



PLANNING COMMISSION AGENDA

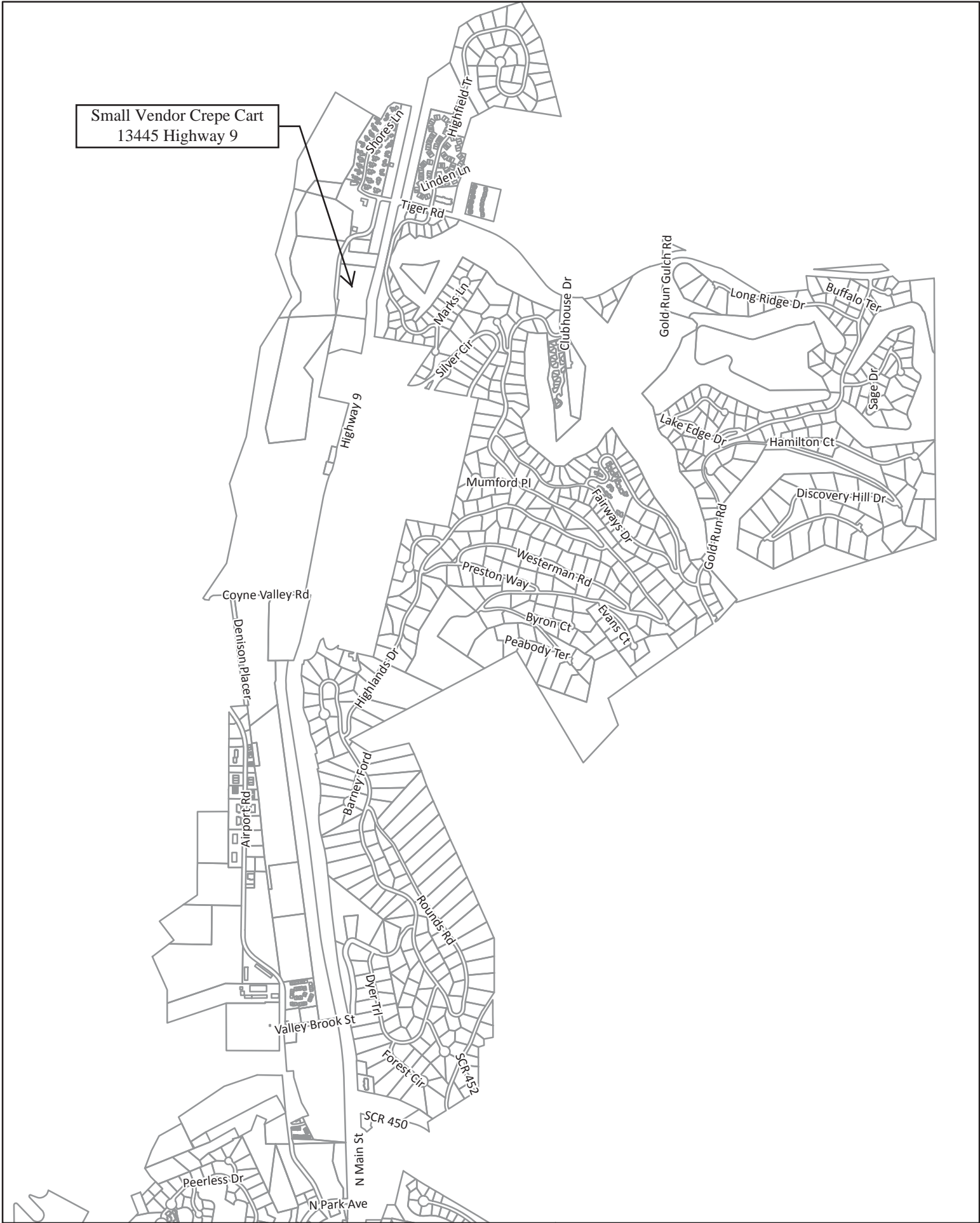
Tuesday, May 17, 2016
Breckenridge Council Chambers
150 Ski Hill Road

7:00pm	<i>Call To Order Of The May 17 Planning Commission Meeting; 7:00 P.M. Roll Call</i>	
	<i>Location Map</i>	2
	<i>Approval Of Minutes</i>	4
	<i>Approval Of Agenda</i>	
7:05pm	<i>Consent Calendar</i>	8
	1. Small Vendor Crepe Cart (CL) PL-2016-0133; 13445 Highway 9	
7:15pm	<i>Final Hearings</i>	18
	1. McAdoo Corner Lot 5 Mixed Use (MM) PL-2016-0048; 209 South Ridge Street	
8:15pm	<i>Town Project Hearings</i>	39
	1. Ice Arena Roof (CK) PL-2016-0143; 189 Boreas Pass Road	
8:30pm	<i>Adjournment</i>	

For further information, please contact the Planning Department at 970/453-3160.

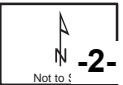
***The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**

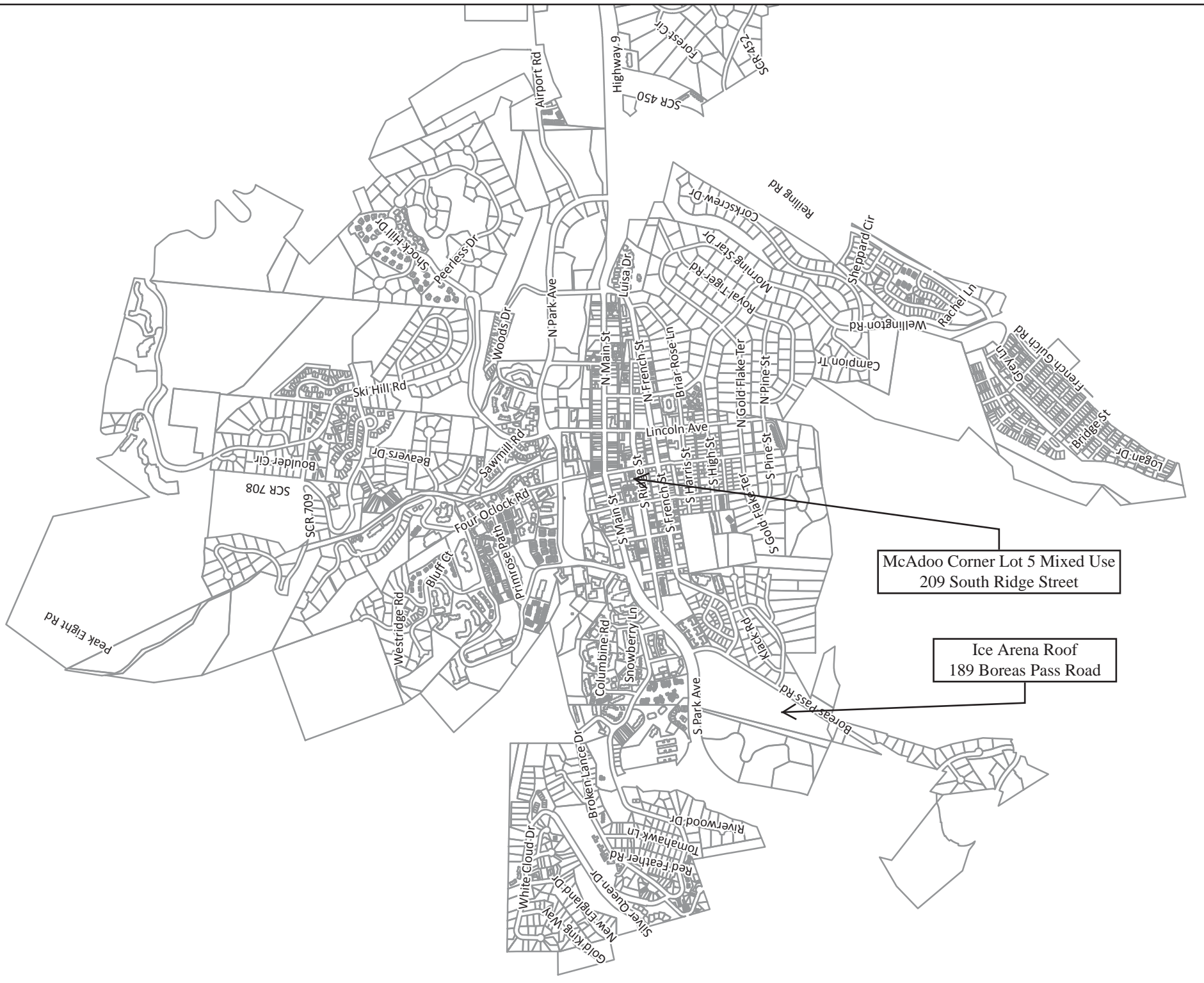
Small Vendor Crepe Cart
13445 Highway 9



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Town of Breckenridge and Summit County governments
assume no responsibility for the accuracy of the data, and
use of the product for any purpose is at user's sole risk.

Breckenridge North





McAdoo Corner Lot 5 Mixed Use
209 South Ridge Street

Ice Arena Roof
189 Boreas Pass Road



printed 3/25/2016
Town of Breckenridge and Summit County governments
assume no responsibility for the accuracy of the data, and
use of the product for any purpose is at user's sole risk.

Breckenridge South



PLANNING COMMISSION MEETING

The meeting was called to order at 7:02 pm by Vice Chair Schroder.

ROLL CALL

Gretchen Dudney Dave Pringle Christie Mathews-Leidal
Dan Schroder Mike Giller Jim Lamb
Chair Schuman was absent.

APPROVAL OF MINUTES

With no changes, the April 19, 2016, Planning Commission Minutes were approved as presented.

APPROVAL OF AGENDA

Ms. Puester announced that the Ten Mile Suites Unit 2 Change of Use, PL-2016-0042, 520 South French Street, had been continued to a future meeting at the request of the Applicant. In addition, there will be no Town Council Report.

With no other changes, the May 5, 2016, Planning Commission Agenda was approved as presented.

CONSENT CALENDAR ITEMS:

- 1) Shock Hill Overlook Lot 5 Duplex (MM) PL-2016-0098, 52 & 48 West Point Drive
- 2) Lances West Condo Exterior Remodel (MM) PL-2015-0058, 144, 146, 148 Broken Lance Drive

Mr. Pringle made a motion to call up the Lances West Condo Exterior Remodel, PL-2015-0058, 144, 146, 148 Broken Lance Drive. Mr. Lamb seconded, and the motion was carried unanimously (6-0).

Ms. Puester gave a presentation on behalf of Mr. Mosher for the Lances West Condo Exterior Remodel, PL-2015-0058, 144, 146, 148 Broken Lance Drive. The existing building is proposed to have replacements of siding, windows, and accents. Less than 25% stucco on all elevations which is already existing.

Commissioner Questions / Comments:

Mr. Pringle: Over 3 stories. Does it have to have non-combustible materials for 3 plus stories? I wonder how much change. (Ms. Puester: It is all natural materials proposed. If they were to switch to cementitious siding, they would still meet code as they have natural rock base and wood shake siding. If it were switched out, it would pass our Development Code.) When we wrote the code, it might not be what the Commission wanted to see outside of the historic district. I remember there was one condo that we went to court with. (Ms. Puester: On that particular court case application, they did not have any stone base and it was 100% cementitious siding on some of the elevations.)

Ms. Leidal: Do we have a limit for cementitious siding? (Ms. Puester: It was actually put into place when we wrote code in reaction to defensible space and firewise community concerns about eight years ago. Cementitious was allowed without negative points as long as there are some natural materials on each elevation because there was a desire to promote building with firewise materials.)

Mr. Pringle: It has been my observation that much more of these will be coming along, and I am concerned that we are not going to end up with the product that we wanted. I am cautious how much cementitious siding we allow. (Mr. Truckey: Read the code section on cementitious siding.) (Mr. Grosshuesch: Point taken for a later discussion if there is interest but on this application, cementitious siding is not proposed.)

Mr. Schroder opened the hearing for public comment. There was no public comment, and the hearing was closed.

Commissioner Questions / Comments:

Mr. Pringle: I do think it is a wonderful project.

Mr. Schroder: I looked at the application and saw that it passed. I support this project as presented.

Ms. Dudney made a motion to approve the Lances West Condo Exterior Remodel, PL-2015-0058, 144, 146, 148 Broken Lance Drive, with the presented point analysis showing a passing score of zero (0) points and the presented findings and conditions. Mr. Pringle seconded, and the motion was carried unanimously (6-0).

With no additional requests for call up, the remainder of the Consent Calendar was approved as presented.

FINAL HEARINGS:

1) Cucumber Creek Estates Master Plan Modification (CK) PL-2016-0017, Grandview Drive

Mr. Kulick presented an application to create a master plan for a 9.24 acre property to provide for the development of 6, approximately ½ acre single-family lots, 5 clustered single-family lots and 12 duplex residence. Currently the site has 22 SFEs; the master plan proposes to utilize all 22 of those SFEs and 1 additional SFE to be transferred to the site.

There are no changes to the Master Plan Proposal and the associated Land Use Master Site Plan and Illustrative Site Plan from the March 15, 2016 Preliminary Hearing. Since the Preliminary Hearing the applicants have agreed to acquire one TDR for the property to bring the allowable density from 22 SFEs to 23 SFEs. Additionally, the applicants have agreed to modify the labeling on the Land Use Master Site Plan, Illustrative Site Plan and Master Plan Notes so they are consistent with the language in the Town Code. To satisfy this agreement, condition number 8 has been added which requires the applicants to change all references of "Townhomes" and "Cottages" to "Duplexes" and "Cluster Single-Family Homes" prior to recordation of the master plan.

The Planning Commission had no concerns and the following policies remain unchanged from the preliminary hearing: Master Plan (39/A) and Land Use (2/A and 2/R); Special Areas (27/R); Site and Environmental Design (7/R); Placement of Structures (9/A and 9/R); Building Height (6/A and 6/R); Circulation (16/R); Architectural Compatibility (5/A and 5/R); and Landscaping (22/A and 22/R).

Regarding Density/ Intensity (3/A and 3/R) / Mass (4/R): Condition #1 has been added requiring a TDR purchase should the Commission support the added density.

Regarding Drainage and Stormwater Management (27/A and 27/R): Staff recommended to eliminate Condition #12 since the language in the recorded drainage easement on adjacent Tract A (open space owned by the Town of Breckenridge) addresses the construction and maintenance of the drainage and detention ponds. The Commission agreed with Staff's recommendation.

