



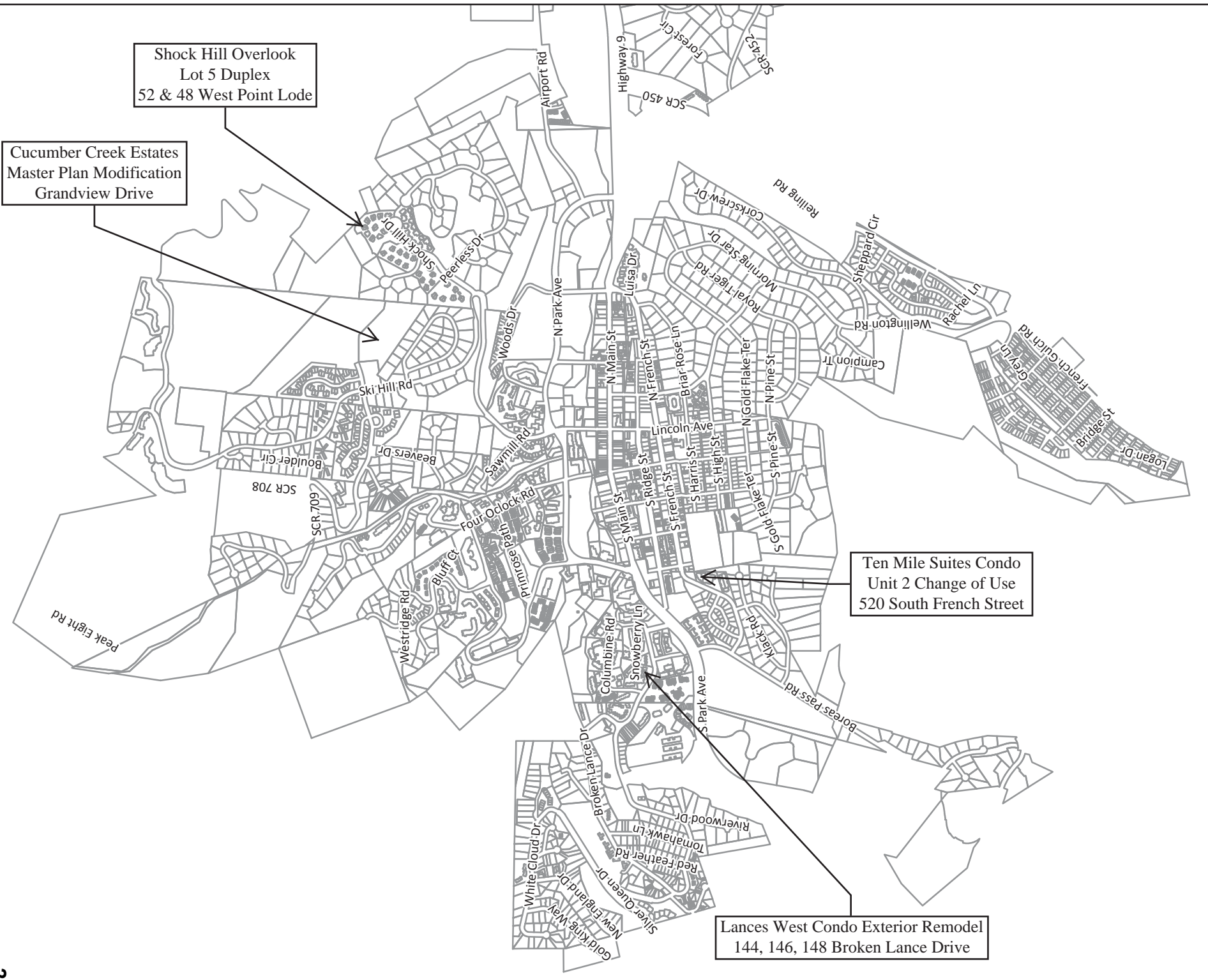
PLANNING COMMISSION AGENDA

Tuesday, May 03, 2016
Breckenridge Council Chambers
150 Ski Hill Road

7:00pm	<i>Call To Order Of The May 3 Planning Commission Meeting; 7:00 P.M. Roll Call</i>	
	<i>Location Map</i>	2
	<i>Approval Of Minutes</i>	3
	<i>Approval Of Agenda</i>	
7:05pm	<i>Consent Calendar</i>	
	1. Shock Hill Overlook Lot 5 Duplex (MM) PL-2016-0098; 52 & 48 West Point Drive	12
	2. Lances West Condo Exterior Remodel (MM) PL-2015-0058; 144, 146, 148 Broken Lance Drive	30
7:15pm	<i>Town Council Report</i>	
7:30pm	<i>Final Hearings</i>	
	1. Cucumber Creek Estates Master Plan Modification (CK) PL-2016-0017; Grandview Drive	55
8:00pm	<i>Combined Hearings</i>	
	1. Ten Mile Suites Condo Unit 2 Change of Use (MM) PL-2016-0042; 520 South French Street	67
8:30pm	<i>Other Matters</i>	
	1. Class D Majors Approved for Q1, 2016 (JP) (Memo Only)	76
8:45pm	<i>Adjournment</i>	

For further information, please contact the Planning Department at 970/453-3160.

***The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times.**



Shock Hill Overlook
 Lot 5 Duplex
 52 & 48 West Point Lode

Cucumber Creek Estates
 Master Plan Modification
 Grandview Drive

Ten Mile Suites Condo
 Unit 2 Change of Use
 520 South French Street

Lances West Condo Exterior Remodel
 144, 146, 148 Broken Lance Drive



Breckenridge South

printed 3/25/2016
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PLANNING COMMISSION MEETING

The meeting was called to order at 7:04 pm

ROLL CALL

Ron Schuman Dan Schroder Gretchen Dudney
Mike Giller Dave Pringle arrived at 7:12pm

Jim Lamb and Christie Mathews-Leidal were absent.
There was no Town Council Liaison present.

APPROVAL OF MINUTES

With no changes, the April 5, 2016, Planning Commission Minutes were approved as presented.

APPROVAL OF AGENDA

With no changes, the April 19, 2016, Planning Commission Agenda was approved as presented.

CONSENT CALENDAR ITEMS:

- 1) Shock Hill Cottages #4 (CK) PL-2016-0097, 24 Regent Drive

With no requests for call up, the Consent Calendar was approved as presented.

OTHER DECISIONS:

1) Marriott Residence Inn Signage (MM) PL-2016-0080, 600 South Ridge Street
Mr. Mosher presented an application to install a major identification sign in excess of 20-square feet on the building façade facing Main Street (State Highway 9). The 8 square feet of extra area requested requires the Planning Commission's concurrence. With over 230 linear feet of building frontage, this project is allowed 151 square feet of total sign area; however, the Sign Code typically limits the size of sign space on a building façade to a maximum of 20 square feet. With the specific criteria being met for the major identification sign for the Marriott Residence Inn at 28 square feet, Staff believes the proposed 8 square feet of additional sign area could be permitted.

Did the Commission support this proposal to exceed the 20 square foot sign limitation for a hotel per Section 8-2-13 of the Code?

Commissioner Questions / Comments:

Mr. Schuman: Who is not in favor?

Ms. Dudney: It is fine with me.

Mr. Schroder: No sign shall exceed 20 square feet unless certain criteria are met. It is our job to apply the code. Section B says: We could allow an excess of 20 sq. ft., "if it is necessary to." What does "necessary" exactly mean? It is really arbitrary. I am good with the sign, knowing that it is on one wall. I would support it. (Ms. Puester: You're right it is very fuzzy. However, I interpret it to mean that they are not asking for an excessive amount over the 20 square feet in terms of what is needed to see the sign.)

