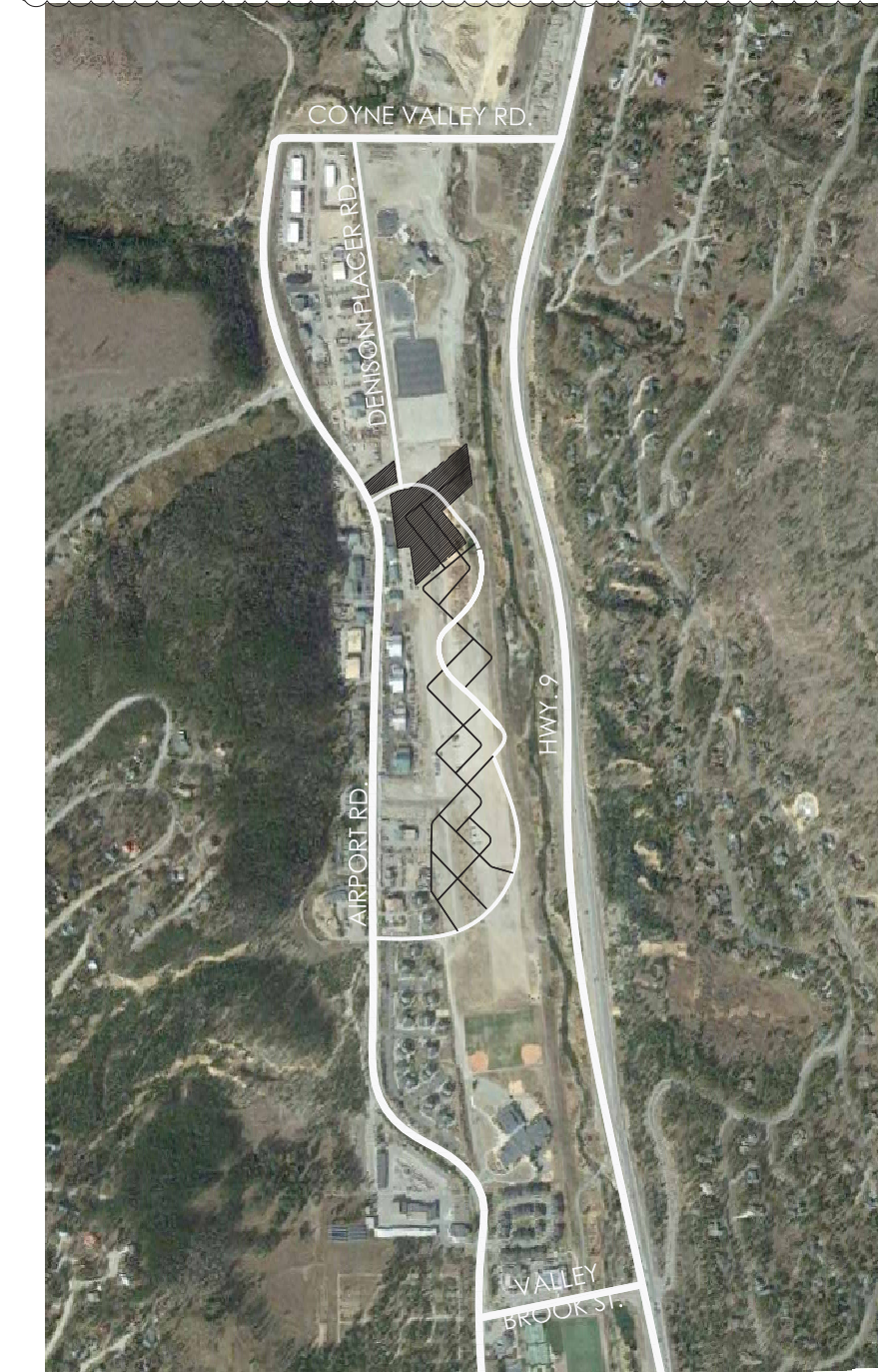
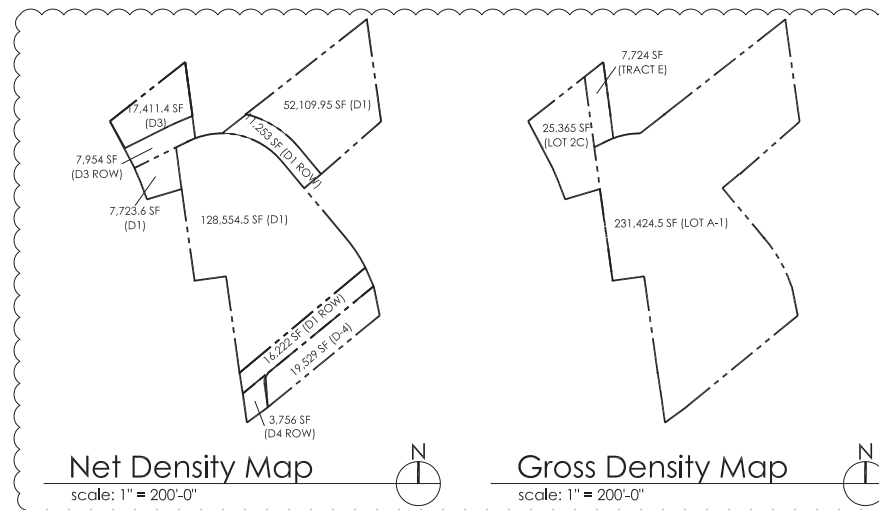
3 BENCH-BACKLESS, 'ANOVA'

SCALE: N.T.S.