Point Analysis: Staff conducted a final point analysis and found all absolute policies have been met. The proposal warrants no negative or positive points for a total passing point analysis of zero (0) points.

Planning Staff recommended approval of the presented Point Analysis for Cucumber Creek Estates Master Plan, PL-2016-0017, located on Grandview Drive, Tract B, Christie Heights Subdivision # 2, with a passing score of zero (0) points. Planning Staff recommended approval of the Cucumber Creek Estates Master Plan, PL-2016-0017, located on Grandview Drive, Tract B, Christie Heights Subdivision # 2, with the modified Findings and Conditions where condition #12 is eliminated.

Commissioner Questions / Comments:

Mr. Pringle: When you say they are buying density from the TDR bank and exempt from negative points

- because the total less than 5% above the allowed density, that means they are only exempt from negative points pertaining to Policy 3R. (Mr. Kulick: Correct.)
- Ms. Leidal: I am trying to figure out when you will purchase that extra density? (Mr. Kulick: The applicants will need to purchase the TDR prior to recording the master plan. Upon approval of the master plan the applicants have up to 3 years to have it recorded unless they get extended vesting.) (Mr. Tim Casey, Applicant: We are going to buy the density now.)
- Mr. Giller: Last time I spoke to the cul de sac. I do encourage you to make that cul de sac not any larger than you have to. (Mr. Casey: Don't want to oversize it. Will refine it at subdivision.)
- Mr. Pringle: What about the at grade trail crossing? (Mr. Kulick: It is our understanding during the previous reviews that various crossing design such as bridges and tunnels were considered but due to tight site constraints were determined to be infeasible. Considering the proximity adjacent to the Nordic Center, we believe it is feasible for people to start or end on the other side of a low-volume road.) I was asking if this is the right time. (Mr. Kulick: I think you can comment now, and we can look at it at subdivision. The previously approved subdivision had the same crossing and did not propose any kind of unique crossing and no negative points assigned for that design.)

Mr. Schroder opened the hearing for public comment. There was no public comment and the hearing was closed.

Commissioner Final Questions / Comments:

- Mr. Giller: Just my previous note on the cul de sac.
- Ms. Christie: I support this project.
- Mr. Lamb: I support this project.
- Mr. Pringle: I support this project. My comment is that I know the nordic crossing is something that will be a big change for folks and the sooner we talk about it and get it out there, the better it will be. Applicant should be thinking more about it.
- Ms. Dudney: I support this project.
- Mr. Schroder: I support this project.

Mr. Pringle made a motion to approve the point analysis for the Cucumber Creek Estates Master Plan Modification, PL-2016-0017, Grandview Drive, showing a passing point analysis of zero (0) points. Ms. Leidal seconded and the motion was carried unanimously (6-0).

Mr. Pringle made a motion to approve the Cucumber Creek Estates Master Plan Modification, PL-2016-0017, Grandview Drive, with the revised findings and conditions, specifically eliminating condition #12. (Ms. Leidal seconded, and the motion was carried unanimously (6-0).

COMBINED HEARINGS:

1. Ten Mile Suites Unit 2 Change of Use (MM) PL-2016-0042, 520 South French Street
(Continued to a future Planning Commission Meeting at the request of the Applicant.)

OTHER MATTERS:

- 1) Class D Majors Approved for Q1, 2016 (JP) (Memo Only)
- 2) Old Enyeart Place Update: Ms. Puester updated the Commission on the Old Enyeart Place, currently under construction at 112 South Harris Street. The historic fabric has been labeled and removed from the site during construction. It will be brought back to the site and reassembled, with no loss of historic fabric. We have had some calls regarding this so wanted you to be aware.
- 3) Ms Puester reminded the Commissioners they needed to sign the acknowledgement form for the Anti-Violence and Workplace Threats policy that had previously been emailed to each of them by Ms. Brewster.

- 4) Mr. Grosshuesch informed the Commission that there has not been a Town Council representative assigned to attend the Planning Commission meetings.

ADJOURNMENT:

The meeting was adjourned at 7:41 pm.

Dan Schroder, Vice Chair

Planning Commission Staff Report

Subject: Small Vendor Crepe Cart
(Class C minor; PL-2016-0133)

Proposal: To operate a small vendor food cart near the front entrance of the Breckenridge Building Center. The cart would serve breakfast, lunch, and dessert crepes to the employees and customers at the BBC. The hours of operation would be between 8:00 am to 2:00 pm, Monday through Friday.

Date: May 11, 2016 (For meeting of May 17, 2016)

Project Manager: Chapin LaChance, Planner II

Applicant: Geoffrey Henshaw, Applicant

Owner: B&D Limited Partnership, Owner of BBC

Address: 13445 Highway 9

Legal Description: Unsubdivided (TR 6-77 Sec 18 Qtr 3 8.590 Acres)

Land Use District: 6: Commercial or Office, 25 UPA, per approved Master Plan

Site Conditions: There is an existing business at this location-- the Breckenridge Building Center. The lot is approximately 8.5 acres, and the vendor cart is proposed towards the center of the lot, on a small patio area between the lumber barn and the retail center of the Breckenridge Building Center.

Adjacent Uses: South: Retail
North: Office
West: Industrial
East: Open Space

Staff Comments

This proposal falls under Policy 49 (Absolute) Vendor Carts adopted May 2, 2012.

This vendor cart is classified as a small vendor cart per Section 9-1-5 Definitions as it is less than 40 square feet and will be removed from the site and properly stored out of public view each day.

Land Use (Policies 2/A & 2/R): Vendor carts are only allowed in Land Use Districts that allow or recommend commercial uses. This property is within Land Use District 6, which recommends commercial and office uses.

Staff believes this proposal meets the guidelines established for Land Use District 6 and the approved master plan and has no concerns.

Per Policy 49: *B. Vendor Cart General Design Standards: Large vendor carts and small vendor carts are subject to the following general design standards:*

(2) General Design Standards Outside The Conservation District: The following general design standards apply as indicated to large vendor carts and small vendor carts located outside of the conservation district:

a. All large vendor carts and small vendor carts must be constructed of professional quality for use as a food vending cart.

The vendor cart proposed to be used is pre-manufactured specifically for the vending of fast food.

b. All large vendor carts and small vendor carts must be in good working condition, with no broken or rusty parts. All exterior materials must be kept clean and in neat appearance. No rusty or broken metal or chipped or broken wood is allowed. Metal and wood may be used as exterior finishes. The gauge, detailing and finish of all metal surfaces shall be suitable for long term use in an exterior location. All exposed edges must be finished. All metal used in carts shall have concealed seams and overlapping joints. All wood details and finishes must be suitable for long wear in an exterior location. All detailing, construction and finishing shall be done in a craftsmanlike manner. No rough cut, unfinished or distressed woods will be considered as finish materials.

The attached photographs of the exact cart to be used show that the cart is in good working condition, and materials, surfaces, seams and edges are in acceptable condition. The exterior of the cart is constructed of metal, which is painted a bright green color. Per Section 9-1-19-49A (B)(3)(a)(10):

10. Exterior colors used on a large vendor cart must meet the town's color chroma palette. The color of all large vending carts shall be selected from the "Munsell Book Of Color" on file with the community development department. The maximum chroma for the exterior of a large vending cart shall be 4 (unless red or yellow are used, then a maximum chroma of 6) and a maximum value of 6.

As the proposed cart is classified as a small vendor cart, not a large vendor cart, the section above regarding color chroma is not applicable. The purpose for regulating color chroma for large vendor carts is that large vendor carts are more permanent in nature and not removed from site each night which is required of a small vendor cart. There is no restriction for color chroma imposed on small vendor carts. Staff has no concerns.

Policy 49 has design and operational standards as listed below for small vendor carts. Staff comments follow.

1. Small vendor carts must be located on private property.

This vendor cart is proposed on private property.

2. Small vendor carts may only sell food and beverages in forms suited for immediate consumption.

This vendor will sell only breakfast, lunch and dessert crepes for immediate consumption.

3. Small vendor carts must be removed from its site and properly stored out of public view each day.

The vendor cart will be stored behind the Breckenridge Building Center building out of public view each evening.

4. If a small vendor cart is connected to the Town's municipal water system, the owner must pay water plant investment fees. If a small vendor cart is connected to the Town's municipal water system, it must also be connected to the public sanitation system.

This vendor cart will not be connected to the Town's water system.

5. *If a small vendor cart uses a commissary kitchen, the commissary kitchen must be identified on the vendor cart permit application. If the commissary kitchen changes during the term of the permit, the small vendor cart permit holder must notify the Director within 10 days of the date of the change.*

The vendor cart will be using All Season Catering as a commissary kitchen, located at 1744 Airport Road. However, the applicant was recently informed that this commissary will no longer be available after June 1, 2016. The applicant agrees to notify staff within 10 days of the change to a new commissary kitchen.

6. *Umbrellas may be used on a small vendor cart. Tents on or at small vendor carts are prohibited.*
The applicant does not propose to use an umbrella or tent of any kind.

7. *All signage must be attached to small vendor cart. Free standing signage on or for a small vendor cart is prohibited.*

Applicant will comply with this signage requirement.

8. *All storage boxes, cartons, and coolers used in connection with the operation of a small vendor cart shall be hidden from public view.*

All storage will be hidden from public view.

9. *No decks, tables, or outdoor seating are allowed for a small vendor cart, except one seat for the operator of the small vendor cart.*

No deck, tables, or outdoor seating for customers is proposed for this small vendor cart.

10. *No external piping or plumbing is allowed.*

There is no external piping or plumbing on this vendor cart.

11. *Extension cords may be used for a small vendor cart only if the cord is not located in an area where the public walks, and the placement of the extension cord does not create a public safety hazard.*

The cart will be supplied with a power cord behind the cart, out of the public's view and away from any pedestrian circulation.

12. *Small vendor cart must be on wheels.*

This small vendor cart is a trailer on wheels.

13. *Owners of small vendor carts must obtain and maintain in full force and effect throughout the permit a valid Town of Breckenridge business license.*

The owner and operator of the cart agrees to obtain a valid business license, pending the approval of this vending cart application by the Town.

14. *All signs for a small vendor cart shall be subject to the Breckenridge Sign Code. The maximum allowed sign area for a small vendor cart is 66% of the linear frontage of the cart.*

Applicant will comply with this sign requirement and pull a separate sign permit.

15. *The operator of a small vendor cart shall comply with all applicable health regulations with respect to the operation of the small vendor cart.*

The applicant shall comply with Summit County Environmental Health regulations.

Staff has no concerns with this application and finds that it complies with Policy 49/A.

Staff Recommendation

The Planning Department has approved the Small Vendor Crepe Cart, PL-2016-0133, located at 13445 Highway 9, with the attached findings and conditions.

TOWN OF BRECKENRIDGE

Small Vendor Food Cart at the BBC
Unsubdivided, TR 6-77 Sec 18 Qtr 3, 8.590 Acres
13445 Highway 9
PL-2016-0133

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **May 11, 2016** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 17, 2016** as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are tape-recorded.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires one (1) year from date of issuance, on **May 25, 2017**. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be one (1) year, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Applicant shall meet Policy 9-1-5 49A Small Vendor Carts.
6. Applicant shall remove the small vendor cart from its site and properly store it out of public view at the end of each business day.
7. All signage must be attached to the small vendor cart. Free standing signage on or for a small vendor cart is prohibited. A separate sign permit is required for this small vendor cart.
8. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any operational or material deviation from the approved plans and specifications without Town approval as a modification may result in the Town legal action under the Town's development regulations.
9. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of compliance for the project covered by this permit. The determination of whether a certificate of compliance

should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

10. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
11. This permit is for the operation of one (1) mobile vendor trailer operated by the applicant. The applicant has permission to place this mobile food trailer at 13445 Highway 9.
12. The applicant shall place the Small Vendor Food Cart on private property in a manner that allows not only safe passage of other vehicles and pedestrians, but also safe access to the mobile vendor cart by potential customers.
13. Applicant shall provide a trash receptacle and recycling on the vending trailer for wrappers and other trash generated by the sale of food or drinks. Applicant shall be responsible for keeping the area around the vendor cart free of trash and litter. The applicant shall not place trash in the Town's trash receptacles.
14. Applicant shall maintain adequate access to and from nearby buildings and sidewalks. Applicant's vendor cart shall not be placed in a way to obstruct pedestrian traffic or to become a nuisance.
15. This permit is for one temporary vendor cart to be used only for the sale of food and beverages in a form suitable for immediate consumption and approved by the Summit County Environmental Health Department. The vendor cart approved by this permit shall not be used for the sale of products, goods or services other than food in a form suited for immediate consumption. The cart shall not be used for the distribution of commercial handbills.
16. Fencing and outdoor seating must be approved by Town Planning Staff.
17. All items available for sale shall be contained within the vendor cart.
- 18. If the commissary kitchen changes during the term of the permit, the small vendor cart permit holder must notify Planning Dept. staff within 10 days of the date of the change.**