Mr. Giller: Commented on point-source lighting. (Mr. Mosher: It is under the eaves and fully shielded.)

Mr. Schuman: For that façade, I think it works well. We support at a vote of 4-0.

The four Commissioners present all showed full support for the extra sign area of the Marriott Residence Inn, application PL-2016-0080, 600 South Ridge Street.

WORKSESSIONS:

1. Breckenridge Water Treatment Plan (MM)

Mr. Mosher presented a proposal for a Town Project of a new water treatment facility, support building and pump station on Tract 1 of the McCain Master Plan area. The Planning Commission reviewed the McCain Master Plan Modification at a work session on November 3, 2015 and at a Town Project Public Hearing on December 1, 2015. The Commission also visited the site as part of their fall field trip. At the December 1st hearing the Planning Commission unanimously recommended that the Town Council approve the McCain Master Plan Modification. On December 8, 2015 the Town Council held a Town Project Public Hearing and approved the McCain Master Plan Modification. The Plan Modification amended the previous 2012 McCain Master Plan, which provided general land use guidance for the McCain property. The 2015 Plan Modification identified specific uses for a total 13 different land use tracts on the McCain Property. Tract 1 is the area proposed to be developed under this application, under the Town Project process.

The choice of Tract 1 for the water treatment plant was determined by several factors. Given the Town Council's desired groundbreaking timeline of spring 2017, it was preferable to utilize a site that was already graded and ready for final site preparation. Tract 1 fits this well as the site is generally flat and contains an existing business. Most of the other tracts on McCain include large areas of undulating terrain and would require extensive grading in order to prepare for development. Another key location factor considered was proximity to Highway 9. Location near Highway 9 was preferable to limit the cost of extending water lines: 1) running from the pump back near Lake Dillon to the property, and 2) running across the highway and uphill through Silver Shekel and the Highlands to the Highlands water tank.

This worksession is to introduce the initial program and conceptual architecture massing and forms associated with the McCain Water Treatment Plant Buildings. The placement and building forms are a function of the many machines inside. We are seeking Planning Commission input on the general site layout, massing, architecture and possible finishes.

Staff believes this facility will be an important entry component to anyone arriving (or leaving) along this portion of Highway 9. The desire is to create a modern building that still respects the history and heritage of this portion of Summit County and the Town of Breckenridge. Though the Planning Commission reviews submittals based only on the Development Code, extra input is appreciated as this development goes forward. It is anticipated that, following this worksession, a formal Town Project Submittal will be presented for your review.

Commissioner Questions / Comments:

Mr. Schuman: I have a question on the timing. As we saw with some of the housing projects, is this going to be pushed along quickly? (Mr. Mosher: The schedule is tight. There has to be a lot of digging for the site too. I am not sure of the exact dates. But, the architecture can be visited while the project is underway.) Ok; just for our expectations of when we should expect to see it? (Ms. Sara Clark, HDR Inc.: We plan on starting in spring, 2017.)

Applicant Presentation: Mr. Marc Hogan and Mr. Tyler Mikolajczak, bhh Partners; Ms. Sara Clark, Mr. Matt McFadden and Mr. Jeff Glover from HDR, Inc.

We have several alignments, we are not sure yet how we are getting into the exact distribution layout. The plant itself is being built for a number of reasons. There was a feasibility assessment and money from State revolving fund. The plan is to be online and fully operational late 2018, 2019. 30% design by mid-June, 100% by next January. Town is hiring a contractor soon. There is a tight budget so we want to contain the costs. We would appreciate you thinking about the budget in your comments. You will see the external views tonight, not the inside.

Commissioner Questions / Comments:

Ms. Dudney: Are the buildings placed on the land for more of an aesthetic point of view? (Ms. Clark: We developed a way to make the most efficient use of the footprint, the building, the budget, the

- site grading and gravity flow.)
- Mr. Hogan: (Mr. Hogan gave a presentation on the design of the buildings.) We have a great team. We have had a lot of site visits at other various water plants. We looked at the iconic image of Baker's Tank on Boreas Pass. We would like to interpret this in a modern way. We look at historic forms and how we can interpret that into modern architecture. We have respected the 150' setback. Blending tank provides raw water to treatment tank. We have designed the buildings to house the treatment functions. We will have a residual tank and a storage tank below grade.
- Ms. Dudney: It doesn't have a mountain feel. I need to understand your constraints. Are the windows functional? (Mr. Hogan: They are functional. The clearstory windows face south and bring in natural lighting to the large building.) Talk to me about the windows and doors. You don't want to have windows on the ground floor? (Mr. Hogan: We have not studied the exact window locations. We have primarily looked at the forms. We have referenced buildings that are products of their time with this design.) How about the clearstory element; is there a need for that to be so long? (Mr. Hogan: We have not determined that yet exactly. We too are looking at traditional forms.) Will that have negative points because of the long roofline? (Mr. Mosher: Yes; negative one (-1) point.) (Mr. Hogan: We want to make the main building look like it has been added on to over time. We like to look at regionalism. We have purposely turned things at angles to give a sense of history to the overall site.) Does it have to be a high security area? (HDR Inc.: Yes.)
- Mr. Schroder: Is there a most prominent face? (Mr. Hogan: Yes; that facing Highway 9.) I am glad to know that the fence is in the back and would not hide all of that. The building itself acts as the fence towards the front. (Mr. Hogan: Many design constraints regarding the multiple utilities. We are still in design phase. Looking to reducing height and footprint and save some area as much as possible.)
- Mr. Pringle: What about height for water tanks and clearance? (HDR Inc.: There is a flow process with gravity, and we are looking at the constraints and impacts to sinking some of the machinery lower in the grade.) What would it look like if you did not try to connect the buildings? It looks odd. (Mr. Hogan: For the administration building, we can build with normal stick-frame construction. For the other buildings, code related construction and moisture constraints require processing the building with steel frame-ability and concrete to segregate the uses.) (Ms. Clark: As for the meeting room, we were asked by the Town to provide space for on-site training and meeting space to share cost of the required annual training with the surrounding municipalities. The other facilities in the Upper Blue don't really have offices, just minimal spaces required for facilities.) How is chlorine delivered? (Ms. Clark: They would like to keep using gas. It is the most cost effective.) How much residual are we talking about here? (Ms. Clark: They will be treating all the solids from all the other water treatment plants in town at this location, removing the water and hauling the dry material for disposal.) It is more complicated. Had we known this is what we are talking about with the Master Plan review, we had maybe given more attention for this site location with the master plan. It's a big facility.
- Mr. Giller: I think your roofing forms are a bit complicated. Needs consistency in the slopes. I wonder about massing. I think northeast elevation could have a stepping setback; perhaps 8'? I would spend some time on your roof. Second general comment: are there opportunities for negative spaces outside the building to be used? Opportunities for storage or equipment? (Mr. Hogan: We do have an employee courtyard in this area.)
- Ms. Dudney: Are you actually going to have trucks parked there? Is there any reason to screen trucks? (Mr. Hogan: I don't think we will have trucks parked in front, only in fenced area.) (Mr. Moser: additional detail on landscaping will be presented with attention to screening some parts of the site.)
- Mr. Schroder: The height of the building was the one thing that struck me, but we have discussed that. Over time we keep saying, here comes the new entrance to town. We have many. Maybe this is the

new entrance to Town a little further north. The old BBC looks quite nice as it is. If we could have some demonstration north of Breckenridge with massing and details; whatever we can do to break up the industrial look would be great. Do we ever look at the other buildings around a particular area and try to blend new in with what is existing? Do we look for any thread along this way? Everything that is out there has a different story and materials, a “fishing village” at Welk, the BBC, the fire station.