GENERAL PROJECT INFORMATION				
<b>LEGAL DESCRIPTION</b>	Project contains portions of the following: Lot A-1, Runway Sub Resubdivision; Rock Pile Ranch Condo Resub (Aka Lot 2a) Lot 2c Block 10; Runway Sub Tract E - New Parcel D1: Includes a portion of Lot A-1 and a portion of Lot 2C - New Parcel D3: Includes a portion of Lot 2C and a portion of Tract E - New Parcel D4: Includes a portion of Lot A-1			
<b>LAND USE DISTRICT</b>	LUD 31			
<b>MASTER PLAN</b>	Block 11 Master plan			
<b>USES</b>	Multi family, single family attached dwellings, & associated accessory structures			
PROJECT DATA				
	D-1 Parcel	D-3 Parcel	D-4 Parcel	TOTAL PROJECT
<b>TOTAL RESIDENTIAL SQUARE FOOTAGE</b>	<b>73,337 sq. ft.</b>	<b>7,100 sq. ft.</b>	<b>0</b>	
TOWNHOMES (1 UNIT = 1,600 SF)	60,797 / 1,600 = 38	7,100 / 1,600 = 4.4	-	
APARTMENTS (1 UNIT = 1,200 SF)	12,540 / 1,200 = 10.5	-	-	
<b>TOTAL DENSITY</b>	<b>48.5 / 5 = 9.7 UPA</b>	<b>4.4 / .6 = 7.3 UPA</b>	<b>0</b>	<b>52.9 / 6.1 = 8.7 UPA</b>
COMMON AREA SQUARE FOOTAGE				
15% OF RESIDENTIAL AREA ALLOWED TO BE EXEMPT	11,000 sq. ft.			
ACTUAL COMMON AREA SF PROPOSED	1,686 sq. ft.			
COMMON AREA DENSITY COUNTED	<b>0 sq. ft.</b>			
TOTAL UNITS				
3 BEDROOM TOWNHOME UNITS	8			
2 BEDROOM TOWNHOME UNITS	35	2		
1 BEDROOM TOWNHOME UNITS	9	4		
1 BEDROOM APARTMENT UNITS	18			
<b>TOTAL</b>	<b>70</b>	<b>6</b>	<b>0</b>	
GAS FIREPLACES				
	30			
PARKING REQUIRED				
1.5 PER 1+ BEDROOM	105	9	0	114
PARKING PROVIDED				
ATTACHED GARAGE	33	6		
CARPORT	3			
HEAD IN SURFACE	68	6		
TANDEM SURFACE	21			
PARALLEL SURFACE	19		8	
<b>TOTAL</b>	<b>144</b>	<b>12</b>	<b>8</b>	<b>164</b>
LOT COVERAGE				
<b>GROSS LOT AREA</b>	215,863.05 SF (~5 ACRES)	25,365.5 SF (~.6 ACRES)	23,285 SF (~.5 ACRES)	264,513.5 SF (~6.1 ACRES)
<b>ROW (FLORADORA &amp; WALKER) - NOT PART OF NET CALCULATIONS</b>	27,475 SF	7,954 SF	3,756 SF	39,185 SF
<b>NET LOT AREA</b>	188,388.1 SF (~4.3 ACRES)	17,411.5 SF (~.4 ACRES)	19,529 SF (~.4 ACRES)	225,328.5 SF (~5.2 ACRES)
<b>BUILDING COVERAGE (OF NET LOT)</b>	38,503 sf (20%)	3,162 sf (18%)	0	41,665 SF (18.5% of NET)
<b>HARD SURFACE AREAS (OF NET LOT)</b>	79,185 sf (42%)	5,378 sf (31%)	0	84,563 SF (37.5% of NET)
<b>OPEN SPACE (OF NET LOT)</b>	70,700.1 sf (38%)	8,871.5 sf (51%)	19,529 100%	99,100.5 SF (44% of NET)

### Signature Block:

Upon the issuance of a development permit by the Town of Breckenridge, this site plan shall be binding upon the applicant, and the applicant's successors and assigns, until such time as the Town has issued a final certificate of occupancy or a certificate of compliance. Prior to the issuance of a final certificate of occupancy or certificate of compliance, this plan shall limit and control the issuance and validity of all building permits, and shall restrict and limit the construction location, use, occupancy and operation of all land and structures within this plan to all conditions, requirements, locations and limitations set forth herein and in the development permit for this site. Abandonment, withdrawal or amendment of this plan may be permitted only in accordance with the Breckenridge Development Code. This document represents the entire understanding between the applicant and the Town of Breckenridge with regard to development rights and density remaining on this site.



Vicinity Plan  
scale: 1" = 500'-0"

# Denison Affordable Housing

Breckenridge, CO

## Project Team

**Architect:**  
Coburn Development  
2560 28th St. # 200  
Boulder, Colorado  
p: 303-442-3351

**Owner:**  
Town of Breckenridge  
150 Ski Hill Rd.  
Breckenridge, Colorado  
p: 970-547-3112

**Civil Engineer:**  
Tetra Tech  
130 Ski Hill Rd. # 130  
Breckenridge, Colorado  
p: 970-453-6394

**Owner's Rep:**  
Corum Real Estate  
600 S. Cherry St. # 625  
Denver, Colorado  
p: 720-273-6031

**Landscape Architect:**  
Norris Design  
310 Main Street, Unit F  
Frisco, Colorado  
p: 970-485-4478

## Drawing Index

### SITE DEVELOPMENT:

- T1.0 Title & Data
- T1.1 Architectural Site Plan
- A0.0 Diagrams
- A0.1 Solar Studies
- A0.2 Site Aerial
- A0.3 Site Panoramics
- A0.4 Street Rendering
- A0.5 Street Elevations
- E001 Site Lighting Data
- E101 Site Lighting Plan

### CIVIL:

- C101 Civil Site Plan
- C102 Grading & Drainage Plan
- C103 Composite Utility Plan
- C110 Construction Phasing Plan

### LANDSCAPE:

- L0 Landscape Notes
- L1 Site Plan
- L2 Landscape Plan
- L3 Enlarged Plans
- L4 Snow Storage
- L5 Details

### ARCHITECTURE:

- A1.0 Building Type A1
- A2.0 Building Type A2
- A3.0 Building Type B
- A4.0 Building Type C1
- A5.0 Building Type C2
- A6.0 Building Type D1
- A6.1 Building Type D1
- A7.0 Building Type D2
- A7.1 Building Type D2
- A8.0 Building Type E
- A9.0 Building Type F3
- A9.1 Building Type F3
- A10 Carport - Trash - Storage
- A11 Trash - Storage
- A12 DELETED
- A13 Trash



3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DP1**  
BRECKENRIDGE, CO

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ISSUED/REVISION SCHEDULE			
DESCRIPTION	AUTHOR	CHECKED	DATE

FINAL  
DEVELOPMENT  
RESUBMITTAL 2  
2.16.2016

SHEET No.