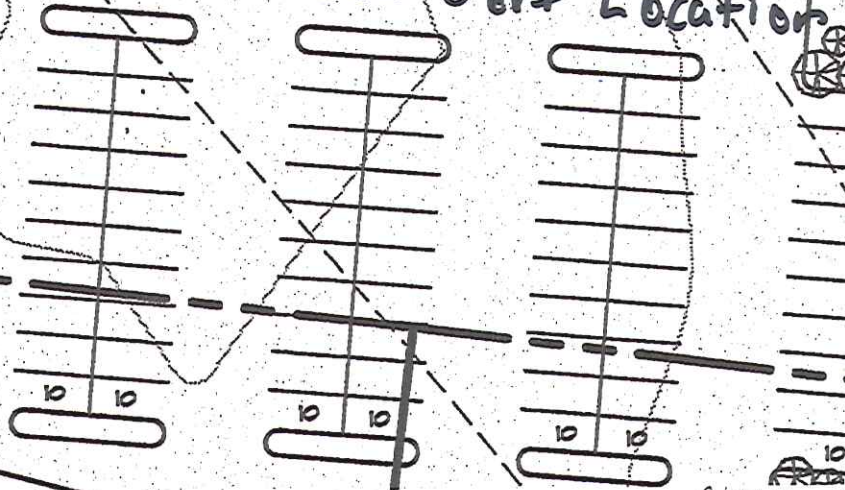
LOT 1

RECEIVED
APR 26 2016
TOWN OF BRECKENRIDGE
PLANNING DEPT

LUMBER
BARN

RETAIL
CENTER

Vendor Cart Location



CROSS = 12

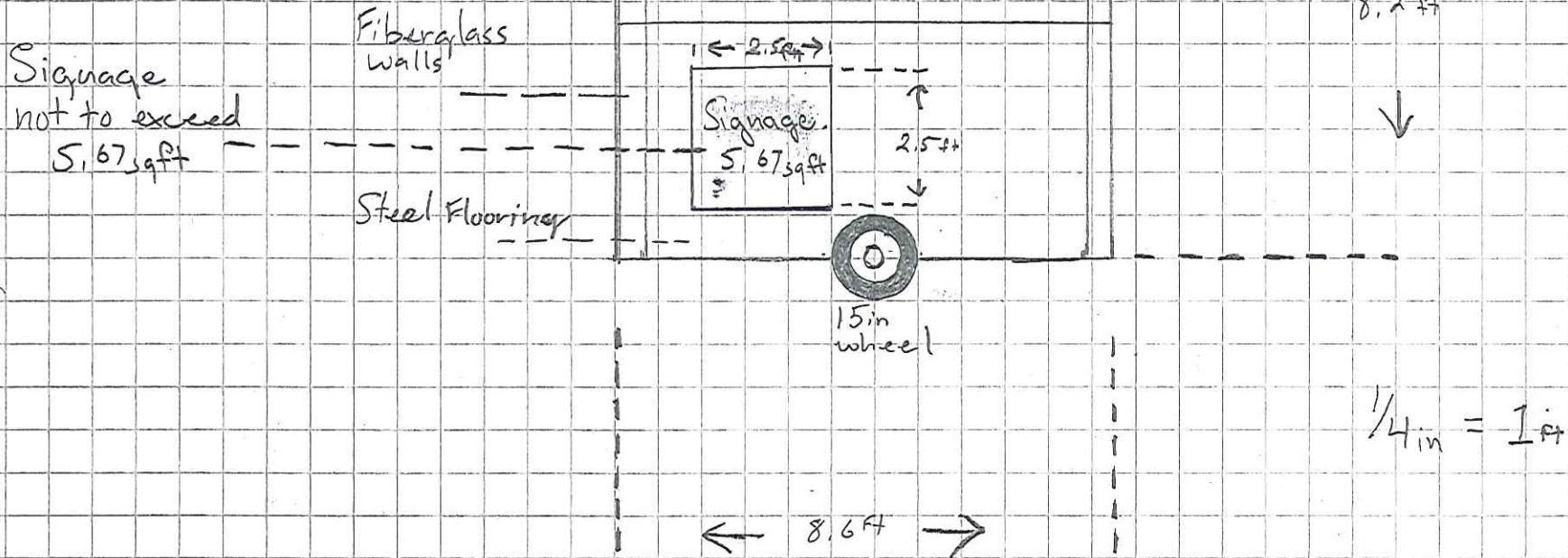
9232

Henshaw
Geoffrey

Proposal of food
cart at BBC.

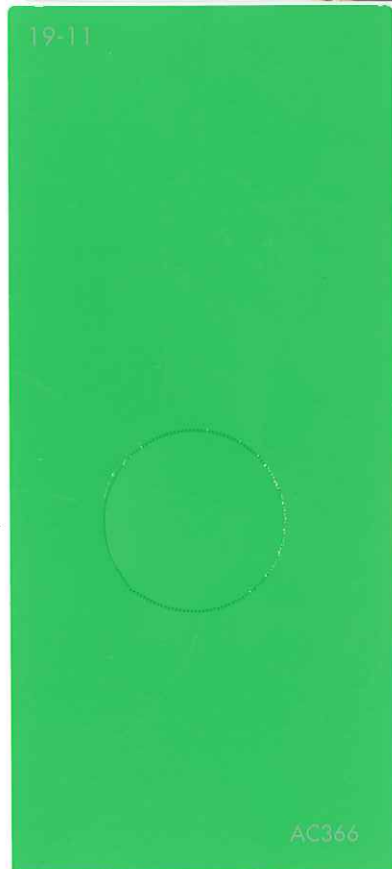
Sheet Metal Roof

Elevation



RECEIVED
APR 26 2016

TOWN OF BRECKENRIDGE
PLANNING DEPT.



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19-11

zzyituo.en.alibaba.com



Specification of fast food cart:

GL-FR220D	L(cm)	W(cm)	H(cm)	volume(CBM)
Cart Body Dimensions:	220	160	210	--
Dimensions on Trailer:	340	160	210	--
Package dimensions:	225	165	210	11

$220 \times 160 \times 210 = 7'3" \times 5'3" = 39'6"$

- 1) Voltage:220v&110v
- 2) Cart dimension:220x160x210cm
- 3) Dimension with trailer: 340x160x210cm
- 4) Cart Weight: 500 Kg

Navigation icons: back, forward, home, list, star



Planning Commission Staff Report

Subject: Lot 5, McAdoo Corner
(Class A Development, Final Hearing; PL-2016-0048)

Proposal: To construct a new mixed-use building consisting of a restaurant and apartment on Lot 5 of McAdoo Corner Subdivision. The total allowed density is subject to the McAdoo Corner Master Plan.

Project Manager: Michael Mosher, Planner III

Date: May 10, 2016 (for the meeting of May 17, 2016)

Applicant/Owner: Breckenridge Wild Cat, LLC - Jeremy Fischer

Agent: Janet Sutterley, Architect

Address: 209 S. Ridge Street

Legal Description: Lot 5, McAdoo Corner

Lot 5 Site Area: 0.063 acres (2,730 sq. ft.)

Land Use District: 18.2: Commercial and Residential (Subject to the McAdoo Corner Master Plan)

Historic District: South End Residential Historic District Character Area #3

Site Conditions: The property is basically flat. Lot 5 is vacant with weeds and one, poor quality, 11-inch caliper lodgepole pine is located near the back of the envelope for Lot 5. The McAdoo Corner Subdivision consists of three historic structures and two vacant lots - Lot 5 and Lot 1. *(Staff notes the McAdoo Master Plan includes the Tin Shop and Dee's Cabin across the alley.)* There is an existing utility pedestal in the north east corner of Lot 5. There are two sewer connections located at the northwest corner of the platted envelope.

Adjacent Uses: North: Lot 4, McAbee House (Arts and Craft's Store)
West: Barney Ford House Museum
South: Lot 6, Abbett Addition (currently Ridge Street Dental)
East: Twist Restaurant

Density: Allowed per Master Plan: 3,375 sq. ft.
Proposed density: 3,375 sq. ft.
(750 sq. ft. Apartment & 2,625 sq. ft. Restaurant)

Above Ground: Maximum allowed for the entire Master Plan
@ 12 UPA (negative points were incurred with the
MST PLN approval): 7,710 sq. ft.

Density: Proposed: 2,493 sq. ft. (Lot 5)

Mass:	Allowed under Master Plan:	3,375 sq. ft.
	Proposed mass:	2,493 sq. ft.
Height (measured to the mean):	Recommended:	23'-0"
	Maximum allowed w/ negative pts:	26'-0"
	Proposed:	22'-6"
Parking:	Required:	
	Restaurant Use (3.5/1,000 SF):	6.10 spaces
	Apartment Use (1.1/1,000 SF):	1.00 spaces (on-site)
	Proposed (on-site):	5.00 spaces (per Master Plan)
	To be purchased in Parking Service Area:	2.10 spaces
Snowstack:	Required:	183 sq. ft.
	Proposed:	184 sq. ft.
Setbacks:	Within platted building envelope	

Item History

Five historic structures, on both sides of the "Barney Ford" alley, have been combined with two building sites to form an enclave known as McAdoo Corner. The McAdoo Corner Master Plan (PC#2005073) was approved by the Town Council on June 28, 2005. The final Point Analysis assigned negative eighteen (-18) points accessed under Policy 5/R for going over the suggested 9 UPA, up to 12 UPA. Positive four (+4) points were awarded for Policy 22/R on-site landscaping and positive fifteen (+15) points under Policy 24/R for onsite restoration and landmarking of five historic structures. The Master Plan passed with a total point assessment of positive one (+1) point. All applicable Absolute Policies were met.

Since points were assigned under certain Development Code policies with the McAdoo Master Plan, it affects all point assignments associated with future development on this subdivision. For example, no new positive points may be awarded for landscaping or historic preservation and the above ground density is allowed to be no greater than 12 UPA.

A previous development permit for a restaurant on Lot 5 had been approved and later renewed on August 7, 2012 (PC#2009009) but has expired. This application has a new design specifically addressing the revised Policy 80A of the Handbook of Design Standards for the Historic and Conservation Districts.

This application was heard by the Planning Commission on April 19. The Commission was generally supportive with a few comments for clarification on the metal column and railing details and point analysis.

Changes since the April 19, 2016 Planning Commission Meeting

Submitted on drawings:

1. Added exterior guardrail (upper level residence) to elevations with detail on plans.
2. L-1: made existing trees the correct size & what actually exists. Moved aspen tree.
3. A-1: added required snow stack and 326 square feet of heated sidewalk.
4. Revised color board with white and old oily stain only.

5. Revised colored elevations.
6. Detail for the metal porch posts and metal entry truss.

Staff Comments

9-1-19-2: Policy 2 (Absolute/Relative) Land Use Guidelines: The properties lie within Land Use District 18-2 which allows both residential and commercial uses. Both uses were also approved with the Master Plan. Staff has no concerns with the proposed uses.

9-1-19-3: Policy 3 (Absolute/Relative) Density/Intensity and 9-1-19-4: Policy 4 (Absolute and Relative) Mass: The total allowed building density (above and below ground combined) for the entire Master Plan is 15,141 square feet. (As noted above, negative points were awarded with the Master Plan for exceeding 9 UPA.) The individual sites were allotted specific square footages. Lot 5 is assigned a maximum of 3,375 square feet regardless of use.

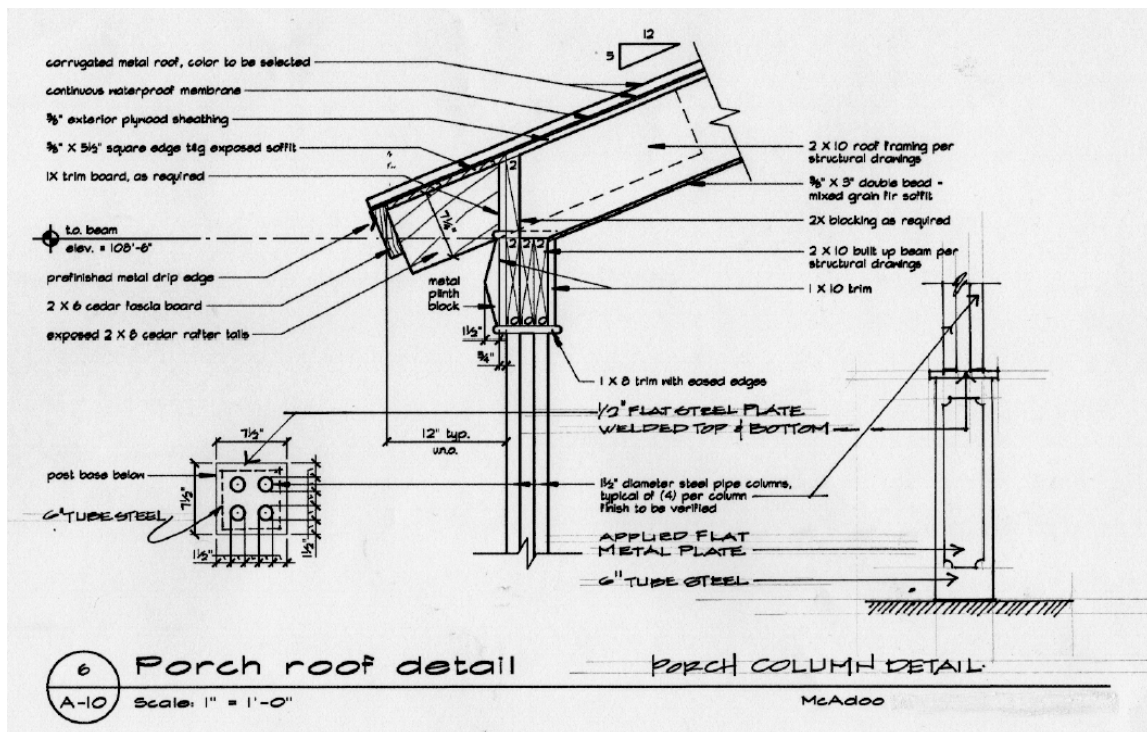
The plans show that the total allowed density is being met and the above ground density and mass numbers are less than the allowed. We have no concerns.

9-1-19-24: Policy 24 (Relative) Social Community:

3 x (-5/+5) Conservation District: Within the conservation district, which contains the historic district, compatibility of a proposed project with the surrounding area and the district as a whole is of the highest priority. Within this district, the preservation and rehabilitation of any historic structure or any "town designated landmark" or "federally designated landmark" on the site (as defined in chapter 11 of this title) is the primary goal. Any action which is in conflict with this primary goal or the "handbook of design standards" is strongly discouraged, while the preservation of the town's historic fiber and compliance with the historic district design standards is strongly encouraged. Applications concerning development adjacent to Main Street are the most critical under this policy.

At the previous meeting, we heard support from the Commission that the submitted plans met:

1. Priority Policy 80 - Building Scale
 2. Priority Policy 80/A - The Connector
 3. Priority Policy 164 - Façade Width
 4. Priority Policy 146 and Priority Policy 165 - Materials (Siding)
 5. Priority Policy 63 - Added metal columns and Entry Truss at porch (detail below)*
 6. Priority Policy 163 - Scale/Height of building compared to others on the block
- - At the last meeting we heard full support for the metal columns, entry “truss”, and the upper deck railing at the rear apartment. Detail for the column is provided below. Each column is compromised of four smaller columns grouped together on a metal base. The metal base shares detailing similar to many wood column bases seen in the Historic District. We have no concerns.



The general design of the building and placement on the site abides with the related design standards and policies of the *Handbook of Design Standards for the Historic and Conservation Districts* and the *Handbook of Design Standards for South End Residential Historic District Character Area #3*. Staff has no concerns.