Ms. Dudney: What is the building area? (Mr. Hogan: All total: 20,000 sq. ft. 75% is in processing building.)

Mr. Giller: Does the Master Plan establish an alignment? (Mr. Hogan: The layout is a function of multiple constraints. Residual building is aligned for truck movement. We like the fact that it caught the sun and opened to the view.)

Mr. Schuman: I know we have certain functions here, and I appreciate the insight you gave us into just how the processes work. This is a work session so, quickly, I remember going through the same questions when we looked at the BBC, which looks like it has been there a long time and it fits. So, I feel good about where this is going. The one thing that I am curious about is why you have so many flat roofs. That is not real typical. We get a bunch of snow up here, so it is something to think about.

Mr. Pringle: What about the main roof alignment? (Mr. Hogan: The reason it faces this way is for solar, both the panels and clerestory. But we could look at turning it 90 degrees. We are really after solar efficiencies. I think there are some good comments here.) I would like to see a more unified architectural style. Let’s not try to hide it. I would prefer to see less height and more unification.

Ms. Dudney: I like the multiple-building look. I don’t know what it is going to look like until we see materials, but I think materials can help break up the mass. I agree that the roofs could be stepped down somewhat.

Mr. Schroder: I like the pictures in the packet of the old wooden buildings, with the heavy timbers.

Mr. Pringle: I would support anything you could do to add visual interest. More robust structurally.

PRELIMINARY HEARINGS:

1) McAdoo Corner Lot 5 Mixed Use (MM) PL-2016-0048, 209 South Ridge Street

Mr. Mosher presented a proposal to construct a new, mixed-use building of a restaurant and an apartment. The total allowed density is subject to the McAdoo Corner Master Plan. Since points were assigned under certain Development Code policies with the McAdoo Master Plan, it affects all point assignments associated with future development on this subdivision. For example, no new positive points may be awarded for landscaping or historic preservation and the above ground density is allowed to be no greater than 12 UPA.

A previous development permit for a restaurant on Lot 5 had been approved and later renewed on August 7, 2012 (PC#2009009) but has expired. This application has a new design specifically addressing the revised Policy 80A of the Handbook of Design Standards for the Historic and Conservation Districts.

Maintaining materials on historic buildings is clearly addressed in the South End Residential Historic District Character Area #3 with Priority Policy 165 and in the Handbook of Design Standards for the Historic and Conservation areas with Priority Policy 146. They are both aimed at preserving the materials on historic structures. However, Section 5.0 - Design Standards for New Construction specifically states “New designs that respect the general characteristics of the historic buildings including their basic scale, form, and materials are likely to be compatible”. Staff believes the primary façade of this building represents new construction with a non-residential use. The steel columns are articulated to represent the general characteristics of historic columns in the Historic District.

Based on direction from the Commission, the project may need to remove the steel columns, channels and guardrails in order to meet Priority Policy 163, an Absolute Policy. Or, the Commission may find that this policy

is not applicable since this is a new building. One negative point and one positive points have been suggested under policy 33/R related to the snow melted areas. Staff anticipates a passing point analysis at the next hearing.

Staff believes this proposal is off to a solid start and represents proper new construction infill for the Historic District. Staff had the following questions for the Commission:

1. Did the Commission support the design of the 14-foot long connector for this building?
2. Did the Commission believe the design and material of the proposed steel columns, channels and guardrails for this building do not relate to Priority Policy 165?
3. The historic structures to the north are one-story buildings. The historic building across Ridge Street (Twist Restaurant) is a full two stories tall. Staff believes the proposed building fits in the historic context of the block and Character Area. Did the Commission concur?

Pending any substantial changes, Staff suggests this application return for a final hearing.

Commissioner Questions / Comments:

Mr. Schroder: Priority policy 165: Does this relate to new structures? Is that policy relevant? (Mr. Mosher: We want to be careful with establishing precedent here. We are respecting historic forms and details with those materials; this may not be applicable because it is a new building.) Priority Policy 63: It does relate to currently existing historic structures? (Mr. Mosher: Historic buildings.)

Mr. Pringle: The most important thing is to get the general forms, mass and scale right, so we can protect the character of historic downtown. The reason the Lincoln Mall looks the way it does is because the Park Service encouraged us to go more contemporary. This has changed over time. Now, some new buildings are mistaken for old.

Mr. Giller: The first thing we look for in infill is compatibility in scale, mass, etc. It is now more about compatibility. It's about the "second-look". If you look closely, you can tell the difference.

Applicant Presentation: Mr. Jeremy Fischer, Applicant, and Ms. Janet Sutterley, Architect for the Applicant:

Ms. Sutterley: This has come along quite a bit since the first time it was here. We reduced mass in the rear and height has come down in the front. I put 882 sq. ft. of the available density in the basement. We want to make the basement as big as we could. The metal detailing is very subtle and minimal with metal columns and bases. The primary material would be cedar horizontal lap siding. The secondary would be cedar vertical siding. On the rear building, we would have dark rough sawn oiled finish for base, and vertical siding on the top part. We would have corrugated metal for connector, and some on low pitch roof areas. The basement would be mostly kitchen. There is an overall amount of landscaping required for McAdoo Corner in the master plan. We noted that the trees on the survey from 2004 have now grown, so we may want to remove some of our new landscaping. We have proposed up to 500 sq. ft. of heated space. (Mr. Fischer: quite a bit of snow has been stacked up in a few locations previously. Quite a bit of snow will get pushed towards the end of the alley.) (Mr. Mosher: It was reviewed with the Master Plan and had been ok.) (Mr. Giller: So, with a kitchen going in the basement, can you get your mechanical stacks off the front elevation?) We are going to have a whole fenced area for mechanical equipment in the connector area out of public view. (Mr. Giller: The only place the railing is proposed is the deck on the southwest corner, correct?) Yes.

Mr. Schuman opened the hearing to public comment.

Ms. Jan Radosevich, 213.5 South Ridge Street: Snow stacking is a concern along the portion of the alley. No snow gets stacked towards Washington Street. Snow melting these sidewalks will not melt large stacks of snow will it? If it does that would be great.

There was no further public comment and the hearing was closed.

Commissioner Questions / Comments:

Ms. Dudney: I do support the connector. I really like the steel columns. I am fine with the height.

Mr. Pringle: I support the 14-foot connector. One issue I have with the metal materials is that I hate to have it used as precedent for all buildings, because we get that a lot. Maybe it works fine in this application, but I don't know that we want to see it repeated or mutated on other projects in the Town. I am cautious about supporting it, but think it should be allowed in this application. I think the height is OK. The only other comment I have is for a lot of buildings is that in order to get distinction, we throw too many materials at them and it gets too cute and too much...and I wonder if we could go softer and achieve what the Code wants.

Mr. Schroder: I support the connector. I support the steel elements. I do not have any concern over Priority Policy 165 being applicable given that this is a new building. The height of the building fits with the area.

Mr. Giller: The massing and scaling is ok. It is ok to interpret modern materials with new materials. I think the priority policy was referring to something else. The proposed design fits the historic context and is compatible.

Mr. Schuman: I support the connector. I support the metal but I have some concern about precedents. We don't have a point analysis, at least a preliminary point analysis, and a material board. It feels like we are trying to slide this through. I don't look at it that way. I am concerned about your comment about eliminating trees; there is no good tree plan here. I think the Snowstack needs to be flushed out more; it has to be considered. You were going to put a railing on the drawings, and you have not done that. We are not seeing an incomplete application here as submitted. I am disappointed in what we are seeing and that there are number of questions still out there that we need to flush out before final. As it is suggested we will be reviewing a whole lot of new information at final then.