**T1.0**  
**TITLE & DATA**





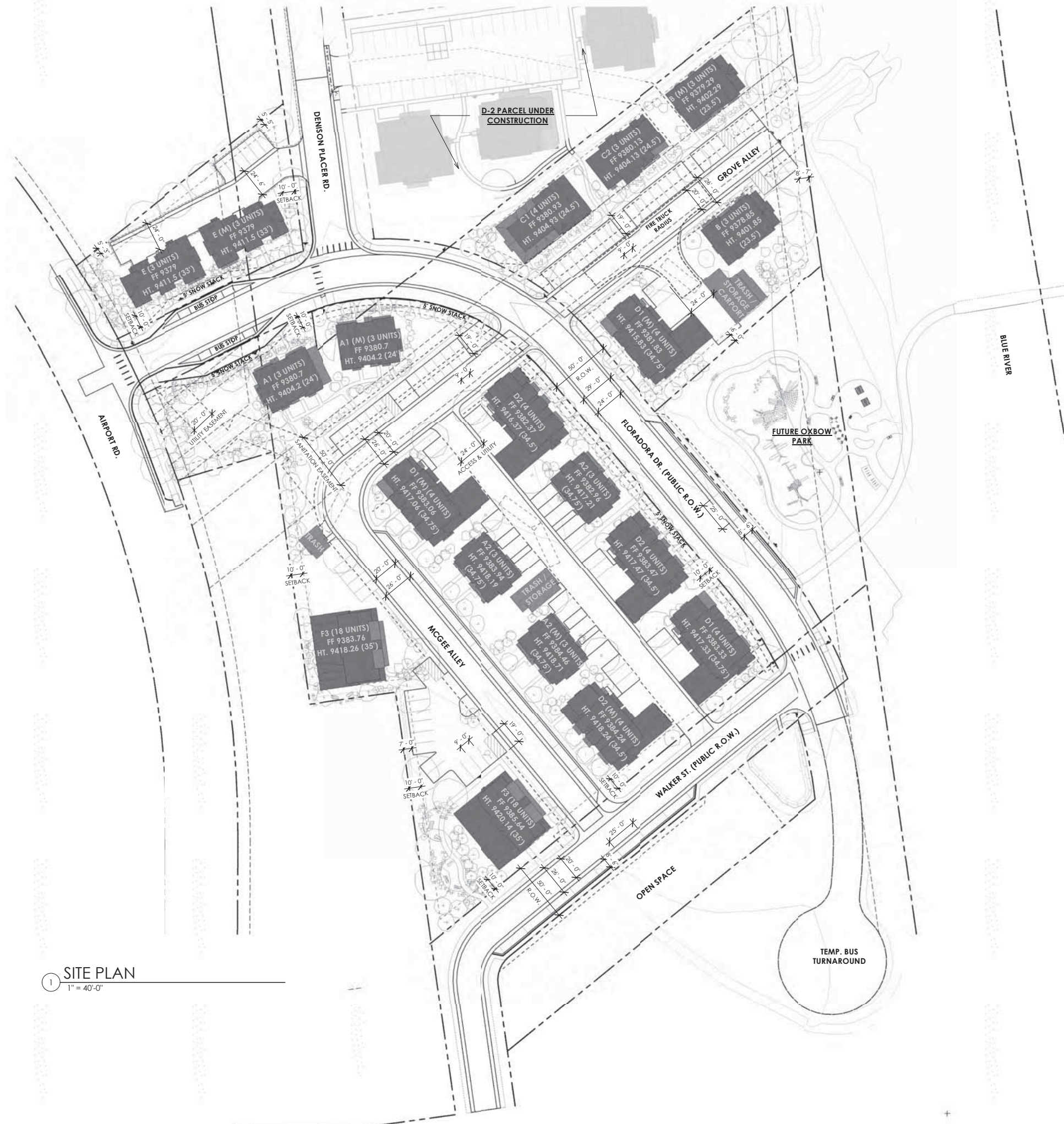
**COBURN**  
ARCHITECTURE

2560 28th Street, Suite 200  
Boulder, Colorado  
p: 303-442-3351

DP1

BRECKENRIDGE, CO

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1 SITE PLAN  
1" = 40'-0"

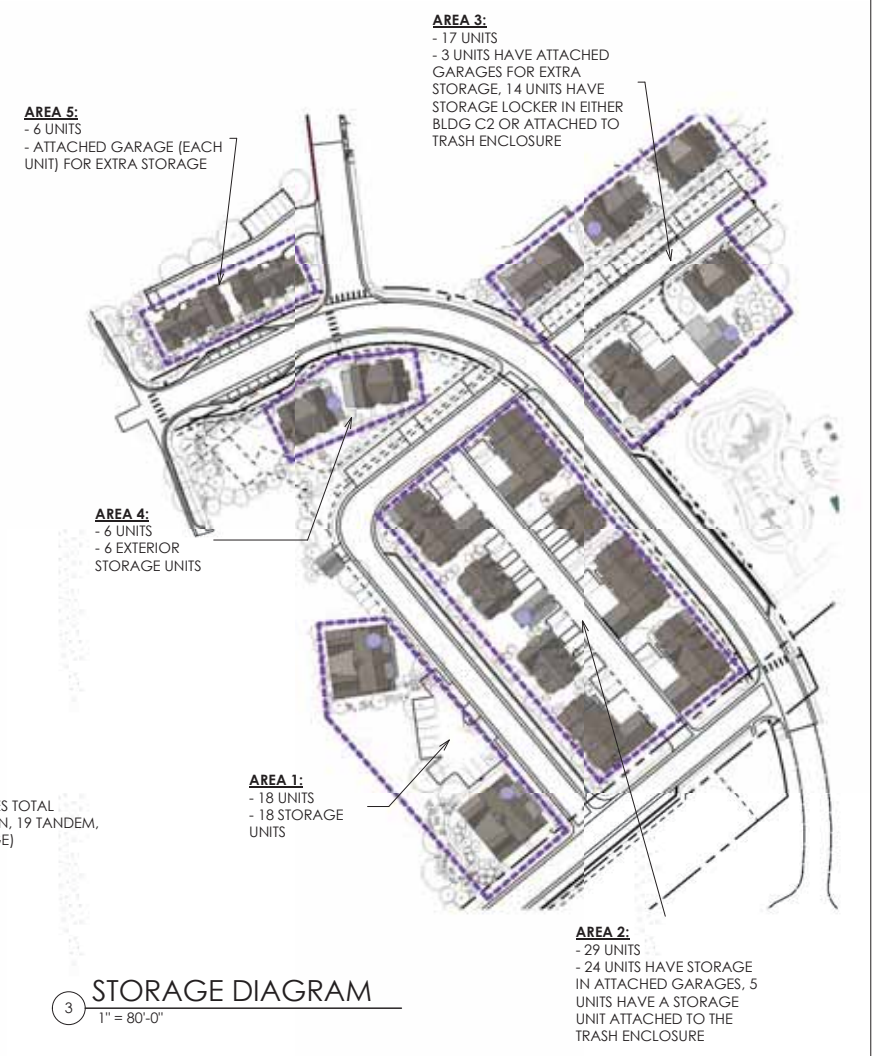
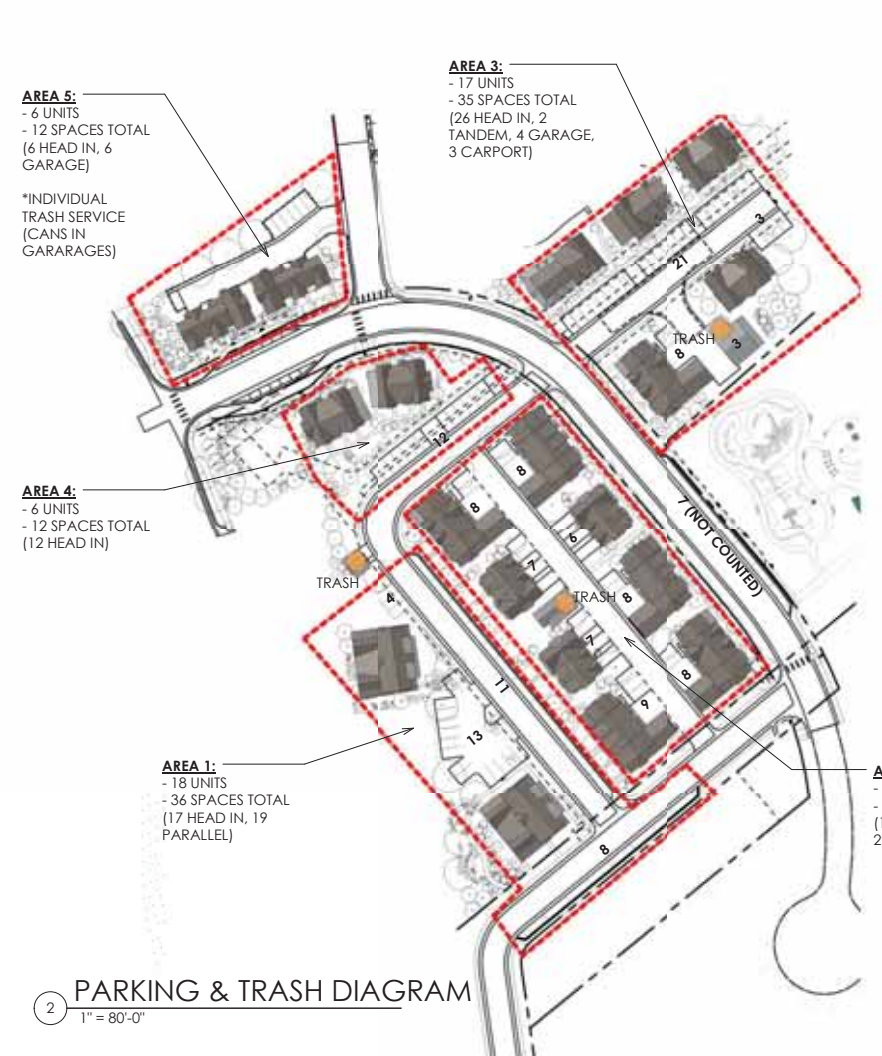
FINAL DEVELOPMENT  
REVIEW RESUBMITTAL 2