9-1-19-18: Policy 18 (Absolute and Relative) Parking: For the proposed uses and square footage, 7.10 parking spaces are required. Five (5) on-site spaces are being provided with the Master Plan. This means the remaining 2.10 parking spaces may be purchased in the Town's Parking Service Area. This has been added as a Condition of Approval. The 2005 Master Plan approved the location of the parking spaces for the entire McAdoo Corner Subdivision off the alley. Parking spots 9-13, as shown on the site plan, are designated for Lot 5. In association with this application, the applicant will be paving these spaces and the McAdoo HOA will be paving the remaining spaces. We have no concerns.

9-1-19-13: (Absolute and Relative) Snow Removal and Storage: The plans show that all of the hardscape walkway areas will be snow-melted. Negative points are suggested under Policy 33/R below. The area of the parking associated with this lot is 730 square feet. Twenty-five percent (25%) of this area is required for snow stacking. The plans are showing that 184 square feet of snow stacking is being provided east of the snow melted walkway (see site plan). We have no concerns.

9-1-19-33R: Policy 33 (Relative) Energy Conservation: The drawings show that the areas being heated for snow melt total less than 500 square feet. Based on past precedent, this warrants negative one (-1) point under this policy. Positive points may be obtained by having an IECC energy analysis prepared by a registered design professional. The percent energy saved beyond the IECC Minimum Standards to obtain positive one (+1) point is 10% to 19%. (Note: For commercial structures, an IECC analysis is required, not HERS which is solely for residential).

Based on past experience, the architect believes that the project will meet or exceed the 10%-19% required for one (+1) positive point. A draft analysis prepared by a design professional will be provided at the

evening meeting on May 19th. (Staff notes: If the report is not ready by the evening meeting, this application will be pulled from the agenda as the application would then not pass a point analysis.) A Condition of Approval has been added requiring a final report prior to Certificate of Occupancy to ensure that the percentage required has been met.

9-1-19-22: Policy 22 Absolute and Relative) Landscaping: The master plan called for the entire property to have five (5) conifers, (1) 6' – 8', (2) 8' – 10', (2) 12' – 15', either Colorado Blue Spruce or Engelmann Spruce; thirteen (13) deciduous trees either Aspen or Narrow Leaf Cottonwood 2" to 3" minimum caliper at least 50% multi-stem; and, twenty (20) shrubs of Alpine currant, Juniper, Potentilla, and Cotoneaster. Positive points were already allocated for the landscaping plan during the Master Plan approval process. Lot 1 of the McAdoo Corner is still undeveloped.

At the last hearing, Staff heard some confusion regarding possible removal of existing trees on the property. The only tree being removed will be the lodgepole that lies within the development area. All of the existing trees surrounding the development area are to remain.

The submitted landscaping plan for Lot 5 is showing:

- (3) Engelmann Spruce and Blue Spruce 8-10 feet tall
- (2) Spring Snow Crabapple 1.5-2 inch caliper
- (1) Narrow Leaf Cottonwood 2-3 inch caliper
- (7) Aspen (50% multi-stem) 2-3 inch caliper
- (9) Native shrubs 5-gal.

There are no trees at 12-15 feet tall for this development as required by the Master Plan. But, Lot 1 is still undeveloped and these trees will need to be provided on that lot at time of development. The proposed landscaping plan meets the requirements of the Master Plan. Per the South End Residential Character Area design standards, Policies 171 and 172, Evergreen trees should be planted in the front yard and Cottonwood trees along the street edge. Staff has no concerns

Employee Housing (24/R): As a commercial project of less than 5,000 square feet, this project is not required to provide employee housing, and none is proposed.

Utilities Infrastructure (26/A & 26/R; 28/A): All the utilities are on the property, in the Ridge Street right of way, or along the alleyway. We have no concerns.

Point Analysis (Section: 9-1-17-3): The proposal has complied with all absolute policies of the Development Code. One negative (-1) point and one positive (+1) point have been suggested under policy 33/R related to the snow melted areas and obtaining an IECC report showing an energy savings of 10% to 19%. We are showing a passing score of zero (0) points.

Staff Recommendation

The applicant and agent have worked with Staff closely to bring this proposal into compliance with the Development Code and the Handbooks of Design Standards for the Historic and Conservation Districts. Key design issues were discussed and the changes addressed with this submittal.

Staff has no specific questions for the Commission with this final review. However, we welcome any comments and questions.

Planning Staff recommends approval of the attached Point Analysis for the Lot 5, McAdoo Corner, PL-2016-0048), showing a passing score of zero (+0) points.

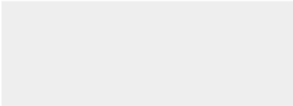
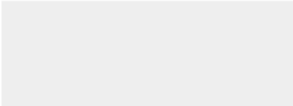






Planning Staff recommends approval of the Lot 5, McAdoo Corner, PL-2016-0048), with the attached Findings and Conditions.



McAdoo Building

Lot 5, McAdoo Subdivision
209 S. Ridge Street
Breckenridge, CO. 80424

MATERIAL / COLOR BOARD: 05-10-2016

Location / Item:	Manufacturer Description:	Color:
1. Siding material #1 4-1/2" exposure bevel lap cedar horizontal siding (semi solid) East building - primary	"Pure White" SW 7005	
2. Siding material #2 (vertical) 1 x 6 board on board S4S fir vertical siding (semi transparent stain) East and West building - secondary	"Pure White" SW 7005	
3. Siding material #3 1 x random width (6/8/10 inch) square edge rough sawn fir (oiled) West building and connector accents	Old oil finish	
4. Siding material #4 Corrugated metal (rusted) Connector and accents	7/8" with rusted finish	
5. Siding material #5 Metal accents	Dull copper finish	
6. Window clad color:	"White" www.jeld-wen.com	
7. High roofs: 50 year - heavyweight Asphalt composition shingles	Timberline Ultra HD "Charcoal" www.gaf.com	
8. Low roofs: Corrugated metal roofing & flashing	7/8" with rusted finish	
9. Front door	"Rookwood Red" SW 2802	

Final Hearing Impact Analysis				
Project:	Lot 5, McAdoo Corner	Positive	Points	0
Planning Case #	PL-2016-0048			
Date:	5/10/2016	Negative	Points	0
Staff:	Michael Mosher, Planner III			
		Total Allocation:		0
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)	0	The properties lie within Land Use District 18-2 which allows both residential and commercial uses. Both uses were also approved with the Master Plan. Staff has no concerns with the proposed uses.
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)	0	Allowed per Master Plan: 3,375 sq. ft. Proposed density: 3,375 sq. ft. (750 sq. ft. Apartment & 2,625 sq. ft. Restaurant)
4/R	Mass	5x (-2>-20)	0	Allowed under Master Plan: 3,375 sq. ft.; Proposed: 2,493 sq. ft.
5/A	Architectural Compatibility	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)	0	Height (measured to the mean): Recommended: 23' 0" ; Maximum allowed w/ negative pts: 26'-0" ; Proposed: 22'-6"
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex/Multi-family Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)	0	Required: 183 sq. ft.; Proposed: 184 sq. ft.
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		

16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)	0	Required: Restaurant Use (3.5/1,000 SF): 6.10 spaces; Apartment Use (1.1/1,000 SF): 1.00 spaces (on-site); Proposed (on-site): 4.00 spaces (per Master Plan); To be purchased in Parking Service Area: 3.10 spaces
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		The submitted landscaping plan for Lot 5 is showing: <ul style="list-style-type: none"> • (3) Engelmann Spruce and Blue Spruce 8-10 feet tall • (2) Spring Snow Crabapple 1.5-2 inch caliper • (1) Narrow Leaf Cottonwood 2-3 inch caliper • (7) Aspen (50% multi-stem) 2-3 inch caliper • (9) Native shrubs 5-gal.
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)	0	Maximum allowed for the entire Master Plan @ 12 UPA (negative points were incurred with the MST PLN approval): 7,710 sq. ft.
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)	0	At the previous meeting, we heard support from the Commission that the submitted plans met : 1. Priority Policy 80 - Building Scale 2. Priority Policy 80/A - The Connector 3. Priority Policy 164 - Façade Width 4. Priority Policy 146 and Priority Policy 165 - Materials (Siding) 5. Priority Policy 63 - Added metal columns and Entry Truss at porch 6. Priority Policy 163 - Scale/Height of building compared to others on the block
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Primary Structures - Historic Preservation/Restoration - Benefit	+1/3/6/9/12		
24/R	Social Community - Secondary Structures - Historic Preservation/Restoration - Benefit	+1/2/3		
24/R	Social Community - Moving Primary Structures	-3/10/15		
24/R	Social Community - Moving Secondary Structures	-3/10/15		
24/R	Social Community - Changing Orientation Primary Structures	-10		
24/R	Social Community - Changing Orientation Secondary Structures	-2		
24/R	Social Community - Returning Structures To Their Historic Location	+2 or +5		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		

32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Special Areas - Community Entrance	4x(-2/0)		
37/R	Special Areas - Individual Sites	3x(-2/+2)		
37/R	Special Areas - Blue River	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Special Areas - Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
38.5/A	Home Childcare Businesses	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		

TOWN OF BRECKENRIDGE

Lot 5, McAdoo Corner
209 S. Ridge Street
PL-2016-0048

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve this application with the following findings and conditions.

FINDINGS

1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **May 10, 2016** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 17, 2016** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. If the real property which is the subject of this application is subject to a severed mineral interest, the applicant has provided notice of the initial public hearing on this application to any mineral estate owner and to the Town as required by Section 24-65.5-103, C.R.S.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires three years from date of issuance, on **May 24, 2019**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy

should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.

6. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
7. Applicant shall field locate utility service lines to avoid existing trees.
8. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

9. Applicant shall submit proof of ownership of the project site.
10. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
11. **Per section 9-3-12 of the Town Code, the applicant shall pay a fee in lieu 2.10 spaces. The amount of the in lieu fee shall be adjusted annually to reflect the percentage increase, if any, in the consumer price index (CPI-U) for all items for the Denver-Boulder, Colorado area produced by the bureau of labor statistics, or any successor index. This fee is on record with the Town.**
12. **Applicant shall provide a preliminary IECC energy analysis prepared by a registered design professional showing 10% - 19% Energy Saved beyond the IECC Minimum Standards in a form acceptable by the Town Building Official. This shall reflect any changes that occur between the time of Planning Commission approval and building permit submittal.**
13. Applicant shall identify all existing trees that are specified on the site plan to be retained by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
14. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
15. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location and type of construction fencing, all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
16. Applicant shall submit a 24"x36" mylar copy of the final site plan, as approved by the Planning Commission at Final Hearing, and reflecting any changes required. The name of the architect, and signature block signed by the property owner of record or agent with power of attorney shall appear on the mylar.
17. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

18. **Applicant shall provide a final IECC energy analysis prepared by a registered design professional showing 10% - 19% Energy Saved beyond the IECC Minimum Standards in a form acceptable by the Town Building Official.**
19. Applicant shall revegetate all disturbed areas where revegetation is called for, with a minimum of 2 inches topsoil, seed and mulch.
20. Applicant shall remove leaf clutter, dead standing and fallen trees and dead branches from the property. Dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above ground.
21. Applicant shall paint all flashing, vents, flues, rooftop mechanical equipment and utility boxes on the building a flat, dark color or to match the building color.
22. Applicant shall screen all utilities.
23. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward.
24. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
25. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations.
26. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
27. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.

28. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)

Project General Notes

- This set of drawings constitutes a "Builder's Set" only. General Contractor shall be responsible for all existing conditions, finishes, detailing and overall project coordination.
- The Architect has made every effort to set forth in the Contract Documents the complete scope of the work. Due to the complexity of the design and construction process, omissions and discrepancies may arise. Any such conflicts must be brought to the attention of the Architect prior to commencement of construction or the Architect shall be relieved of responsibility for the consequences. Such omissions and discrepancies shall not excuse the General Contractor from providing a complete project in accordance with the intent of these documents.
- Changes or deviations from the plans made without the consent of the Architect are unauthorized and shall relieve the Architect of responsibility for all consequences arising out of such changes.
- Construction and construction methods are to be in accordance with all applicable codes, including the current code, 2012 International Building Code & 2009 ANSI Code.
- All construction including lighting, landscaping and signage to be in accordance with all applicable local codes and agencies.
- General Contractor shall verify all dimensions, conditions and utility locations on the job site prior to the beginning of any work or ordering of any materials.
- Written dimensions prevail over scaled dimensions; do not scale drawings. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- Due to the severe weather conditions in Summit County, the Owners must be aware of their responsibility to reasonably maintain all roof and deck surfaces as required to avoid potential ice and water damage.

Site Plan General Notes

- Review staging areas, dirt storage areas, trees and areas to be protected, trees to be removed and construction fence locations with the Town of Breckenridge and Owners prior to commencing construction.
- S.C. shall verify grades and stake building footprint for approval prior to construction.
- Site plan information based on topographic map by Range West, Inc. 9101-469-6208. Date of survey: 10/31/2007.
- Refer also to building elevations for finish grading.
- Provide drainage swales to accommodate existing natural drainage as well as any drainage increase created by new grade changes. Provide positive drainage away from building, 1 to 12 minimum.
- S.C. to field verify all utility locations and connections prior to construction. Verify meter locations with Xcel Energy. All utilities to be underground. Use common trench where applicable.
- See lower level floor plan and foundation plan for perimeter drain location. Verify required any well locations with the Town of Breckenridge Engineering.
- See plans and construction details for typical roof over-hang dimensions.