COMBINED HEARINGS:

1) Gondola Lots Development Master Plan (MM) PL-2016-0003, 320 and 350 North Park Avenue

Mr. Mosher presented a proposal to renew the existing development permit (PC#2009010) for three years. No changes are proposed. A master plan had been approved for the north and south parking lots surrounding the town gondola terminal with a condo-hotel, townhomes, commercial uses, mixed use building, a new skier service / transit facilities, and two parking structures. The proposal also includes development on portions Wellington parking lot and the East Sawmill parking lot, plus modifications to the Blue River, all of which are owned by the Town of Breckenridge. This proposal includes the transfer of 93 SFEs of density from the Gold Rush parking lot to the north and south gondola parking lots. A reduced parking requirement of 1 space per 1 Condo-Hotel unit is allowed per an approved Development Agreement with the Town Council (Reception #934609; Expires May 27, 2023).

The Applicant is requesting that the Planning Commission renew the existing Development Permit for three years. This is the second request for an extension of this permit. During review of an application like this, the Commission should focus on any Code changes that have been adopted subsequent to the previous permit approval. In this case, Staff has found that the only relevant code issue that would affect this application is under Policy 24/R, Social Community, as it relates to Town Council Goals.

All master plans are required to be reviewed on a point analysis, and shall comply with all absolute policies, obtain a score of zero or more with respect to all relative policies, and comply with all other applicable development policies of the town in effect at the time of the master plan application. One of the issues with reviewing a master plan relates to the timing of the assignment of points. While some elements of the master plan warrant the allocation of points during the master plan review, other elements may not warrant point allocations until development permit review. The following points are recommended at this time:

Policy 6 (Building Height)	-20 points for buildings up to 5 stories.
Policy 16 (Internal Circulation)	+3 points for good vehicle and pedestrian circulation.
Policy 18 (Parking-View)	+4 points for providing parking underground or in a structure.
Policy 18 (Parking-Joint Facilities)	+1 point for making parking available to the public.
Policy 18 (Parking-Shared Access)	+1 point for shared driveway access.
Policy 24 (Social Community - Employee Housing)	+8 points for providing 8.51% of density as employee housing.
Policy 24 (Social Community)	+3 points for Council Goals, environmental sustainability.
Policy 25 (Transit)	+4 points for improved Transit circulation, improved facilities and reduced vehicle and pedestrian conflicts.

The result is a passing score of positive four (+4) points.

This application was advertised as a Combined Preliminary and Final Hearing, and, as such, it may be approved by the Commission at this hearing. Since there have been no Code changes in the past three years that would affect this project, Staff has no concerns. There are still several issues that have not been finalized in this application, which have been included as Conditions of Approval. These issues are primarily business issues (i.e. property lines, ownership and construction of public amenities, loss of parking, and construction of the river improvements, etc.) that are not addressed in the Development Code, and need to be approved by Town Council.

Mr. Mosher pointed out that four of the Conditions that are in the packet had been fulfilled already. He presented a new copy of the Findings and Conditions with the four Conditions removed and the rest renumbered.

Commissioner Questions / Comments:

Ms. Dudney: Does the transportation plan relate to the current Transportation plan that we have been discussing recently? (Mr. Mosher: Yes, in a global sense. The transit center redesign is solid in acceptance. I'm not sure where the discussions lie now.) (Mr. Grosshuesch: The transit component is very relevant. They want to keep the number of on-site parking spaces in compliance with the Parking Agreement with VRDC.) Would the consultants recommend a different location for the parking? (Mr. Grosshuesch: The consultants are looking very long term.) The ski area needs to be participating. (Mr. Grosshuesch: They are.) The other comment is that plan. Town to incentivize to work with the owners of town center. More synergistic.

Mr. Steve West, Attorney for the Applicant: I don't think you actually see the application. We think this is a much better jumping off point. I went to the first public parking/transportation meeting. We really think it is important to keep this plan in effect, so that we can massage it in the future based on comments from the parking/transportation studies. The biggest reason we think it should be extended is that it can be used and modified versus going back to the old Land Use District density regulations.

Mr. Schuman opened the hearing to public comment. There was no public comment and the hearing was closed.

Commissioner Questions / Comments:

Mr. Giller: This seems straightforward. Three years is requested. Is that the maximum? (Ms. Puester: That is the normal time period we use.)

Mr. Schroder: I support the extension for 3 years.

Mr. Pringle: I support the extension.

Ms. Dudney: I support the extension. The idea of double dipping and Council goals and when the plans come in for a Master Plan, they get points again. This has always confused me. (Mr. Mosher: The Findings and Conditions have already been modified. Please reference the packet I handed out to each of you this evening.)

Mr. Pringle made a motion to approve the point analysis for the Gondola Lots Development Master Plan, PL-2016-0003, 320 and 350 North Park Avenue, showing a passing score of positive four (+4) points. Mr. Schroder seconded, and the motion was carried unanimously (5-0).

Mr. Pringle made a motion to approve the Gondola Lots Development Master Plan, PL-2016-0003, 320 and 350 North Park Avenue, with the Staff presented replacement Findings and Conditions. Mr. Schroder seconded, and the motion was carried unanimously (5-0).

2) Peak 8 Ski Hill Road Reconstruction and PMA Variance (MM) PL-2016-0082, 1627 Ski Hill Road
Mr. Mosher presented. In association with the Sixth Amendment to the Amended Peak 7 & 8 Master Plan (PL-2015-0444) and the Grand Colorado at Peak 8 East Building (PL-2015-0215), a portion of Ski Hill Road (between One Ski Hill Place and Ski Watch Drive) is to be re-graded to an overall even slope (from 2.8 ~ 13% to 5.25%) to improve vehicular safety and vehicular access to the new base area developments. The work will include a temporary re-alignment of a portion of Ski Hill Road to the west to allow the following:

1. Temporary relocation of the bus loading zone;
2. The relocation of the existing storm sewer, sanitary sewer, water lines, and utility trench;
3. Construct a new retaining wall, concrete pan, guardrail, along the east side of Ski Hill Road within the PMA and PMA setbacks;
4. Relocation of one of the Breck Connect Gondola Towers; and,
5. The finished reconstruction of Ski Hill Road and associated improvements.

The development area is within the Cucumber Gulch Preventative Management Area (PMA) established by the Cucumber Gulch Preserve Overlay Protection District Ordinance. (No. 9 Series 2000 which is also enforced under the Development Code Policy 2, Absolute, Land Use Guidelines). During construction, all activity will be monitored as directed by the Ordinance.

Staff finds no reason to assign positive or negative points under any Relative policies of the Development Code. Staff finds that the project meets all Absolute polices, with the exception of Policy 2/A-Land Use as it relates to the Cucumber Gulch Overlay Protection District, for which this variance is requested.

Staff finds that the proposal meets the requirements for a variance from the Preventive Management Area of the Cucumber Gulch Overlay Protection District, and recommends that the Planning Commission approve the Ski Hill Road at Peak 8 Reconstruction Cucumber Gulch Preserve Preventative Maintenance Area (PMA) Variance (PL-2016-0082) along with the presented Findings and Conditions.

Commissioner Questions / Comments:

Ms. Dudney: It starts this summer? (Mr. Mosher: Yes.)

Mr. Schroder: Have we thought about the timing about moving a gondola tower and the impacts to the Peak 8 fun park? (Mr. Mosher: That might be a better question for the applicant.)

Mr. Schuman: Who is the main enforcement person? (Mr. Mosher: Ms. Shannon Smith, Town Engineer, and Mr. Tom Daugherty, Breckenridge Director of Public Works with work with an on-site agent and consultant.)