02.10.2017

SHEET No.

**T1.1**  
ARCHITECTURAL SITE  
PLAN





**COLORADO REVISED STATUTE (C.R.S. 9-5-101):**

- \* 72-85 Dwelling Units requires 36 points
- ANSI Type A Dwelling Unit (6 points): 6x6 = 36 points  
These are 1 bedroom apartment units
- ANSI Type B Multifamily Dwelling Unit (3 points): 3x2 = 6 points  
These are 3 bedroom townhomes with ground floor living, kitchen, sleeping, bath, & laundry
- ANSI Type B Visitable Ground Floor Dwelling Unit (1 point): 1x6 = 6 points  
These are 2 bedroom townhomes with ground floor accessible entry and bath

**TOTAL POINTS: 48**

**AREA 3:**  
- 17 UNITS  
- 3 UNITS HAVE ATTACHED GARAGES FOR EXTRA STORAGE, 14 UNITS HAVE STORAGE LOCKER IN EITHER BLDG C2 OR ATTACHED TO TRASH ENCLOSURE

**AREA 5:**  
- 6 UNITS  
- ATTACHED GARAGE (EACH UNIT) FOR EXTRA STORAGE

**AREA 5:**  
- 6 UNITS  
- 12 SPACES TOTAL (6 HEAD IN, 6 GARAGE)  
  
\*INDIVIDUAL TRASH SERVICE (CANS IN GARAGES)

**AREA 3:**  
- 17 UNITS  
- 35 SPACES TOTAL (26 HEAD IN, 2 TANDEM, 4 GARAGE, 3 CARPORT)

**AREA 4:**  
- 6 UNITS  
- 12 SPACES TOTAL (12 HEAD IN)

**AREA 1:**  
- 18 UNITS  
- 36 SPACES TOTAL (17 HEAD IN, 19 PARALLEL)

**AREA 2:**  
- 29 UNITS  
- 61 SPACES TOTAL (13 HEAD IN, 19 TANDEM, 29 GARAGE)

**AREA 4:**  
- 6 UNITS  
- 6 EXTERIOR STORAGE UNITS

**AREA 1:**  
- 18 UNITS  
- 18 STORAGE UNITS

**AREA 2:**  
- 29 UNITS  
- 24 UNITS HAVE STORAGE IN ATTACHED GARAGES, 5 UNITS HAVE A STORAGE UNIT ATTACHED TO THE TRASH ENCLOSURE

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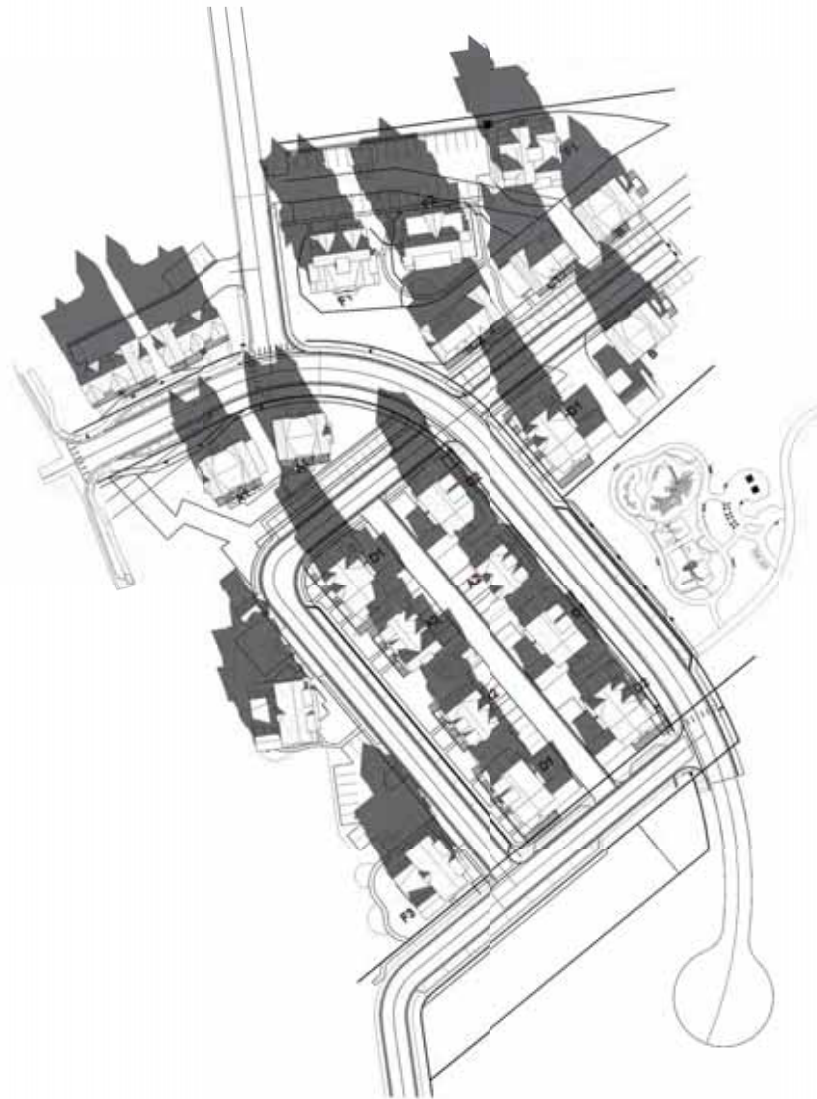
**COBURN**  
ARCHITECTURE