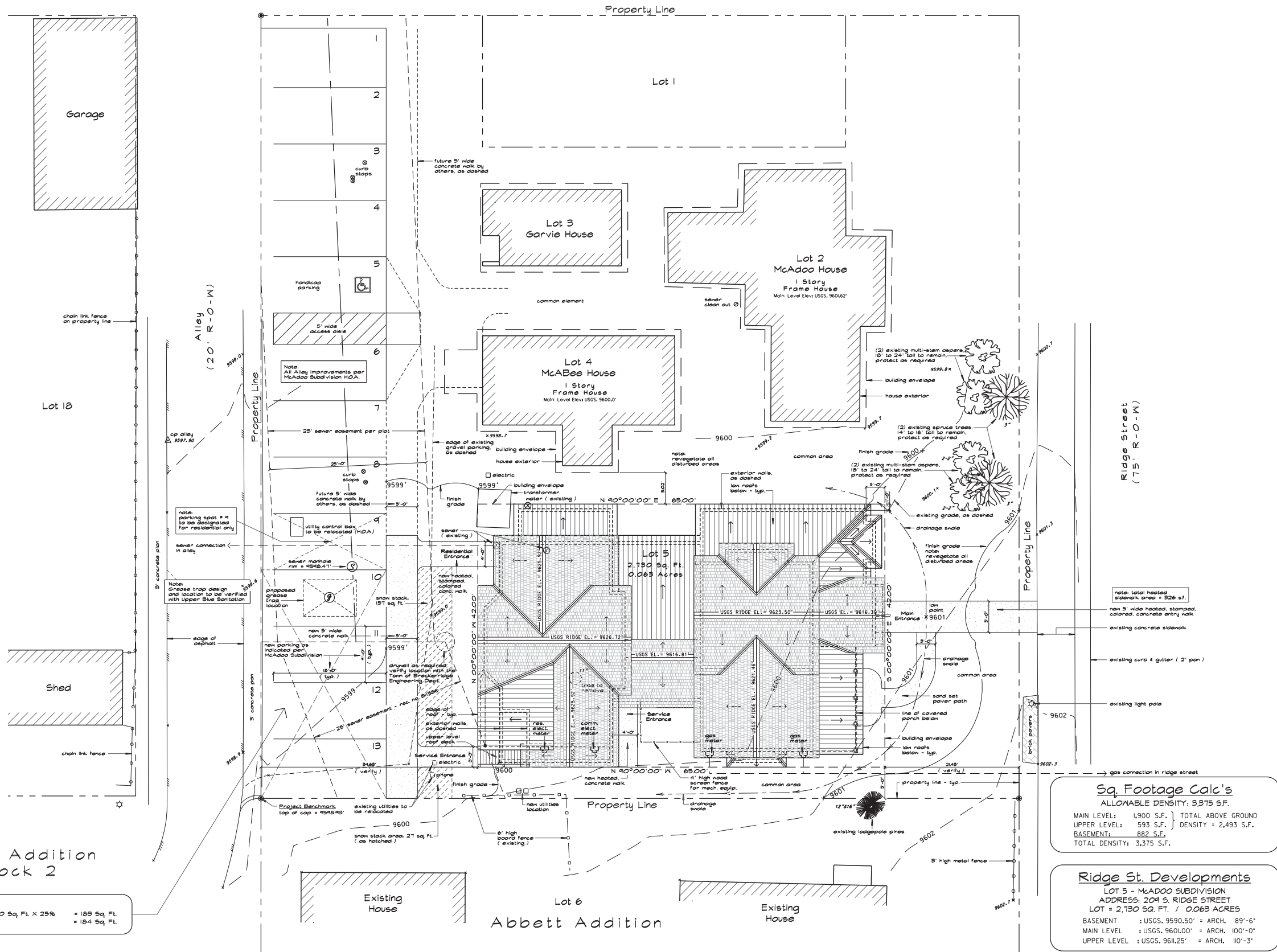
Plan Certification

Project Name: McAdoo Building
 Legal Description: Lot 5, McAdoo Subdivision

Upon the issuance of a development permit by the Town of Breckenridge, this site plan shall be binding upon the applicant, and the applicant's successors and assigns, until such time as the Town has issued a final certificate of occupancy or a certificate of compliance. Prior to the issuance of a final certificate of occupancy or certificate of compliance, this plan shall limit and control the issuance and validity of all building permits, and shall restrict and limit the construction location, use, occupancy and operation of all land and structures within this plan to all conditions, requirements, locations and limitations set forth herein and in the development permit for this site. Abandonment, withdrawal or amendment of this plan may be permitted only in accordance with the Breckenridge Development Code. This document represents the entire understanding between the applicant and the Town of Breckenridge with regard to development rights and density remaining on this site.

Owner's Signature: _____
 Owner Name: _____
 Architect's Signature: _____
 Community Development Director Signature: _____

Washington Ave.
(50' R-O-W)



Stiles Addition Block 2

Snaw Stack:
 Snaw stack required: 730 Sq. Ft. X 25% = 183 Sq. Ft.
 Snaw stack provided: = 184 Sq. Ft.

Sq. Footage Calc's
 ALLOWABLE DENSITY: 3,375 S.F.
 MAIN LEVEL: 1,900 S.F. } TOTAL ABOVE GROUND
 UPPER LEVEL: 593 S.F. } DENSITY = 2,493 S.F.
 BASEMENT: 882 S.F.
 TOTAL DENSITY: 3,375 S.F.

Ridge St. Developments
 LOT 5 - McADOO SUBDIVISION
 ADDRESS: 209 S. RIDGE STREET
 LOT = 2,730 SQ. FT. / 0.063 ACRES
 BASEMENT : USGS, 9590.50' = ARCH, 89'-6"
 MAIN LEVEL : USGS, 9600.00' = ARCH, 100'-0"
 UPPER LEVEL : USGS, 9616.25' = ARCH, 110'-3"

Site Plan
 Scale: 1/8" = 1'-0"

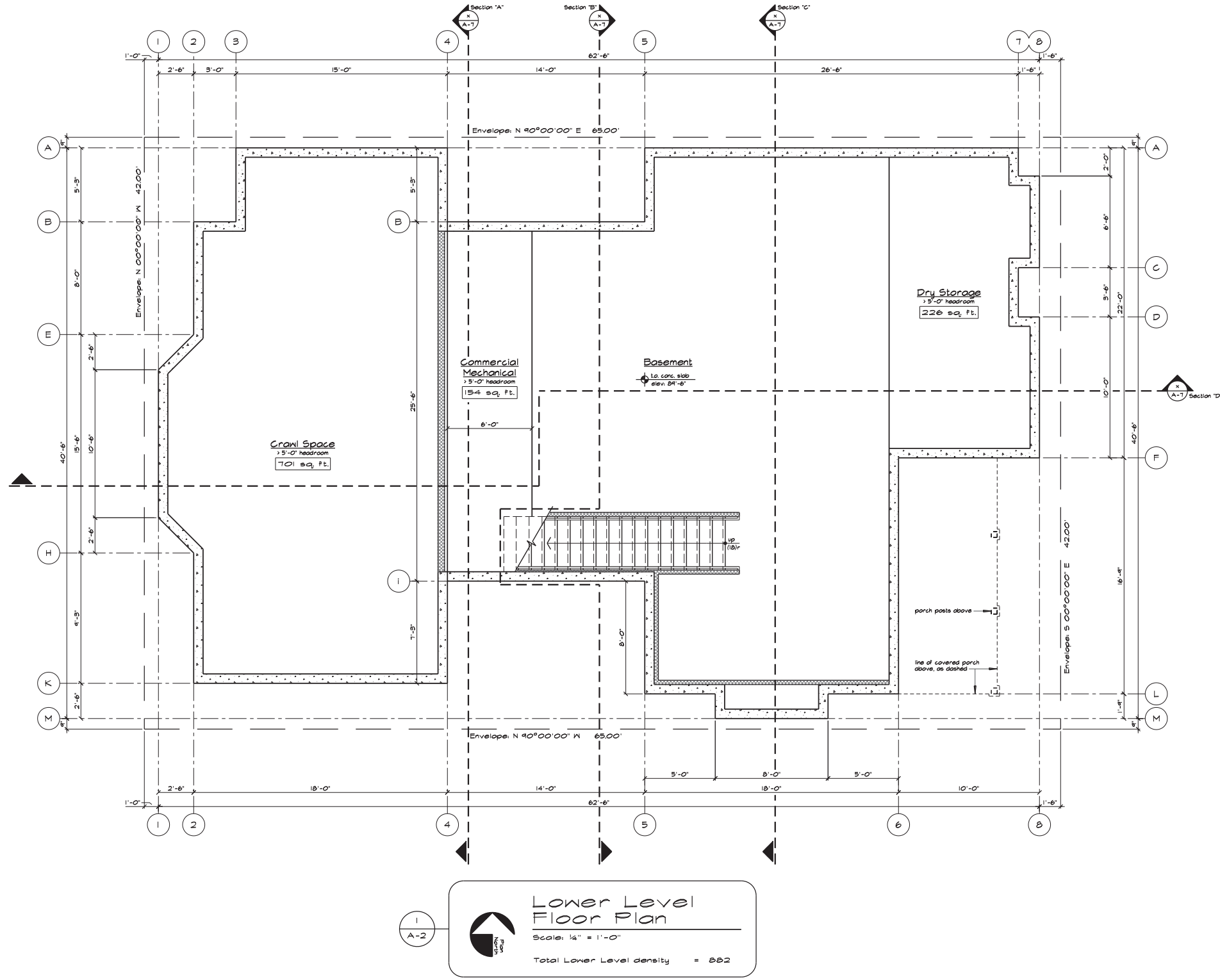
LOT 5 McADOO BUILDING
 McADOO SUBDIVISION
 TOWN OF BRECKENRIDGE, COLORADO

Design Dev. Set:
 Site Plan
 Scale: 1/8" = 1'-0"
 Date: 04-20-2016

architectural
 consultation

J.L. SUTHERLY ARCHITECT
 1000 S. RIDGE STREET, SUITE 100
 BRECKENRIDGE, CO. 80424
 p.o. box 3636 (970) 453-1718





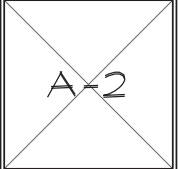
LOT 5 McADOO BUILDING
 McADOO SUBDIVISION
 TOWN OF BRECKENRIDGE, COLORADO

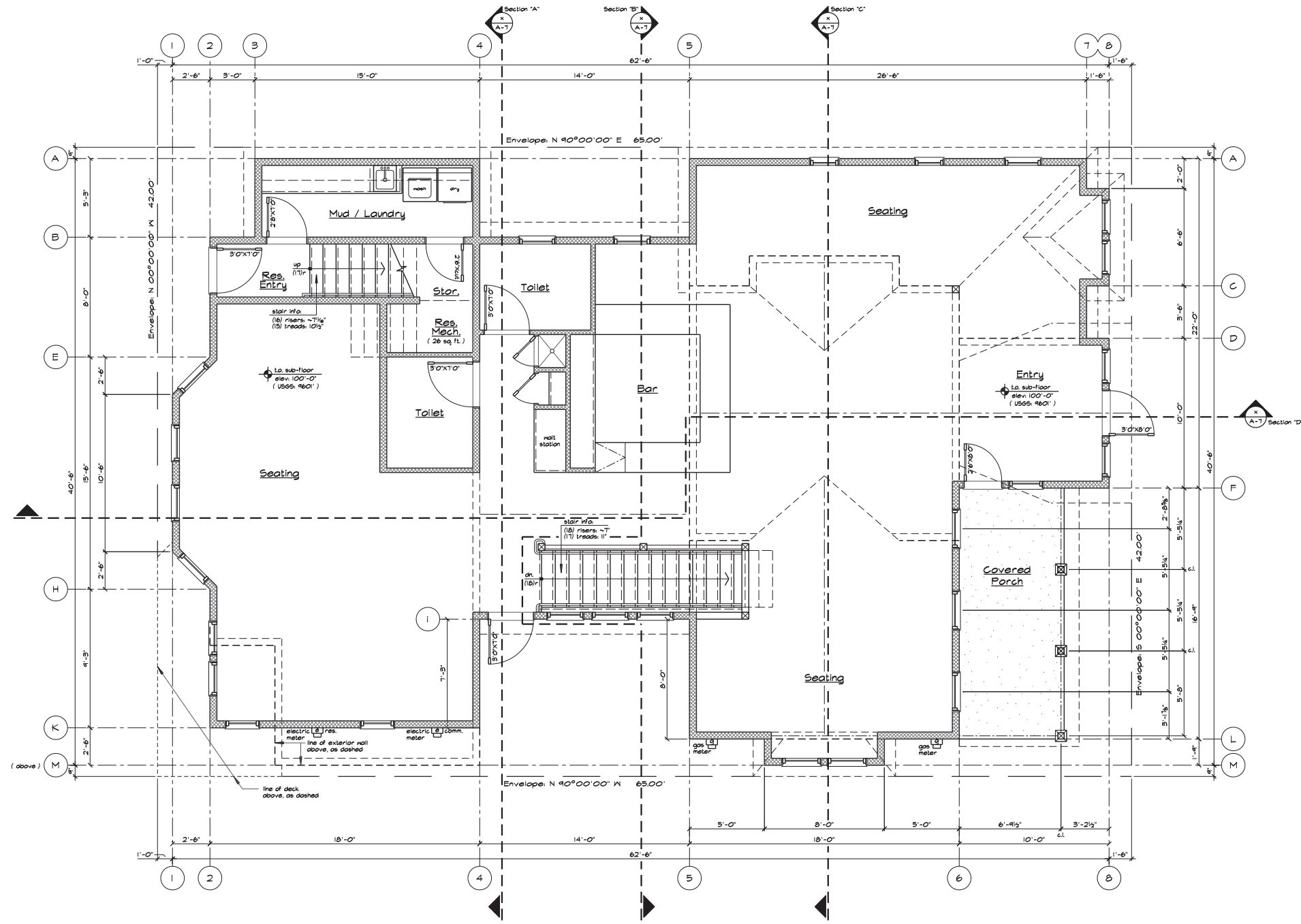
Floor Plans:
 Lower Level

Scale: 1/4" = 1'-0"
 Date: 04-20-2016 ©

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J.L. SUTTERLEY ARCHITECT
 The design, construction documents and all other services are provided by J.L. Sutterley Architect, a professional corporation, located at 1000 North Broadway, Suite 100, Breckenridge, CO 80424.
 p.o. box 3838
 breckenridge, co. 80424
 (970) 453-1718





Main Level Residential	=	183
Minus Mechanical	=	- 26
Total Main Level Residential	=	157

Main Level Floor Plan
 Scale: 1/4" = 1'-0"

 Residential = 157
 Commercial = 1,743
Total Main Level Density = 1,900

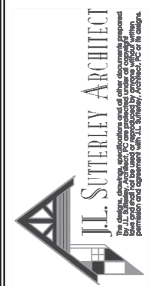
Main Level Commercial:	
East Building	= 423
Connector	= 357
West Building	= 518
Total Gross	= 1,743
Minus Stair to Lower Level	= - 55
Total Main Level Commercial	= 1,743