Applicant Presentation: Mr. Don Leinweber, Civil Insight LLC (Engineer): This represents the final piece of a Master Plan that is a decade or so old. What is new is the findings of Geo-Tech. The existing fill materials under the road were never properly compacted or placed. The new soils will get properly compressed. We

will install settlement plates and realign the road in a temporary condition while the roadway is compacted. We will work closely with the ski resort and Town. As for the Gondola tower; the concrete pad will be poured for the tower this summer, but the actual relocation of the tower will not occur until later in shoulder season so as not to impact activities. If we can't get the settlements to occur, the Town could accept a construction lift of pavement. That pavement would come out in 2017 and that area would get the final paving. Short term drop-off is scheduled to be paved as well.

Commissioner Questions / Comments:

- Mr. Pringle: Will the temporary alignment be paved? (Mr. Leinweber: Yes.)
- Mr. Schuman: Are you confident that you are going to get all the compaction before the snow comes next winter? (Mr. Leinweber: Yes. We are still fine tuning re-routing pedestrians through the area safely.)
- Mr. Schroder: What is the timing on the new gondola tower? (Mr. Leinweber: The concrete for it will be poured but the tower will not be placed until after the construction.) (Mr. Jeff Zimmerman, Breckenridge Ski Resort: Did you get your question answered, in regards to the tower?) Yes, just wanted to make sure there was still flow up there since people can't drop off in vehicles for the Fun Park.

Mr. Schuman opened the hearing to public comment. There was no public comment and the hearing was closed.

Commissioner Questions / Comments:

- Mr. Giller: A very well coordinated plan. My experience is that sediment management is very important. Your question about monitoring is very relevant.
- Mr. Schroder: I support the variance.
- Mr. Pringle: I support the variance, and am eager to see what the retaining wall will look like. Good luck.
- Ms. Dudney: I support the variance. Good luck.
- Mr. Schuman: I support the variance. My concern is that the Town is getting the best value, and that the PMA area is protected.

Mr. Pringle made a motion to approve the Ski Hill Road at Peak 8 Reconstruction Cucumber Gulch Preserve Preventative Maintenance Area (PMA) Variance, PL-2016-0082, along with the presented Findings and Conditions. Mr. Schroder seconded, and the motion was carried unanimously (5-0).

ADJOURNMENT:

The meeting was adjourned at 9:35pm.

Ron Schuman, Chair



2016 - Class C DUPLEX Development Review Checklist

Project Title:	Shock Hill Overlook, Lot 5, Duplex		
Proposal:	Build a new 4998 Sq. Ft. Duplex		
Project Name and PL#:	Duplex at 52 West Point Lode and 48 West Point Lode		PL-2016-0098
Project Manager:	Michael Mosher, Planner III		
Date of Report:	April 18, 2016		
Property Owner:	Shock Overlook / Chris Canfield		
Agent:	Allen-Guerra Architecture / Andy Stabile		
Proposed Use:	Duplex		
Land Use District (2A/2R):	LUD: 10	Residential (SF to 8-plex, Townhomes)2 UPA	Subject to the Shock Hill Overlook Master Plan
Address (Unit A, Unit B):	52 West Point Lode		48 West Point Lode
Legal Description:	Shock Hill Overlook Subdivision, Filing #1, Lots 5A & 5B		
Site Areas:	Unit A = 1,917 sq. ft.		Unit B = 1,922 sq. ft.
Total Site Area:	3,839 sq. ft.		0.09 AC
Existing Site Conditions:	The site has been previously graded for subdivision improvements and placement of the Private Drive, West Point Lode. A portion of the existing waste rock consolidation pit lies along the north edge of Lot 6B.		
UNIT A		UNIT B	
Areas of Building:	Proposed Square Footage:		Areas of Building: Proposed Square footage:
Lower Level:	1,212 sq. ft.		Lower Level: 1,212 sq. ft.
Main Level:	1,287 sq. ft.		Main Level: 1,287 sq. ft.
Total Unit A Density:	2,499 sq. ft.		Total Unit B Density: 2,499 sq. ft.
Garage:	614 sq. ft.		Garage: 614 sq. ft.
Total Units A Mass:	3,113 sq. ft.		Total Unit B Mass: 3,113 sq. ft.
Number of Bedrooms:	4 Bedrooms		Number of Bedrooms: 4 Bedrooms
Number of Bathrooms:	4.5 Bathrooms		Number of Bathrooms: 4.5 Bathrooms
Fireplaces (30A/30R):			Fireplaces (30A/30R):
Number of Gas Fired:	3 Gas Fired		Number of Gas Fired: 3 Gas Fired
Parking (18A/18/R):			Parking (18A/18/R):
Required:	2 spaces		Required: 2 spaces
Proposed:	2 spaces		Proposed: 2 spaces
Driveway Slope:	8.0%		Driveway Slope: 6.3%

Code Policies (Policy #) for Both Units			
Total Building Density (3A/3R):	4,998 sq. ft.		
Total Building Mass (3A/3R):	6,226 sq. ft.		
F.A.R.	1:0.62 FAR		
Height (6A/6R):*	34 feet overall		
Architectural Compatibility (5/A & 5/R):	The architecture and finishes match that of the other duplexes and homes in the Shock Hill neighborhood.		
Exterior Materials:	Vertical and horizontal cedar siding, metal siding (less than 25%), natural stone veneer		
Exterior Colors:	1x6 T&G Cedar "V-Groove" – Stain With Superdeck 2111 "Harbor Gray"; 2x12 Cedar "V-Groove" – Stain With Superdeck 2750 "Burnt Hickory"; 2'x6'x3/16" Steel Panels Natural Mill Scale – Permalac Spray Finish; Stone Veneer Oklahoma Cut Stone		
Roof:	Gaff Timberline Ultra –50 Year, Color Shall Be "Weathered Wood"; Metal Roof - Us Metals. Standing Seam – Dark Bronze		
Platted Building/Disturbance /Footprint Envelope?	Footprint Lot		
Lot Coverage	UNIT A		UNIT B
Drip-line of Building (Nonpermeable)	2,337 sq. ft.		2,337 sq. ft.
Hard Surface (Nonpermeable)	800 sq. ft.		958 sq. ft.
Snowstack (13A/13R):			
Required Square Footage:	Unit A = 200 sq. ft.		Unit B = 240 sq. ft.
Proposed Square Footage:	238 sq. ft.		256 sq. ft.
Landscaping (22A/22R):			
Planting Type	Quantity	Size	
Aspen	8	(4) 1.5" cal, (4) 2" cal	
Douglas Fir	4	(2) 12', (2) 14'	
Native Shrubs	8	5 gal.	
Defensible Space (22A):	Complies		
Drainage (27A/27R):	Positive drainage away from buildings		
Energy Conservation (33/R):	480 SF of snow melted area for both units	Negative one (-1) point incurred	Prior to issuance of Occupancy, Applicant shall obtain a HERs Index report for both units prepared by a registered design professional for positive one (+1) point
Point Analysis (Sec.9-1-17-3):	This application has met all Absolute Policies and has been awarded -1 point under Policy 33/R for the heated outdoor space and +1 point for obtaining a HERs Index Report under Relative Policies of the Development Code.		
Staff Action:	Staff has approved the Shock Hill Overlook, Lot 5, Duplex, PL-2016-0098 showing a passing score of zero (0) points and with the attached Findings and Conditions		
Comments:	The consolidated waste rock piles located on the Shock Hill Overlook property have been identified, surveyed, and properly capped, with the impacts mitigated per direction from the Colorado Department of Health and Environment and licensed engineers.		
Additional Conditions of Approval:	See Finding #8 and Conditions 7, 8, 9, 11, 15, 19, 20, and 21 that relate to the specifics of constructing near the PMA and the Rock Consolidation Areas		