2560 28th Street, Suite 200  
Boulder, Colorado  
p: 303-442-3351

**DP1**

BRECKENRIDGE, CO

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① DECEMBER 21ST - 10 AM



② DECEMBER 21ST - 12 PM



③ DECEMBER 21ST - 2 PM



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View From Highway 9: South Bound  
scale: Not To Scale



View From Highway 9: North Bound  
scale: Not To Scale



3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DENISON  
AFFORDABLE  
HOUSING**  
BRECKENRIDGE, CO

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FINAL DEVELOPMENT  
REVIEW  
01.30.2017

SHEET No.

**A.03**  
**SITE PANORAMICS**





VIEW FROM FLORADORA DRIVE



**COBURN**  
ARCHITECTURE

3020 Carbon Place #203  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

**DENISON  
AFFORDABLE  
HOUSING**  
BRECKENRIDGE, CO

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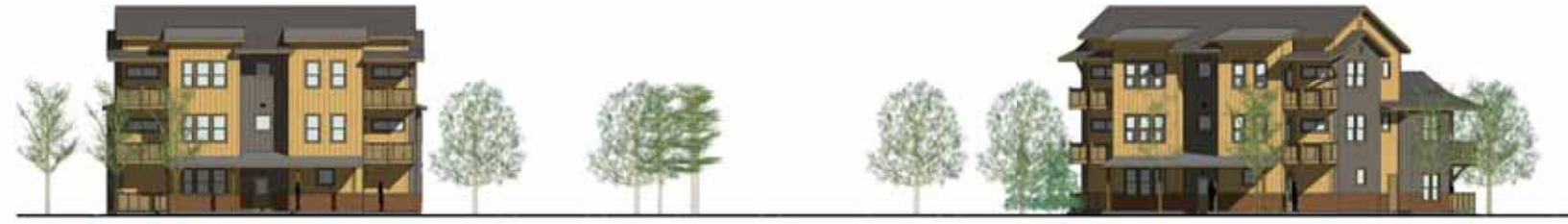
Building E- Color Scheme 13  
Building E- Color Scheme 13  
④ North View of Floradora Dr  
1/16" = 1'-0"



Building A1- Color Scheme 2  
Building A1- Color Scheme 1  
⑥ South View of Floradora  
1/16" = 1'-0"



Building C1- Color Scheme 7  
Building C2- Color Scheme 8  
Building B- Color Scheme 6  
② Northwest View of Grove St  
1/16" = 1'-0"



Building F3- Color Scheme 14  
Building F3- Color Scheme 14  
③ Southwest View of McGee Ln  
1/16" = 1'-0"



Building D1- Color Scheme 10  
Building A2- Color Scheme 4  
Building A2- Color Scheme 3  
Building D2- Color Scheme 11  
① East View of McGee Ln  
1/16" = 1'-0"



Building B- Color Scheme 5  
Building D1- Color Scheme 9  
Building D2- Color Scheme 11  
Building D1- Color Scheme 10  
⑦ Southeast View of Grove St  
1/16" = 1'-0"



Building D1- Color Scheme 10  
Building D2- Color Scheme 12  
Building A2- Color Scheme 3  
Building D2- Color Scheme 11  
⑧ Southwest View of Floradora  
1/16" = 1'-0"



## Project Information

Building Jurisdiction: Town of Breckenridge, CO  
 Applicable Codes: 2014 NEC  
 Utility Company: Xcel Energy  
 Electrical Service: 120/240 Volt, 1ø

## Drawing Index

E001 Electrical General Notes and Legend  
 E101 Electrical Site Lighting Plan

## Abbreviations

A, AMP Ampere  
 AC Alternating Current  
 AIC Ampere Interrupting Capacity  
 AFG Above Finished Grade  
 AHJ Authority Having Jurisdiction  
 AWG American Wire Gauge  
 C Conduit  
 CL Centerline  
 CKT Circuit  
 DIST Distribution  
 ELEC Electrical  
 EMT Electrical Metallic Tubing  
 FUT Future  
 G, GND Ground  
 MCB Main Circuit Breaker  
 MLO Main Lugs Only  
 NEC National Electrical Code  
 NEMA National Electrical Manufacturer's Association  
 NTS Not To Scale  
 PB Pull Box  
 Ø, PH Phase  
 PNL Panel  
 PVC Rigid Polyvinyl Chloride Conduit  
 PWR Power  
 RMC Galvanized Rigid Metal Conduit  
 TYP Typical  
 UNO Unless Noted Otherwise  
 V Volt  
 VA Volt Amperes  
 W Watt  
 WG Waterproof GFCI  
 WP Weatherproof  
 XFMR Transformer

## Legend

### Power Symbols

Dry Type Transformer  
 Current Transformer (CT)  
 Circuit Breaker (rating as shown on drawings)  
 Fusible Branch Switch Unit  
 600V Fuse Element  
 Grounding Electrode System  
 Normally Open Contact  
 Normally Closed Contact  
 Ground Rod in Ground Well  
 Junction Box  
 Utility Meter  
 Energy Monitoring & Power Meter  
 Surge Protective Device  
 Photocell  
 Timedclock  
 Lighting Contactor  
 Surface Mounted Panelboard  
 Flush Mounted Panelboard

### Conduit and Raceway Symbols

Conduit Concealed  
 Conduit Below Grade; in Slab On Grade; or Below Finished Floor  
 Indicates Conduit Turning Up  
 Indicates Conduit Turning Down  
 Conduit with Bushing  
 Conduit with Cap  
 Flexible Conduit  
 Conduit Homerun; Route to Indicated Panelboard, Switchboard, etc. P-1 = Panelboard and Branch Circuit Designation