LOT 5 McADOO BUILDING
 McADOO SUBDIVISION
 TOWN OF BRECKENRIDGE, COLORADO

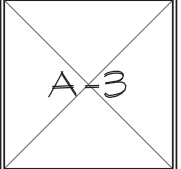
Floor Plans:
 Main Level

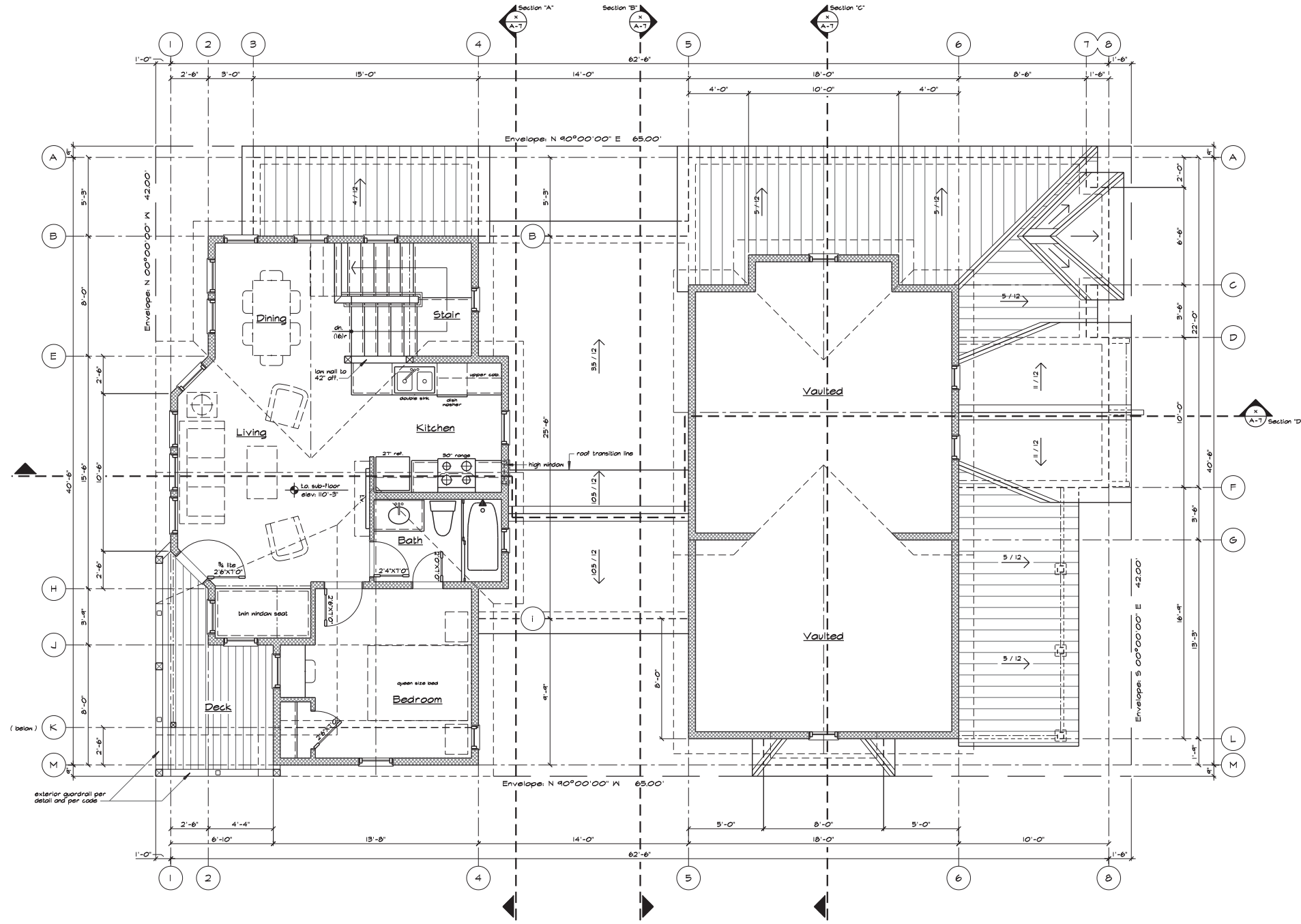
Scale: 1/4" = 1'-0"
 Date: 04-20-2016


architectural
 consultation



J.L. SUTTERLY ARCHITECT
 2000 West Main Street, Suite 100
 Breckenridge, CO 80424
 p.o. box 3838
 breckenridge, co. 80424
 (970) 453-1715







Upper Level Floor Plan
 Scale: 1/4" = 1'-0"
 Nest Building = 593
 Total Upper Level Density = 593

LOT 5 McADOO BUILDING
 McADOO SUBDIVISION
 TOWN OF BRECKENRIDGE, COLORADO

Floor Plans:
 Upper Level

Scale: 1/4" = 1'-0"
 Date: 04-20-2016 ©

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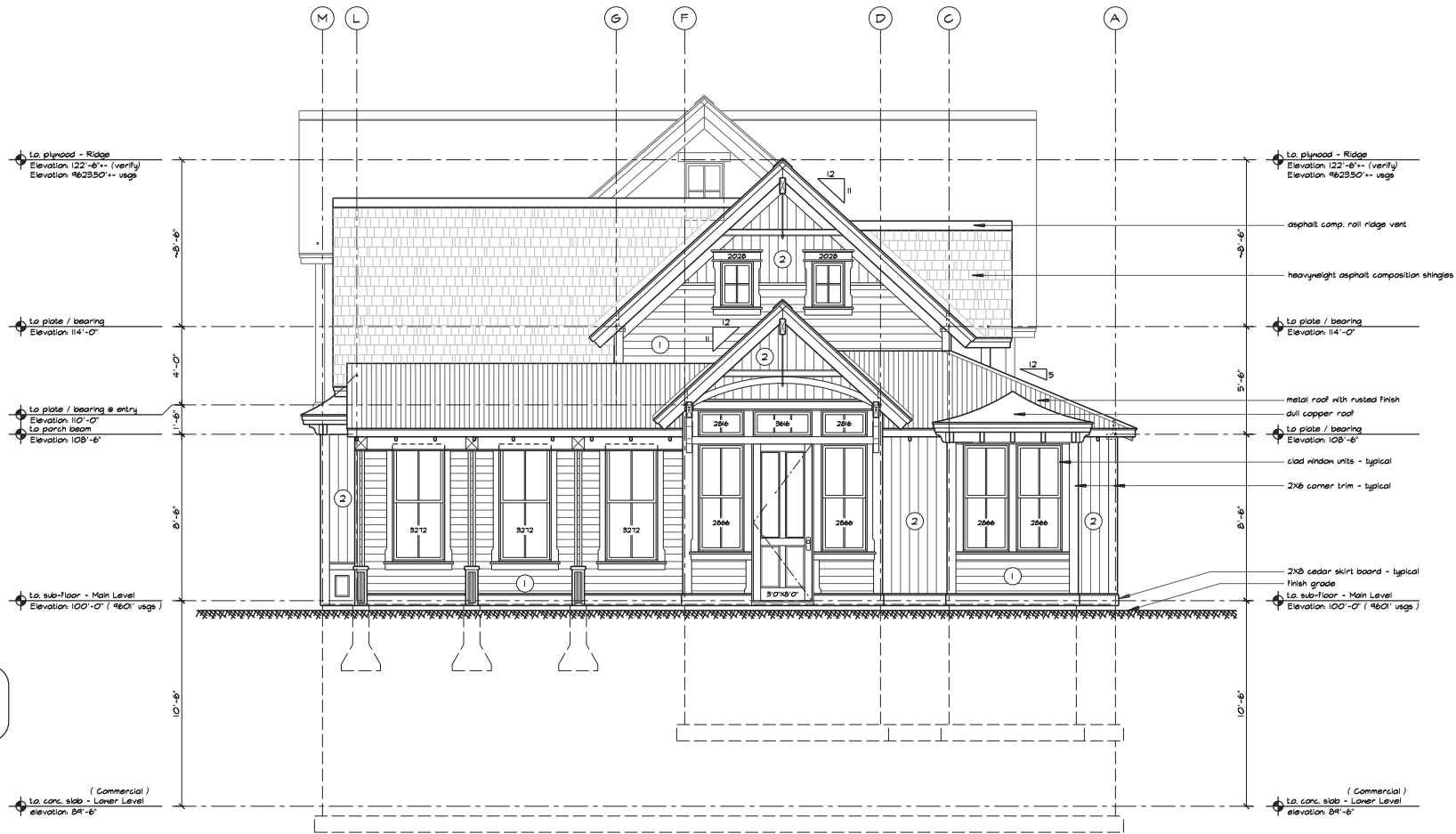
J.L. SUTTERLEY ARCHITECT
 The design, construction, and cost of this project are approved by the Town of Breckenridge, Colorado, and the project is subject to the terms and conditions of the project agreement.
 p.o. box 5858 breckenridge, co. 80424 (970) 453-4718



Key to Siding Materials

- ① 4-1/2" exposure bevel lap cedar horizontal siding (semi solid)
(East building primary)
- ② 1 x 6 board on board S4S fir vertical siding (semi transparent stain)
(East and West building - secondary)
- ③ 1 x random width (6/8/10 inch) square edge rough sawn fir (oiled)
(West building and connector accents)
- ④ Corrugated metal (rusted)
(Connector and accents)
- ⑤ Metal accents (dull copper finish)

①
A-5
East Elevation
Scale: 1/4" = 1'-0"



②
A-5
North Elevation
Scale: 1/4" = 1'-0"

LOT 5 McADOO BUILDING
McADOO SUBDIVISION
TOWN OF BRECKENRIDGE, COLORADO

Exterior Elevations:
East & North

Scale: 1/4" = 1'-0"
Date: 04-20-2016

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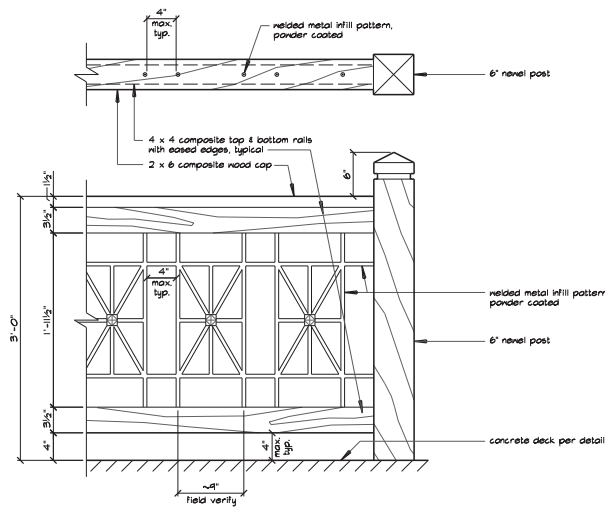
Key to Siding Materials

- ① 4-1/2" exposure bevel lap cedar horizontal siding (semi solid)
(East building primary)
- ② 1 x 6 board on board S4S fir vertical siding (semi transparent stain)
(East and West building - secondary)
- ③ 1 x random width (6/8/10 inch) square edge rough sawn fir (oiled)
(West building and connector accents)
- ④ Corrugated metal (rustled)
(Connector and accents)
- ⑤ Metal accents (dull copper finish)

① South Elevation
Scale: 1/4" = 1'-0"



③ Exterior guardrail detail
Scale: 1" = 1'-0"



② West Elevation
Scale: 1/4" = 1'-0"



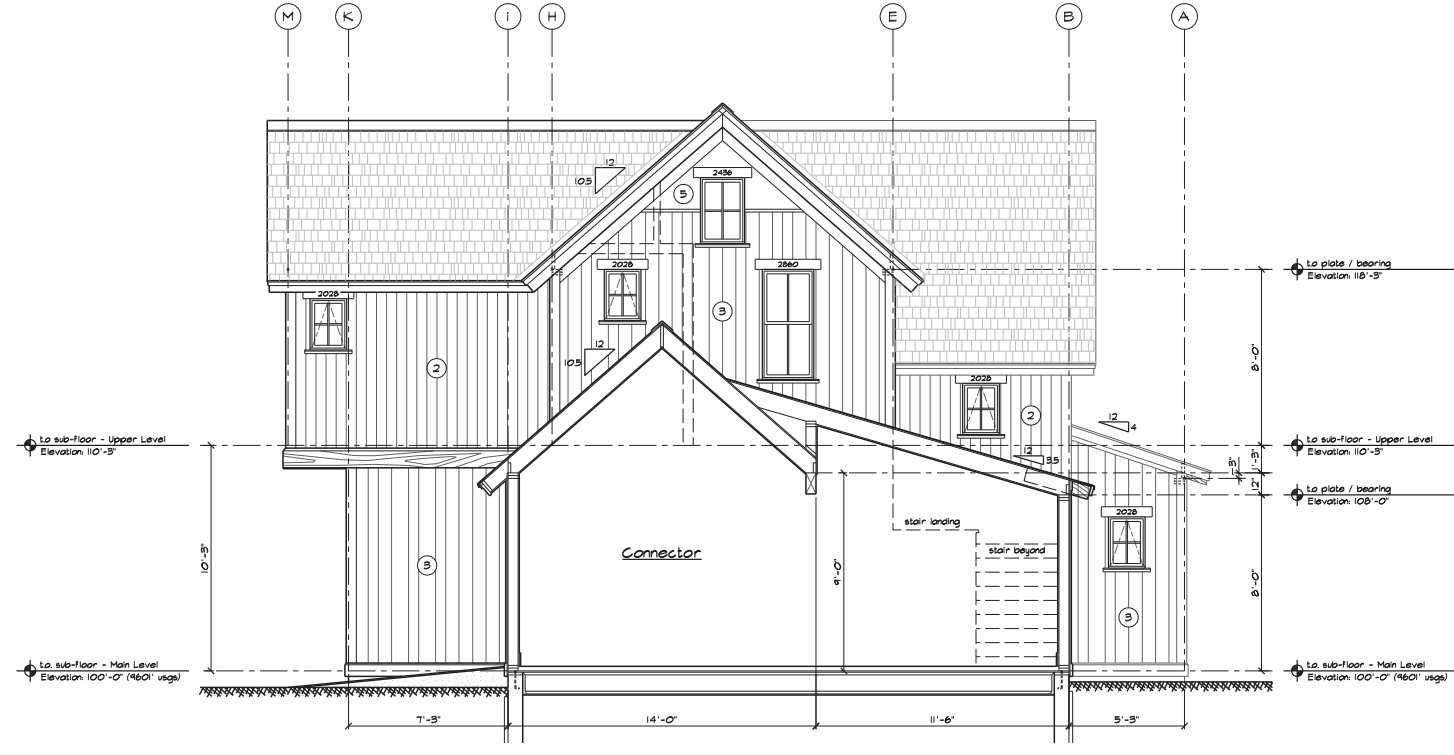
LOT 5 McADOO BUILDING
McADOO SUBDIVISION
TOWN OF BRECKENRIDGE, COLORADO