TOWN OF BRECKENRIDGE

Shock Hill Overlook, Lot 5 Duplex
Shock Hill Overlook Filing #1- Lot 5
Unit A: 52 West Point Lode/Unit B: 48 West Point Lode
PL-2016-0098

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 18, 2016** and findings made by Community Development with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 3, 2016** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.
6. The property is located on Tract E, Shock Hill Subdivision. As such, the property is also within the Cucumber Gulch Overlay Protection District (but not the Cucumber Gulch Preventative Management Area), which set forth certain design criteria intended to protect the unique biological and environmental character of the Cucumber Gulch Preserve.
7. This property is subject to the terms and conditions of the Declaration of Deed Restriction, Reception #998561, recorded on July 26, 2012.
8. **The Memo (submitted with PL-2014-0174) from David Bohmann of Tetra Tech dated March 12, 2015 and the letter from Fonda Apostolopoulos of the State of Colorado dated August 22, 2012 (on file at Town Hall) regarding “No Action Determination for Shock Hill Tracts C and E, Breckenridge, CO” will serve as a certifications of no risk from the owner with regard to the on-site consolidated waste rock.**

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **November 10, 2017**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.

5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. Applicant shall field locate utility service lines to avoid existing trees.
7. **An improvement location certificate of the height of the top of the foundation wall, the second story wall plate, and the height of the building's ridge must be submitted and approved by the Town during the various phases of construction. The final building height shall not exceed 35' at any location.**
8. **This development shall comply with 9-1-19-8A: POLICY 8 (ABSOLUTE) RIDGELINE AND HILLSIDE DEVELOPMENT.**
9. **Windows on the downhill side of the structure shall use nonreflective glass.**
10. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.
11. **Spas/hot tubs shall be designed so that when these pools/spas/hot tubs are drained, water flows into the sanitary sewer system. At no time will water from these sources be allowed to drain into the stormwater system, nor toward Cucumber Gulch.**
12. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.
13. This property is subject to the terms and conditions of the Declaration of Deed Restriction, Reception #998561, recorded on July 26, 2012.
14. The property is located on Tract E, Shock Hill Subdivision. As such, the property is also within the Cucumber Gulch Overlay Protection District (but not the Cucumber Gulch Preventative Management Area), which set forth certain design criteria intended to protect the unique biological and environmental character of the Cucumber Gulch Preserve.
15. The applicant and future owners of any property within Tract E-1 are required to comply with the Declaration of Deed Restriction, Reception #998561, recorded on July 26, 2012.
 - a. The Applicant's subdivision plat for the property shall more particularly describe and identify the Areas of Consolidated Waste Rock described and referred to in the "Declaration of Deed Restriction" recorded July 26, 2012 at Reception No. 998561 of the records of the Clerk and Recorder of Summit County, Colorado ("Declaration").
 - b. In its development of the property pursuant to this Development Permit, Applicant shall comply with the terms and conditions of the Declaration. Without limiting the generality of the preceding sentence, Applicant shall not make or allow any excavation on, within, or under any of the Areas of Consolidated Waste Rock described and referred to in the Declaration (as more particularly described and identified in the subdivision plat for the property) without prior written approval from the Town and, if applicable, the Colorado Department of Health and Environment. Applicant acknowledges that before approving a proposal to disturb an Area of Consolidated Waste Rock the Town may require the posting of an acceptable financial guarantee assuring the restoration of the Area of Consolidated Waste Rock that is to be disturbed.

- c. Prior to issuance of the first building permit for the construction of improvements to be made to the property pursuant to this Development Permit, Applicant shall execute and record with the Clerk and Recorder of Summit County, Colorado an agreement running with the land, acceptable in form and substance to the Town Attorney, providing: (i) the Applicant will provide prompt written notice to the Town if the Declaration referred to in Condition No. A is ever modified or terminated, and shall concurrently with such notice provide the Town with written evidence of the modification or termination of the Declaration; and (ii) if the Declaration is ever terminated, the Applicant will, upon the request of the Town, execute, acknowledge, and deliver an agreement for the benefit of the Town that contains substantive provisions that are substantially similar to the Declaration.

16. Non-pervious patios are not allowed. Patios shall be constructed of pervious set flagstone”

PRIOR TO ISSUANCE OF BUILDING PERMIT

17. Applicant shall submit proof of ownership of the project site.
18. Applicant shall submit and obtain approval from the Town Engineer of final drainage, grading, utility, and erosion control plans.
19. Applicant shall provide plans stamped by a registered professional engineer licensed in Colorado, to the Town Engineer for all retaining walls over four feet in height. **Applicant shall obtain written approval from the Breckenridge Open Space and Trails Department for any portion of any retaining walls encroaching into the platted 25-foot public trail easement.**
20. **Plans shall show the location of the Cucumber Gulch Wildlife Preserve notice (attached), to be permanently attached inside each entryway.**
21. **Plans shall show the location of the Cucumber Gulch Wildlife Preserve HOT TUB DRAINAGE RESTRICTIONS (attached), to be permanently attached at the location of future hot tub.**
22. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
23. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
24. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
25. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant’s responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.
26. The public access to the lot shall have an all weather surface, drainage facilities, and all utilities installed acceptable to Town Engineer. Fire protection shall be available to the building site by extension of the Town’s water system, including hydrants, prior to any construction with wood. In the event the water system is installed, but not functional, the Fire Marshall may allow wood construction with temporary facilities, subject to approval.

27. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
28. Applicant shall submit to and obtain approval from the Department of Community Development a defensible space plan showing trees proposed for removal and the approximate location of new landscaping, including species and size. Applicant shall meet with Community Development Department staff on the Applicant's property to mark trees for removal and review proposed new landscaping to meet the requirements of Policy 22 (Absolute) Landscaping, for the purpose of creating defensible space.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

29. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
30. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
31. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
- 32. Applicant shall provide the Town with a HERS index energy analysis that has been prepared by a registered design professional.**
33. Applicant shall create defensible space around all structures as required in Policy 22 (Absolute) Landscaping.
34. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
35. Applicant shall screen all utilities.
36. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15 feet in height from finished grade or 7 feet above upper decks.
37. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.
38. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
39. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and

specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**

40. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
41. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)