## General Notes

### UNDERGROUND DUCT INSTALLATION:

- Underground Duct Application
  - Ducts for Electrical Cables More than 600 V: RNC, NEMA Type EPC-40-PVC, in concrete-encased duct bank unless otherwise indicated.
  - Ducts for Electrical Feeders 600 V and Less: RNC, NEMA Type EPC-40-PVC, in direct-buried duct bank unless otherwise indicated.
  - Ducts for Electrical Branch Circuits: RNC, NEMA Type EPC-40-PVC, in direct-buried duct bank unless otherwise indicated.
  - Underground Ducts Crossing Paved Paths, Walks, Driveways and Roadways: RNC, NEMA Type EPC-40-PVC, encased in reinforced concrete.
- Underground Enclosure Application
  - Handholes and Boxes for 600 V and Less:
    - Units in Roadways and Other Deliberate Traffic Paths: Precast concrete. AASHTO HB 17, H-10 or H-20 structural load rating.
    - Units in Driveway, Parking Lot, and Off-Roadway Locations, Subject to Occasional, Nondeliberate Loading by Heavy Vehicles: Precast concrete, AASHTO HB 17, H-20 or Polymer concrete, SCTE 77, Tier 15 structural load rating.
    - Units in Sidewalk and Similar Applications with a Safety Factor for Nondeliberate Loading by Vehicles: Polymer concrete units, SCTE 77, Tier 8 or Heavy-duty fiberglass units with polymer concrete frame and cover, SCTE 77, Tier 8 structural load rating.
    - Units Subject to Light-Duty Pedestrian Traffic Only: Fiberglass-reinforced polyester resin or High-density plastic, structurally tested according to SCTE 77 with 3000-lbf vertical loading.
    - Cover design load shall not exceed the design load of the handhole or box.

- Duct Installation
  - Install ducts according to NEMA TCB 2.
  - Slope: Pitch ducts a minimum slope of 1:300 down toward manholes and handholes and away from buildings and equipment. Slope ducts from a high point in runs between two manholes, to drain in both directions.
  - Curves and Bends: Use 5-degree angle couplings for small changes in direction. Use manufactured long sweep bends with a minimum radius of 48 inches both horizontally and vertically, at other locations unless otherwise indicated.
  - Joints: Use solvent-cemented joints in ducts and fittings and make watertight according to manufacturer's written instructions. Stagger couplings so those of adjacent ducts do not lie in same plane.
  - Duct Entrances to Manholes and Concrete and Polymer Concrete Handholes: Use end bells, spaced approximately 10 inches (250 mm) o.c. for 5-inch (125-mm) ducts, and vary proportionately for other duct sizes.

- Sealing: Provide temporary closure at terminations of ducts that have cables pulled. Seal spare ducts at terminations. Use sealing compound and plugs to withstand at least 15-psig hydrostatic pressure.
- Warning Tape: Bury warning tape approximately 12 inches above all concrete-encased ducts and duct banks. Align tape parallel to and within 3 inches of centerline of duct bank. Provide an additional warning tape for each 12-inch increment of duct-bank width over a nominal 18 inches. Space additional tapes 12 inches apart, horizontally.
- Magnetic Locating Tape: May be used in lieu of Warning Tape at owner's preference.
  - Plastic marking tape shall be acid and alkali-resistant polyethylene film, 6 inches wide with minimum thickness of 0.004 inch.
  - Tape shall have a minimum strength of 1,750 pounds per square inch (psi) lengthwise and 1,500 psi crosswise.
  - The tape shall be manufactured with integral wires, foil backing, or other means to enable detection by a metal detector when the tape is buried up to 3 feet deep.
  - The tape shall be of a type specifically manufactured for marking and locating underground utilities.
  - The metallic core of the tape shall be encased in a protective jacket or provided with other means to protect it from corrosion.
  - Tape color shall be as specified in the following table and shall bear a continuous printed inscription describing the specific utility. If two types of lines are in a trench, a separate marking tape shall be placed over each type of line. For example, a trench that has electric and water would have a red tape over the electric line and a blue tape over the water line.

- |        |                                        |
|--------|----------------------------------------|
| Red    | Electric                               |
| Blue   | Water systems                          |
| Green  | Sewage systems                         |
| Yellow | Liquified petroleum gas (non-magnetic) |

- Installation of concrete handholes and boxes:
  - Cast-in-Place Manhole Installation:
    - Finish interior surfaces with a smooth-troweled finish.
    - Windows for Future Duct Connections: Form and pour concrete knockout panels 1-1/2 to 2 inches thick, arranged as indicated.
  - Precast Concrete Handhole and Manhole Installation:
    - Comply with ASTM C 891 unless otherwise indicated.
    - Install units level and plumb and with orientation and depth coordinated with connecting ducts, to minimize bends and deflections required for proper entrances.
    - Unless otherwise indicated, support units on a level bed of crushed stone or gravel, graded from 1-inch sieve to No. 4 sieve and compacted to same density as adjacent undisturbed earth.

- Elevations:
  - Handhole Covers: In paved areas and trafficways, set surface flush with finished grade. Set covers of other handholes 1 inch above finished grade.

## General Notes (cont'd):

### EARTHWORK

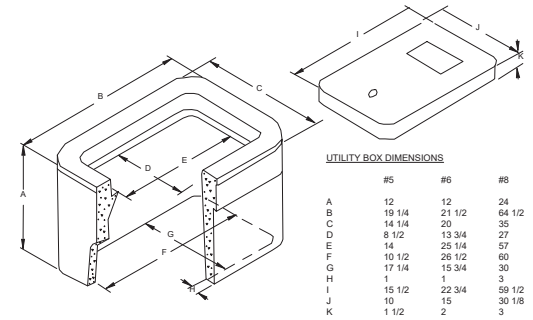
- General Earthwork:
  - Restore areas disturbed by trenching, storing of dirt, cable laying, and other work. Restore vegetation and include necessary topsoiling, fertilizing, liming, seeding, sodding, sprigging, and mulching.
  - Cut and patch existing pavement in the path of underground ducts and utility structures.
- Trenching:
  - Common Trench Backfill
    - Salvaged excavation materials are satisfactory for common trench backfill.
  - Unstable Material
    - Unstable material shall consist of materials too wet to properly support the utility pipe, conduit, or appurtenant structure. Should existing material not be considered satisfactory, it will be considered a differing site condition and handled under that clause of the *Terms and Conditions for Construction Subcontracts*.
  - Bedding and Initial Backfill
    - Bedding and initial backfill material shall consist of well-graded sand or silty sand composed of hard, tough, and durable sand particles, and shall contain not more than 10 percent, by weight of material, passing a No. 200 mesh sieve and 100 percent, by weight, passing the 1-inch sieve. Native materials meeting these requirements may be used.
    - Compact bedding before laying pipe. Bedding and initial backfill material shall be placed and compacted to a height of at least 4 inches below and 6 inches above the utility pipe or conduit. The backfill shall be brought up evenly on both sides of the pipe for the full length of the pipe using methods that will not disturb or damage the pipe. Care shall be taken to fill all voids and to ensure thorough compaction of the fill under the haunches of the pipe. Use only hand compaction equipment or other light equipment designed for use in trenches. Do not allow compaction equipment to contact and damage the pipe.
    - Backfill in the remainder of the trench, above the bedding and initial backfill material, shall be filled with satisfactory native material and compacted.
    - Trenches shall be backfilled so no more than 500 feet of trench is open at any one time. Spots to be surveyed can be kept open until that phase is complete and as-built information is obtained.