Exterior Elevations:
South & West
Scale: 1/4" = 1'-0"
Date: 04-20-2016

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J.L. SUTTERLY ARCHITECT
The design, construction, and cost management services of a professional architect.
Breckenridge, CO 80424
p.o. box 5838 (970) 453-1718

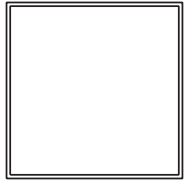
A-6



1
A-7
Building Section "A"
Scale: 1/4" = 1'-0"

LOT 5 McADOO BUILDING
McADOO SUBDIVISION
TOWN OF BRECKENRIDGE, COLORADO

Building Section "A"
Scale: 1/4" = 1'-0"
Date: 04-20-2016



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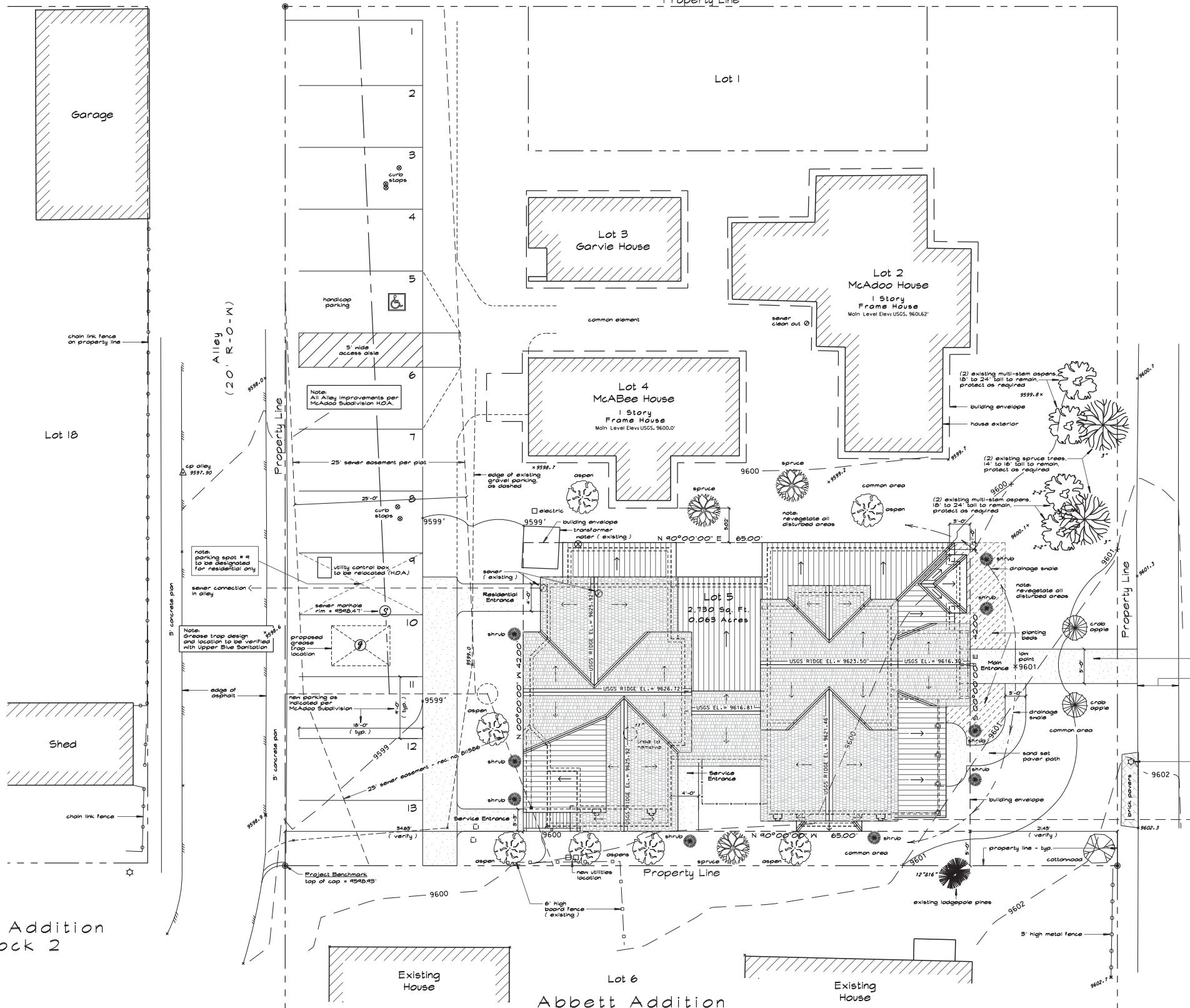
J.L. SUTTERLEY ARCHITECT

The design, construction, and all other services are provided by J.L. Sutterley Architect, a professional corporation, located at 10000 Highway 100, Breckenridge, CO 80424.

p.o. box 5838
breckenridge, co. 80424
(970) 453-1718



Washington Ave.
(50' R-O-W)



Garage

Lot 1B

Shed

Stiles Addition
Block 2

Existing House

Lot 6
Abbett Addition

Existing House

Ridge Street
(75' R-O-W)

Landscape Symbols Legend

- (3) anglemann spruce 8' - 10'
- (3) native blue spruce 8' - 10'
- (2) spring snow crab apple 5' 1/2" - 2' caliper
- (1) cottonwood 2' - 3' caliper
- (7) multi-stem aspen 2' - 3' caliper
- (4) 5 gal mixed shrubs
- small planting bed (rock garden and perennial bed's)

Landscape - General Notes

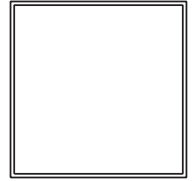
1. all rock gardens to be small flat "slalom" stone, no river rock.
2. dirt work: remove all construction debris, concrete, mortar, etc. from site prior to landscape work, grade subgrade to within 2" of final grade, provide positive drainage at building perimeter, place 2" of approved top soil over all disturbed property, fine grade top soil for seeding.
3. locate all plant material to avoid snow shed areas from roof.
4. revegetate all disturbed property with summit county short dry grass mix, rake out areas to be seeded and apply starter fertilizer, seed and lightly rake soil.
5. rock drip lines shall be of 3" minimum diameter cobble rock at all eave, valley, and other snowshed locations, over weed barrier.
6. all shrub beds and tree beds to receive 2 inches minimum, bark mulch.
7. perennial plants to be mixture of native alpine plants such as: lupine, delphinium, poppy, phlox, columbine, yarrow, etc.
8. all plantings and perennial garden to be on monitored irrigation system as required to maintain new landscaping.

Landscape Plan

Scale: 1/8" = 1'-0"

LOT 5 McADOO BUILDING
McADOO SUBDIVISION
TOWN OF BRECKENRIDGE, COLORADO

Design Dev. Set:
Landscape Plan
Scale: 1/8" = 1'-0"
Date: 04-20-2016



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BRECKENRIDGE, CO. 80424
p.o. box 3636 (970) 453-1715



Planning Commission Staff Report

- Subject:** Outdoor Ice Arena Roof
(Town Project Hearing – PL-2016-0143)
- Proposal:** To construct a standing seam metal roof over the existing outdoor ice rink. The proposed structure will sit on the existing footings and re-use the existing fabric shades to reduce glare along the sides of the rink.
- Date:** May 5, 2016 (For meeting of May 17, 2016)
- Project Manager:** Chris Kulick, AICP
- Applicant:** Town of Breckenridge - Scott Reid, Director of Recreation
- Owner:** Town of Breckenridge
- Agent:** Tim Gerken, Matthew Stais Architects
- Address:** 189 Boreas Pass Road
- Legal Description:** Block 2, Rodeo Grounds Subdivision
- Land Use District:** 28: Residential/Lodging
10 Units per Acre
- Site Area:** 23.2 acres
- Site Conditions:** The outdoor ice arena is located in the center of Block 2; north is the indoor ice arena and Highline Railroad Park, south is parking and the Illinois Creek trailhead, and west is open space and wetlands. The existing outdoor ice arena space is presently developed and flat.
- Adjacent Uses:** North: Single Family Homes
East: Parking & Trailhead
South: Open Space
West: Indoor Ice Arena
- Height:** Recommended: 38'
Proposed: 27' 8"

Staff Comments

Land Use (Policies 2/A & 2/R): The outdoor ice rink is an existing use and we do not find that this use is in conflict with any existing or desired uses for this area. Staff has no concerns with the continued use of the outdoor ice arena.

Recreation (20/R): This policy encourages public recreation amenities. The proposed roof will improve recreation in the community by extending the outdoor arena's usable season and will improve the skating surface by providing protection from weather. For these reasons, staff recommends the allocation of positive three (+3) points for this project. This is consistent with the positive three points (+3) points given to improvement projects for other existing recreational facilities such as the skate park and turf field.

Architectural Compatibility (5/A & 5/R): The proposal will use non-reflective standing seam steel roof panels ("Antique Bronze"), electro-coated steel support beams ("gray oxide") and reuse the existing dark green fabric shades on the structure's exposed facades. Both the roofing material and support beams match the materials and colors used on the existing indoor ice arena. Staff is supportive of proposed material and color choices as they will create architectural symmetry between the indoor and outdoor ice arenas.

Exterior Lighting (Sec. 9-12): Per Sec. 9-12, 5. *Recreational Facilities: Lighting for fields, courts or tracks shall not exceed maximum luminance criteria as defined by the Illuminating Engineering Society Of North America (IESNA). Exterior sports arenas with exterior luminaries for the playing area shall be extinguished by ten o'clock (10:00) P.M. or within one-half (1/2) hour after the conclusion of the final event of the day, whichever is later. The remainder of the facility lighting, except for reasons of security, shall be extinguished at ten o'clock (10:00) P.M. or within one hour after the event, whichever is later.* Lighting for the outdoor ice arena will meet the maximum luminance criteria as defined by the Illuminating Engineering Society Of North America (IESNA) and will abide by the exterior lighting policy for recreational facilities Section 9-1-12-12(5).

Building Height (6/A & 6/R): The proposed roof at its highest point is 27' 8", this is more than 10' lower than the recommended maximum height for District 28 of 38'. Buildings are encouraged to provide broken, interesting roof forms that step down at the edges. Long, unbroken ridgelines, of fifty feet (50') or longer, are discouraged. The proposed roof design has an unbroken ridgeline that is 216' long. Staff recommends assigning negative one (-1) point for having an unbroken ridgeline greater than 50'.

Site and Environmental Design (7/R): There is no new ground disturbance proposed with this application. The arena's existing concrete footers will be used to anchor the new support structure for the roof. The footprint of the proposed roof is slightly larger than the existing shading system footprint. The proposed roof is 22,565 sq. ft. compared to the existing shade structure's 21,450 sq. ft. footprint, resulting in an increase of 1,115 sq. ft. Most of the additional square footage (860 sq. ft.) is the portion that extends over the existing lobby. Staff has no concerns over the minimal site and environmental design associated with the proposed roof.

Drainage (27/A & 27/R): No additional drainage improvements are proposed with this application. The pitch of proposed roof is designed to hold snow and have it melt off over time. The Town's Engineering staff has reviewed the proposal and is comfortable with site's existing drainage design handling the proposed roof and does not find that additional impact to the wetlands are present.

Placement of Structures (9/A & 9/R): Since the proposed roof is designed to use existing footers there is no change to the existing setbacks. Staff has no concerns.

Point Analysis (Section: 9-1-17-3): Staff recommends assigning negative one (-1) point under Policy 6/R – Building Height and recommends positive three (+3) points under Policy 20/R-Recreation, for a

passing point analysis of positive two (+2) points. The application was found to meet all Absolute policies.

Staff Recommendation

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013). As a result, the Planning Commission is asked to identify any concerns with this project, and any code issues and make a recommendation to the Town Council.

Planning Staff recommends that the Planning Commission recommend approval of the Outdoor Ice Rink Roof located at 189 Boreas Pass Road, PL-2016-0143 with a passing point analysis of positive two (+2) points and the attached Findings.