SHOCK HILL OVERLOOK - LOT 5

SHOCK HILL . TRACT E . LOTS 5A & 5B
 52 & 48 WEST POINT LODGE
 BRECKENRIDGE . COLORADO

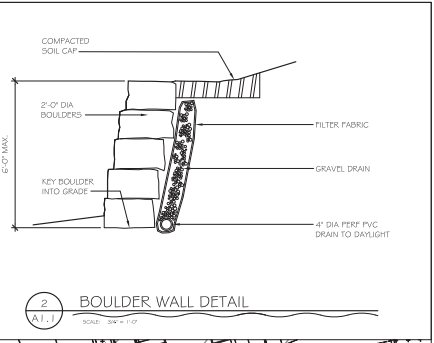
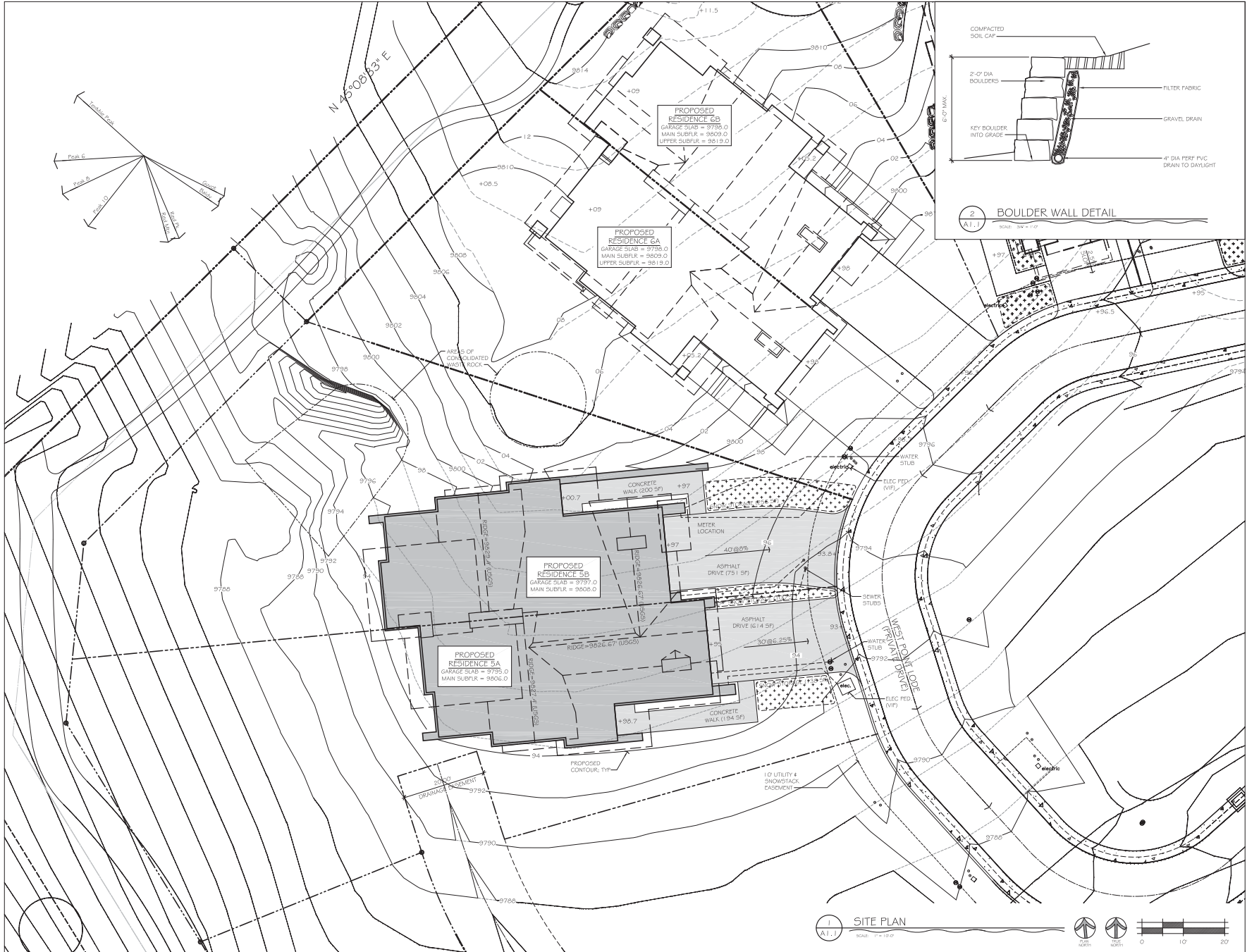


ALLEN GUERRA ARCHITECTURE
 P.O. BOX 699
 BRECKENRIDGE, COLORADO 80401
 PH: 970.662.0222
 FAX: 970.662.0220
 E-MAIL: INFO@ALLEN.GUERRA.COM
 WWW.SITE: WWW.ALLEN.GUERRA.COM

SHOCK HILL OVERLOOK - LOT 5
 SHOCK HILL SUBDIVISION . TRACT E . LOTS 5A & 5B . 52 & 48 WEST POINT LODGE
 BRECKENRIDGE . COLORADO
 TITLE: COVER SHEET
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ISSUE	DATE
PRELIM	7 MAR 2016
PLANNING	8 APR 2016
PROJECT # 809	

CS



ALLEN-GUERRA DESIGN-BUILD
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 PH: 970.463.4000
 FAX: 970.463.4040
 E-MAIL: INFO@ALLEN-GUERRA.COM
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SHOCK HILL OVERLOOK - LOT 5
 SHOCK HILL - TRACT E, LOTS 5A & 5B, 5C & 48 WEST POINT LOPE
 BRECKENRIDGE, COLORADO

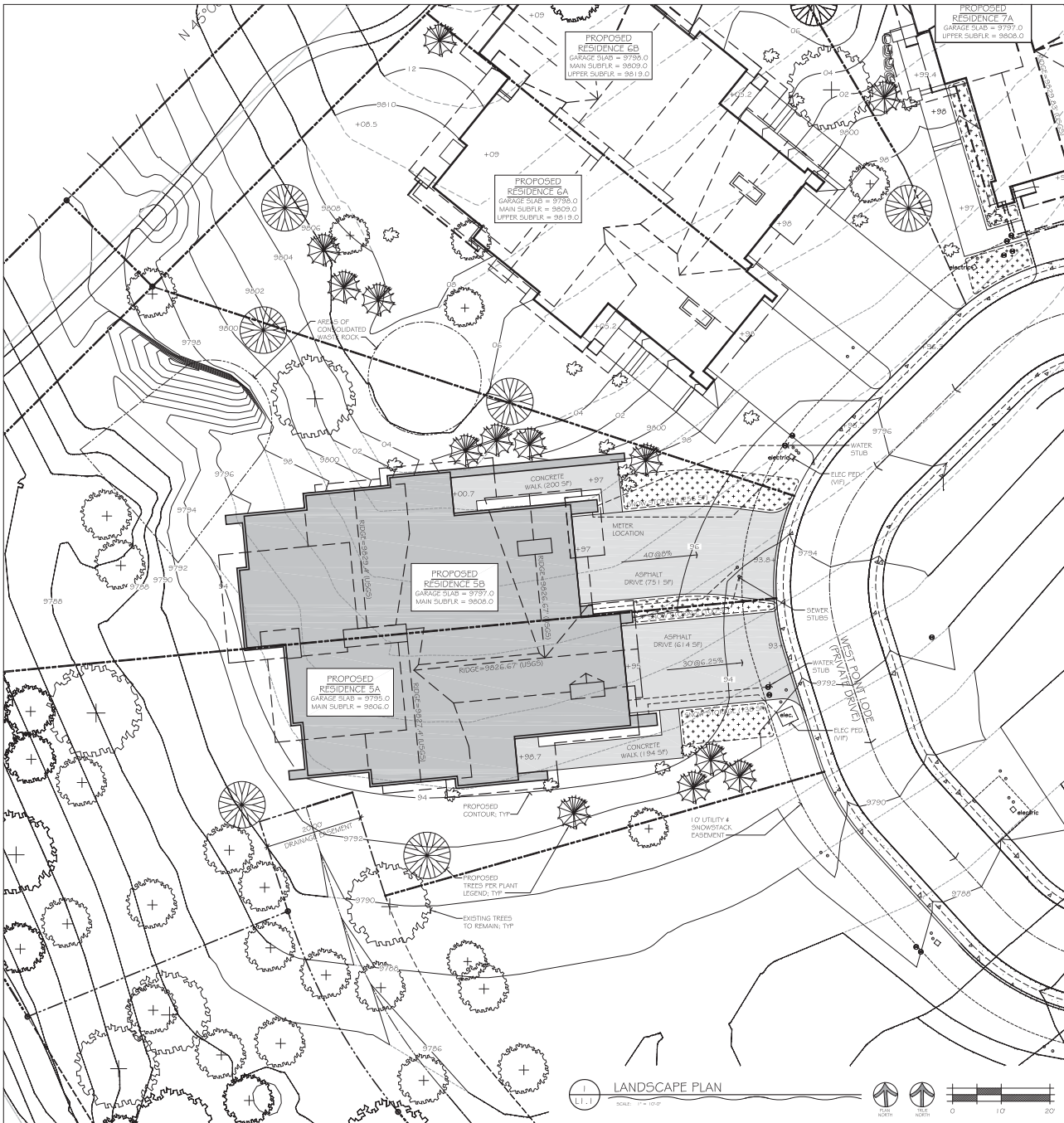
SITE PLAN

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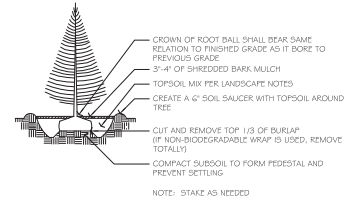
DATE	REVISION
7 MAR 2016	PRELIM
8 APR 2016	PLANNING