### CONDUCTORS

- Conductor sizes, type and quantity shall be furnished and installed as required by the drawings
- All wiring shall be installed in accordance with the applicable provision of the National Electrical Code and as specified herein and shown on the drawings.
  - Pull conductors together where more than one is being installed in a raceway.
  - Use pulling compound or lubricant, when necessary; compound must not deteriorate conductor and insulation.
  - Do not use a pulling means, including fish tape, cable or rope which can damage the raceway.
  - Keep conductor splices to a minimum.
  - Wire shall be installed only after all work that may cause injury is completed, such as the pouring of concrete.
- Connectors, lugs, taps and splices:
- All splicing shall be done in outlet boxes, junction boxes, etc.
  - Install splices and taps which have equivalent or better mechanical strength and insulation as the conductor.
  - Use splice and tap connectors which are compatible with the conductor material.
- Wire marking: wires shall be identified at the following locations: power and lighting branch circuits and feeders at fixtures, outlets, motors, etc. identify to indicate originating panel and circuit number.
- Install conductors in all raceways as required, unless otherwise noted, in a neat and workmanlike manner. All empty conduits shall have a #14 galvanized pull wire or nylon pullcord left in place for future use.
- Conductors shall be color coded in accordance with the NEC.
- At least eight (8) inches of slack wire shall be left in every outlet box whether it be in use or left for future use.

### EXTERIOR LUMINAIRES:

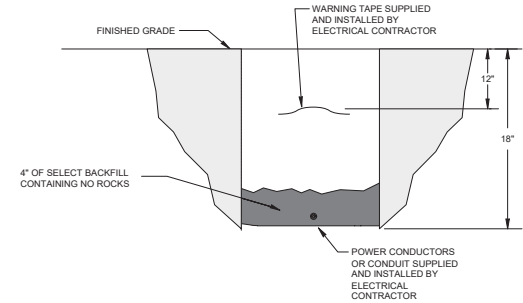
- Examination:
  - Verify foundations are ready to receive fixtures.
- Product:
  - Lighting fixtures described here are intended to indicate the general fixture type, which shall be as specified. All fixtures shall comply with the Town of Breckenridge requirements for this project.
- Installation:
  - Install concrete bases for lighting poles at locations as indicated on Drawings.
  - Install poles plumb. Install shims or double nuts to adjust plumb. Grout around each base.
  - Install lamps in each luminaire.
  - Bond and ground luminaries, metal accessories and metal poles in accordance with Section 16060.
  - Install lighting fixtures to types indicated, where shown and at indicated heights, in accordance with lighting fixture manufacturer's written instructions and with recognized industry practices, to ensure that fixtures comply with requirements and serve intended purposes. Comply with NEMA standards and requirements of National Electrical Code pertaining to installation of interior lighting fixtures and with applicable portions of NEC's standard of installation.
- Field Quality Control:
  - Upon completion of installation of lighting fixtures, and after circuitry has been energized, apply electrical energy to demonstrate capability and compliance with requirements. Where possible, correct malfunctioning units at site, then retest to demonstrate compliance, otherwise, remove and replace with new units and proceed with retesting.
  - Take measurements during night sky, without moon or with heavy overcast clouds effectively obscuring moon.
  - At date of substantial completion, replace lamps in lighting fixtures which are observed to be noticeably dimmed after contractor's use and testing, as judged by the engineer. furnish stock or replacement lamps amounting to 5% (but not less than one lamp in each case) of each type and size lamp used in each type fixture. deliver replacement stock as directed to owner's storage space.
- Adjusting:
  - Aim and adjust luminaries to provide illumination levels and distribution as indicated on Drawings.
- Cleaning:
  - Clean photometric control surfaces as recommended by manufacturer.
  - Clean finishes and touch up damage.
- Protection of finished work:
  - Protect installed fixtures from damage during remainder of construction period.
  - Relamp luminaries having failed lamps at Substantial Completion.



Utility box shall be a high density reinforced concrete box with non-setting shoulders positioned to maintain grade and facilitate back filling. Typical dimensions are shown above. Crushed rock in bottom of utility box shall meet ASTM C33, latest revision, size #67, 3/4" to #4. Rock quality to conform to quality specified in CDOT standard specifications for asphalt mixtures. Conduit set in bases shall extend 2" to 3" vertically from the top of the base. A plastic or metal conduit bushing shall be installed on the end of all conduit terminating within the base. Conduit shall enter through the sides of a pull box and shall clear the major portion of the box clear. Conduit entering utility boxes shall not extend more than 5" inside of utility box as measured along the longitudinal axis of the conduit. Conduit entering utility boxes shall be at least 6" above the crushed rock bottom of the service hole. Conduit shall be sloped to drain as appropriate. At all outlets, conduits shall enter from the direction of the run.

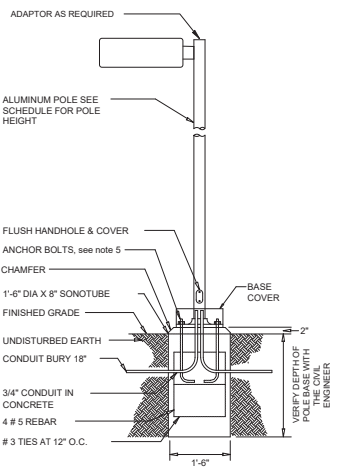
## 1 Utility Box Design

E001 Scale: N.T.S.



## 2 Trenching Details

E001 Scale: N.T.S.



- Notes:
- Light and pole varies, see site lighting plan for fixture type.
  - Coordinate base plate, cover, and anchor bolt spacing per manufacturer requirements.
  - The electrical contractor shall install "snake" or "canister" vibration dampers in all poles, obtain dampers from pole manufacturer for each aluminum pole.
  - Install waterproof breakaway fuseholder for use in roadway and street lighting.
  - Anchor bolts shall be 1"ø x 10" with a 4" hook (40°). For post-pour installations, use 1"ø all-thread with minimum 8" embedment using Simpson SET epoxy or equivalent.

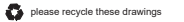
## 3 Typical Base Detail

E001 Scale: N.T.S.