Final Hearing Impact Analysis				
Project:	Outdoor Ice Arena Roof	Positive Points	+3	
PC#	PL-2016-0143			
Date:	5/5/2016	Negative Points	- 1	
Staff:	Chris Kulick, AICP			
		Total Allocation:	+2	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility / (Historic Above Ground Density)	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)	- 1	The proposed roof design has an unbroken ridgeline that is 216' long. Staff recommends assigning negative one (-1) point for having an unbroken ridgeline greater than 50'.
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		

15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)	+3	The proposed roof will improve recreation in the community by extending the outdoor arena's usable season and will improve the skating surface by providing protection from weather.
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		

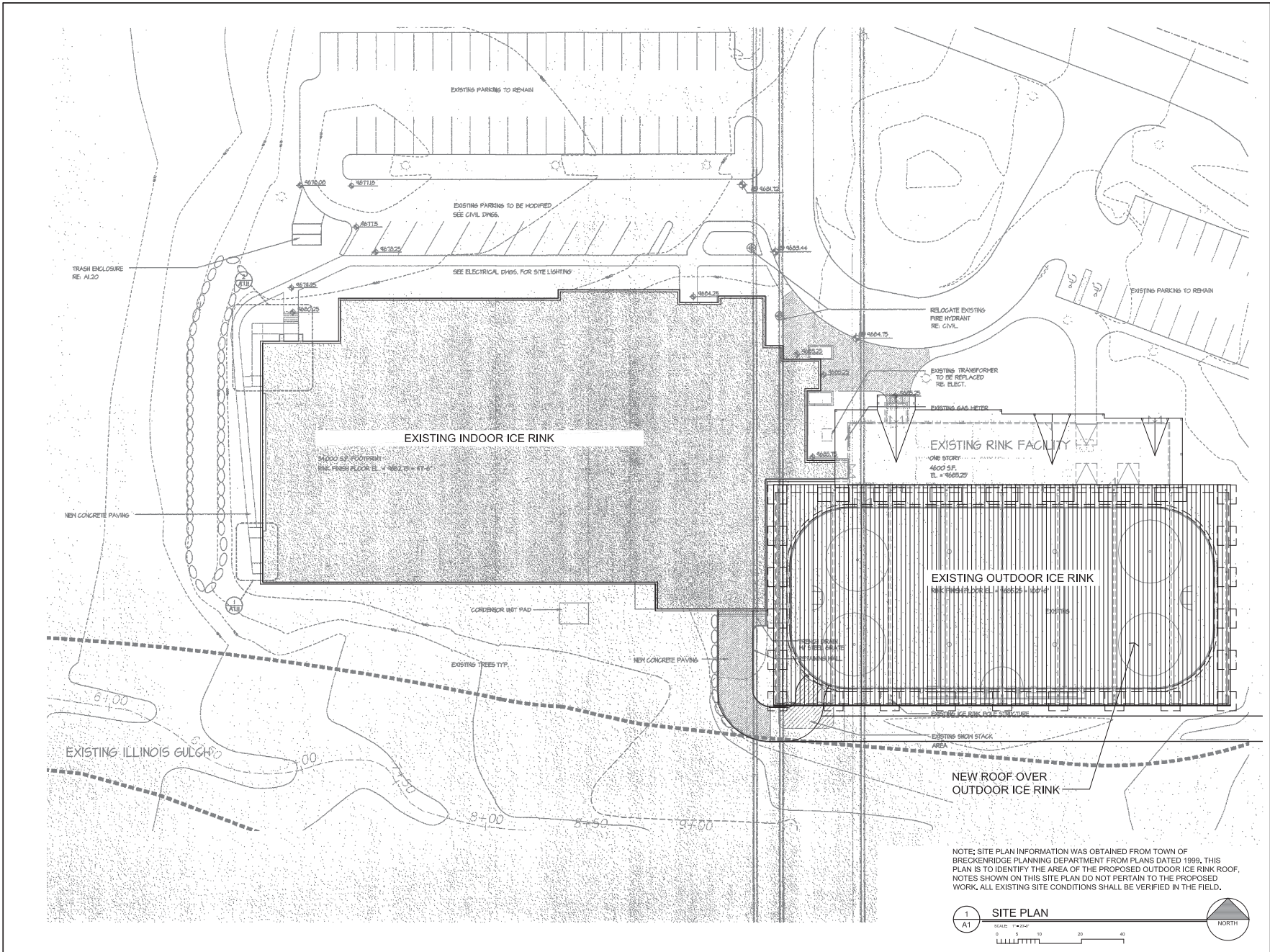
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		

TOWN OF BRECKENRIDGE

**Outdoor Ice Arena Roof
Block 2, Rodeo Grounds Subdivision
189 Boreas Pass Road
PL-2016-0143**

FINDINGS

1. This project is “Town Project” as defined in Section 9-4-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. The Planning Commission reviewed and considered this Town Project on May 17, 2016. In connection with its review of this Town Project, the Planning Commission scheduled and held a public hearing on May 17, 2016, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4(2) of the Breckenridge Town Code. At the conclusion of its public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on May 24, 2016. This Town Project was listed on the Town Council’s agenda for the May 24, 2016 agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project the Town Council received from the Director of the Department of Community Development, and gave due consideration to, a point analysis for the Town Project in the same manner as a point analysis is prepared for a final hearing on a Class A development permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.



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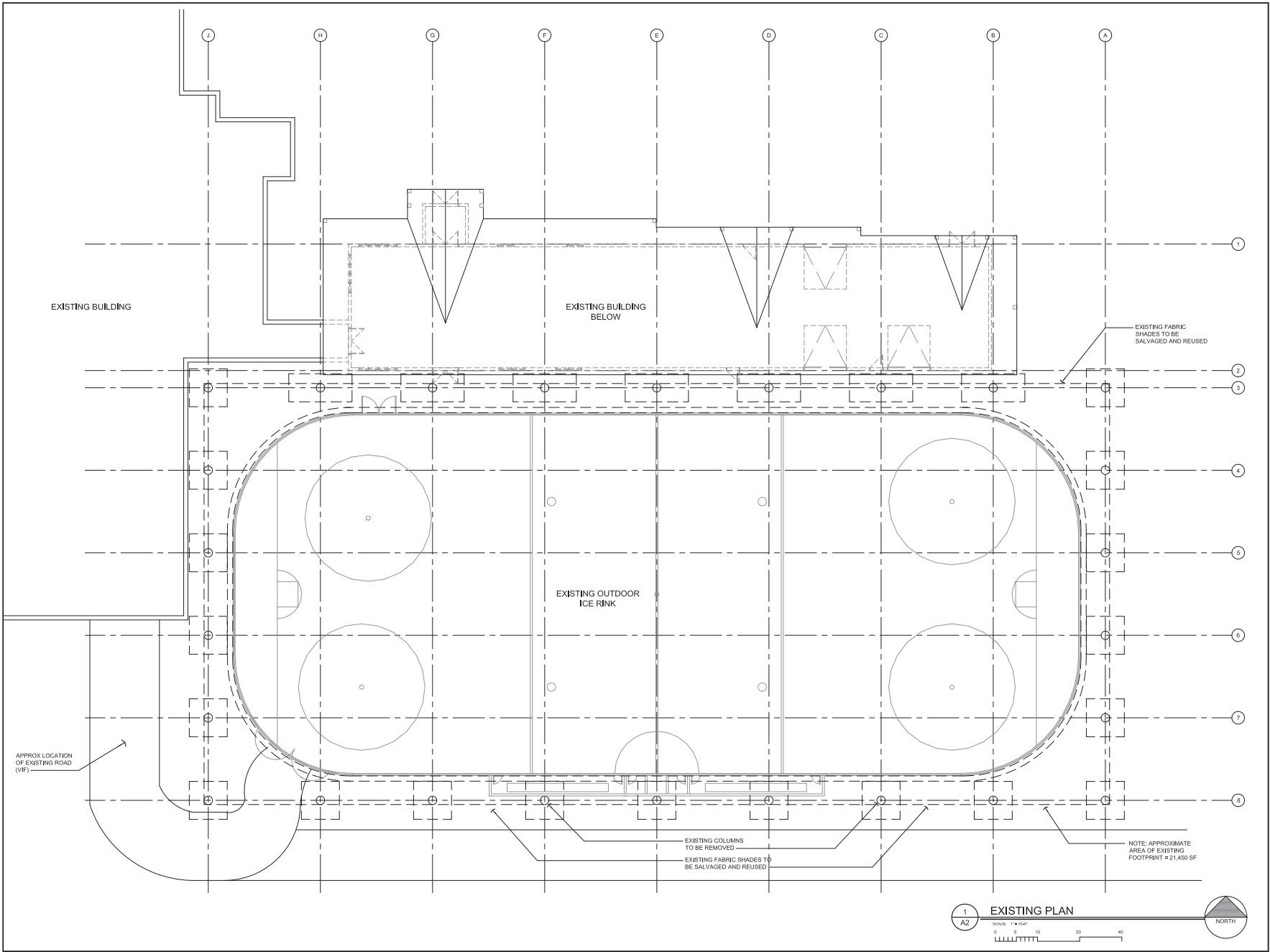
breck ice rink
 roof
 breckenridge , colorado
 PROJECT # 1603

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schematic	24 feb 2016
review	21 apr 2016
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SITE PLAN
 A1



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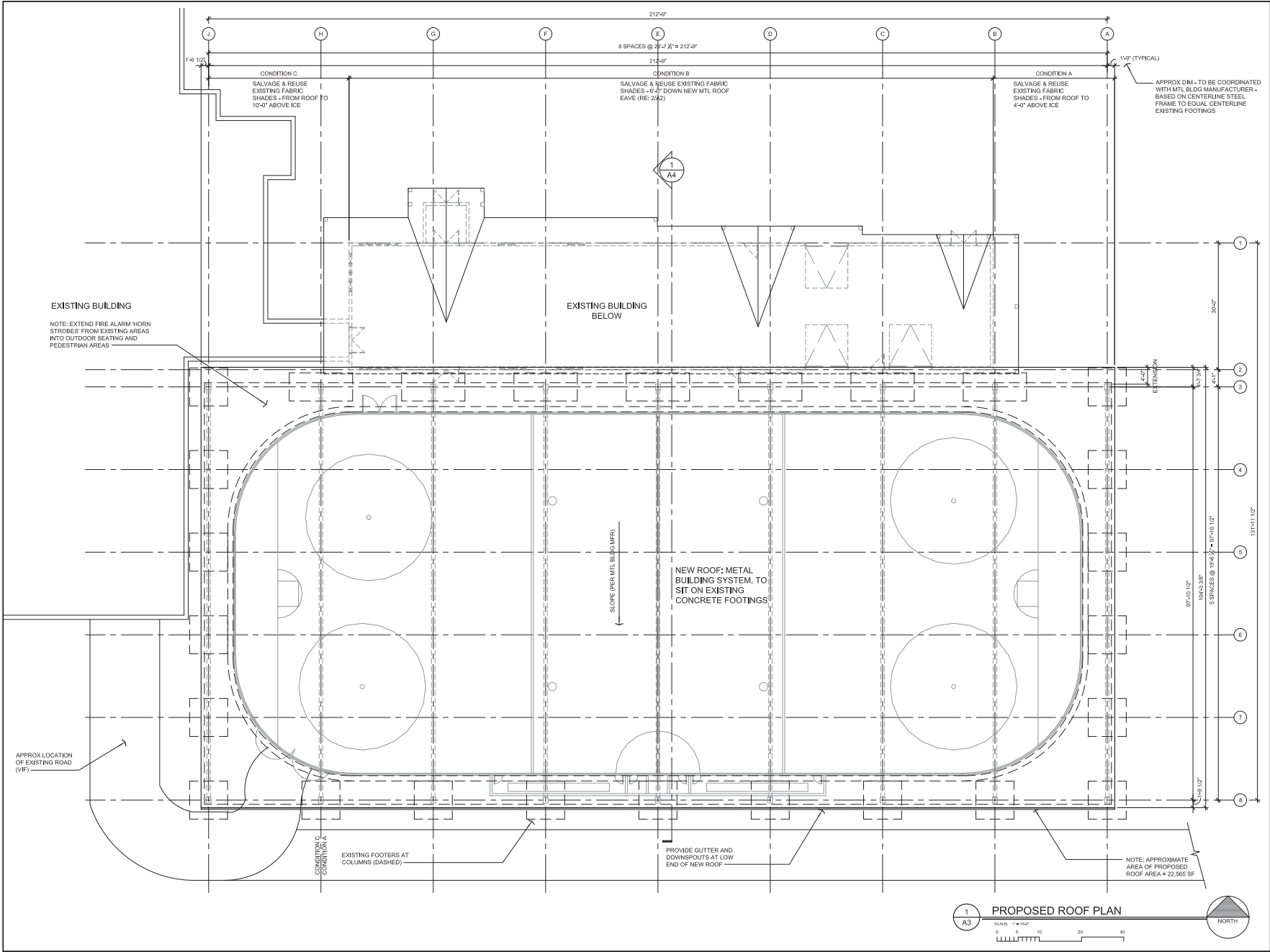
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EXISTING PLAN
A2



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PROPOSED ROOF PLAN

A3



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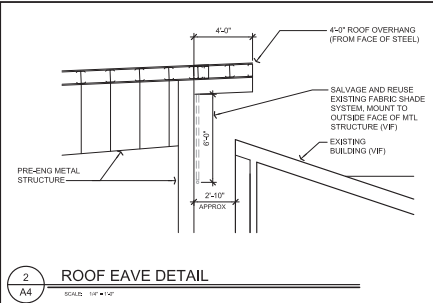
PROJECT # 1603

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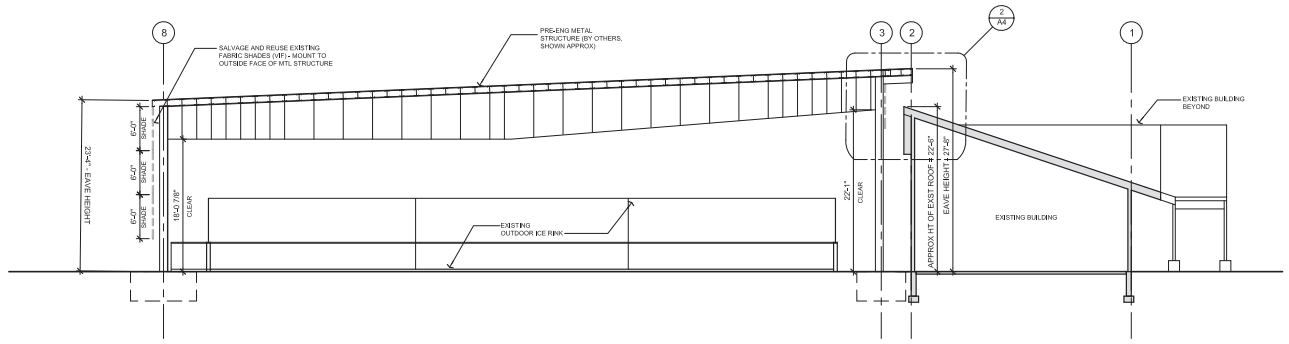
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PROPOSED SECTION

A4



2 ROOF EAVE DETAIL
 A4 SCALE: 1/8" = 1'-0"



1 SECTION @ CONDITION B
 A4 SCALE: 1/8" = 1'-0"



note: this preliminary view study represents a depiction of future construction; however MSA does not certify, warrant or represent that this depiction will be the same as final construction.

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existing view facing southwest

breckenridge ice rink roof
breckenridge, colorado

3 may 2016



note: this preliminary view study represents a depiction of future construction; however MSA does not certify, warrant or represent that this depiction will be the same as final construction.

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proposed view facing southwest

breckenridge ice rink roof
breckenridge, colorado

3 may 2016

breckenridge outdoor ice rink roof
breckenridge, colorado
exterior material samples and colors
29 april 2016



← roofing: steel roof panels
'antique bronze' to match existing,



← steel structure:
electocoated structural steel - gray oxide primer



← reuse existing fabric shades:
dark green