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efficiency | sustainability | simplicity



# Dennison Affordable Housing

Breckenridge, Colorado

Project Number 2568  
 Engineered By Jared Marchand  
 Reviewed By Ben Preston, PE

Issued for Date  
 Construction Set 4-29-16  
 Rev 1: For Construction 6-15-16

Electrical General  
 Notes and Legend

# E001

Site Lighting

# Dennison Affordable Housing

Breckenridge, Colorado

Project Number 2568

Engineered By Jared Marchand

Reviewed By Ben Preston, PE

Issued for Date

Construction Set 4-29-16

Rev 1: For Construction 6-15-16

Electrical Site Lighting Plan

# E101

Site Lighting

Notes this sheet:

- 1 Provide metered main pedestal (5 total) per Xcel Energy's Standard for area lighting installation. Over-current protection to be maximum 20A, 2-pole, 240V per each circuit. Name next to pedestal indicates responsible party for meter bill.
- 2 Lighting control by others.
- 3 Fixture selection and layout illustrated on these plans designed by Architect.
- 4 Stub conduit to future construction phase designated location and provide a polypropylene pull ribbon accessible at both ends. Verify exact stub-out location with owner prior to rough-in. Cap and stake conduit stub out location and identify stub-out dimensions on as-built drawings for future interception.



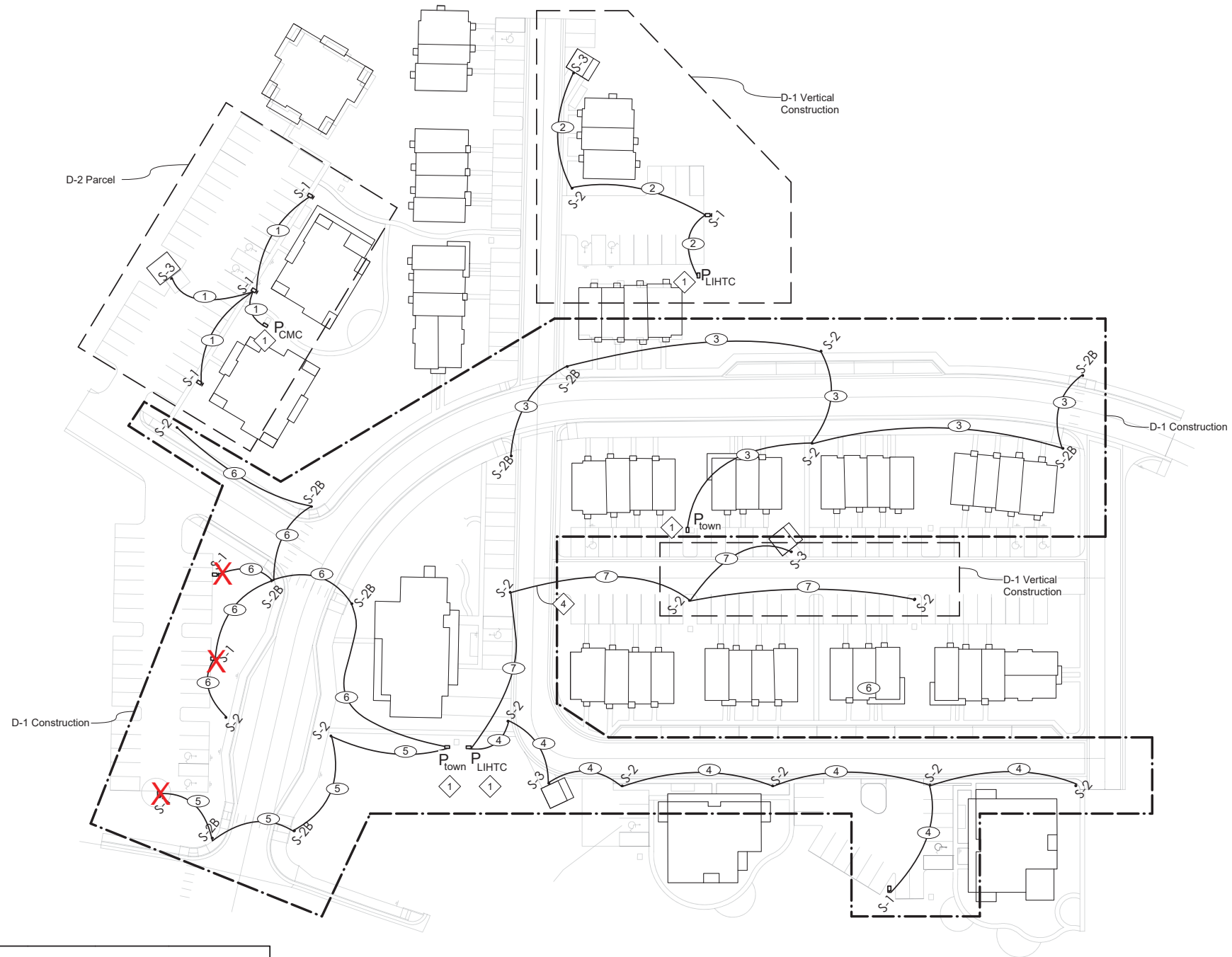
FIXTURE TYPE: S-3



FIXTURE TYPE: S-2



FIXTURE TYPE: S-1



### Exterior Fixture Schedule

Description	Specification	Lamping	Voltage	Mounting	Notes
S-1 Parking Lot Light	Streetworks GAN-AE-01-LED-U-T4FT	56W LED	240V	Pole Mounted	Full cut off fixture
S-2 Street Light	PROV-T3-32 LED 3K - 700 - BLK - LDL - PCA - T	ED-17 HPS, 70W	240V	Pole Mounted	Full cut off fixture
S-2B Crosswalk/Intersection Light	TBD per Town	TBD	240V	Pole Mounted	Full cut off fixture
S-3 Building Entry/Patio Sconce	Hi-Lite Mfg. Co. H-15106B	9W LED (Medium base)	240V	Wall Mounted	Full cut off fixture

Notes:  
1. Specification part numbers to be confirmed for 240V version.

### Feeder Schedule

Project Phase	Feeder No.	Feeder Conductors	Conduit (Sch. 40)	Phase	Voltage	Total Load (watts)	Distance (feet)	Voltage Drop (%)
D-2 Parcel	1	2-#8 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	600 W	240	0.6
D-1 Vertical	2	2-#8 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	450 W	215	0.4
	3	2-#6 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	900 W	645	1.5
	4	2-#6 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	1050 W	550	1.5
D-1 Construction	5	2-#8 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	600 W	250	0.6
	6	2-#6 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	1050 W	500	1.4
	7	2-#8 AWG AL, 1#10 AWG AL Gnd.	1/2"	1Ø-2W+G	240V	600 W	500	1.2

Notes:  
1. See General Notes regarding installation of conductors.

### 1 Electrical Site Lighting Plan

E101 Scale: 1" = 40'