PROJECT # 15113

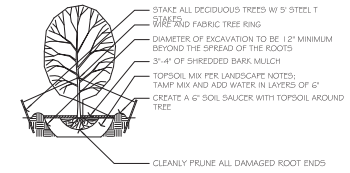
A.I.I.



CONIFEROUS TREE PLANTING



DECIDUOUS TREE PLANTING



LANDSCAPE NOTES

- EROSION CONTROL METHODS: CONTROL ALL RUNOFF WITHIN SITE PER SUBDIVISION STANDARDS AND COUNTY REQUIREMENTS BY UTILIZING, SINGLE OR IN COMBINATION, NON-EROSIVE DRAINAGE MATS, SILT FENCING, DIVERSION SWALES, AND DICES AS NECESSARY TO TRAP, INTERCEPT, AND DIVERT RUNOFF WITHIN BUILDING ENVELOPE.
- NATIVE LANDSCAPING AREA IN CONTACT WITH BUILDING ENVELOPE WILL BE PROTECTED FROM ROOF RUNOFF AS SHOWN IN WALL SECTION. RIVER ROCK RIPRAP IS TO EXTEND 8" BEYOND DRIP LINE.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PROMOTE XERISCAPING - PER TOWN OF BRECKENRIDGE CODE SECTION 8403.1.C.3.
- ALL EXISTING TREES WITHIN 10' OF THE PROPOSED RESIDENCE MUST BE REMOVED TO CREATE DEFENSIBLE SPACE, PER TOWN CODE.
- TREE REMOVAL TO BE COORDINATED BETWEEN OWNER, GENERAL CONTRACTOR, AND TOWN PLANNING STAFF, PRIOR TO REMOVAL.
- ALL AREAS WITHIN BUILDING ENVELOPE AND WITHIN 40' OF DRIVEWAY OUTSIDE OF ENVELOPE TO BE RE-VEGETATED WITH 100% NATIVE HIGH COUNTRY GRASS SEED MIXTURE CONSISTING OF:
30% SLENDER WHEATGRASS
15% CANBY BLUEGRASS
10% BIG BLUEGRASS
10% IDAHO FESCUE
10% SHEEP FESCUE
10% WESTERN WHEATGRASS
5% BLUE WILDMITE
5% TUFTED HAREGRASS
ALONG WITH A MIXTURE OF PERENNIALS & GROUND COVER, PER SUMMIT COUNTY DEVELOPMENT CODE.
- A DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO ALL NEW TYPES OF TREES AND SHRUBS, PER THE TOWN REQUIREMENTS.

PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	8	RIBES ALPINUM & ROSA WOODSII	ALPINE CURRANT & WOODS ROSE	5 GAL
	8	POPULUS TREMULOIDES	ASPEN	(4) 1.5" CAL (4) 2" CAL
	4	PICEA PUNGENS	COLORADO SPRUCE	(2) 12" (2) 14"
		ALL DISTURBED LOCATIONS (SEE LANDSCAPE NOTES)		



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SHOCK HILL OVERLOOK - LOT 5
SHOCK HILL - TRACT E, LOTS 5A & 5D, 52 & 48 WEST POINT LOBE
BRECKENRIDGE, COLORADO

LANDSCAPE PLAN







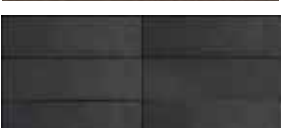


ISSUE	DATE
PRELIM	7 MAR 2016
PLANNING	8 APR 2016

PROJECT # 15113



LOT 5 SHOCK HILL OVERLOOK

EXTERIOR MATERIALS SCHEDULE
DATE: 8 APRIL 2016

LABEL	ITEM	COLOR	DESCRIPTION
M1	ROOF		GAF TIMBERLINE ULTRA HD -50 YEAR, COLOR SHALL BE "WEATHERED WOOD"
M2	METAL ROOF		US METALS. STANDING SEAM. COLOR - DARK BRONZE
M3	FASCIA		2X CEDAR PER DETAIL - STAIN WITH SUPERDECK 2320 "CAPE BLACKWOOD"
M4	SOFFIT		1X6 CEDAR T&G - STAIN WITH SUPERDECK 2318 "TEAK"
M5	VERTICAL SIDING		1X6 T&G CEDAR "V-GROOVE" - STAIN WITH SUPERDECK 2111 "HARBOR GRAY"
M6	HORIZONTAL SIDING		2x2 CEDAR "V"-GROOVE - STAIN WITH SUPERDECK 2750 "BURNT HICKORY"
M7	METAL SIDING		2'x6'x3/16" STEEL PANELS NATURAL MILL SCALE - PERMALAC SPRAY FINISH
M8	CAP AT STONE VENEER		3" SANDSTONE "TAN"
M9	STONE VENEER		OKLAHOMA CUT STONE

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, FLASHING, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC, SHALL BE DARK BRONZE



LOT 5 SHOCK HILL OVERLOOK

EXTERIOR MATERIALS SCHEDULE
DATE: 8 APRIL 2016

LABEL	ITEM	COLOR	DESCRIPTION
M10	CHIMNEY CAP		3X3 TUBE STEEL - POWDER COATED "BRONZE" & WOVEN WIRE MESH - PAINTED BLACK
M11	DOORS/ WINDOWS		SIERRA PACIFIC WINDOW COMPANY #071 "DARK BRONZE"
M12	TYPICAL TRIM		3X & 4X CEDAR PER DETAILS - STAIN WITH SUPERDECK 2320 "CAPE BLACKWOOD"
M13	EXPOSED POSTS/ BEAMS		DOUG FIR - STAIN WITH SUPERDECK 2318 "TEAK"
M14	EXPOSED RAFTER TAILS		3X DOUG FIR - STAIN WITH SUPERDECK 2318 "TEAK"
M15	GARAGE DOORS		CEDAR PER DETAILS - STAIN WITH SUPERDECK PANELS: 2111 "HARBOR GRAY" TRIM: 2318 "TEAK"
M16	FLASHING, GUTTERS & DOWNSPOUTS		COLOR SHALL MATCH M2

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, FLASHING, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC, SHALL BE DARK BRONZE



LOT 5
SHOCK HILL OVERLOOK
BRECKENRIDGE . COLORADO



EXTERIOR LIGHT FIXTURE

MANUFACTURER: HUBARDTON FORGE

MODEL: AIRIS SMALL

DIMENSIONS: 18.3" HEIGHT; 4.5" WIDTH

FINISH: DARK SMOKE WITH REFLECT TEXTURE PLATE

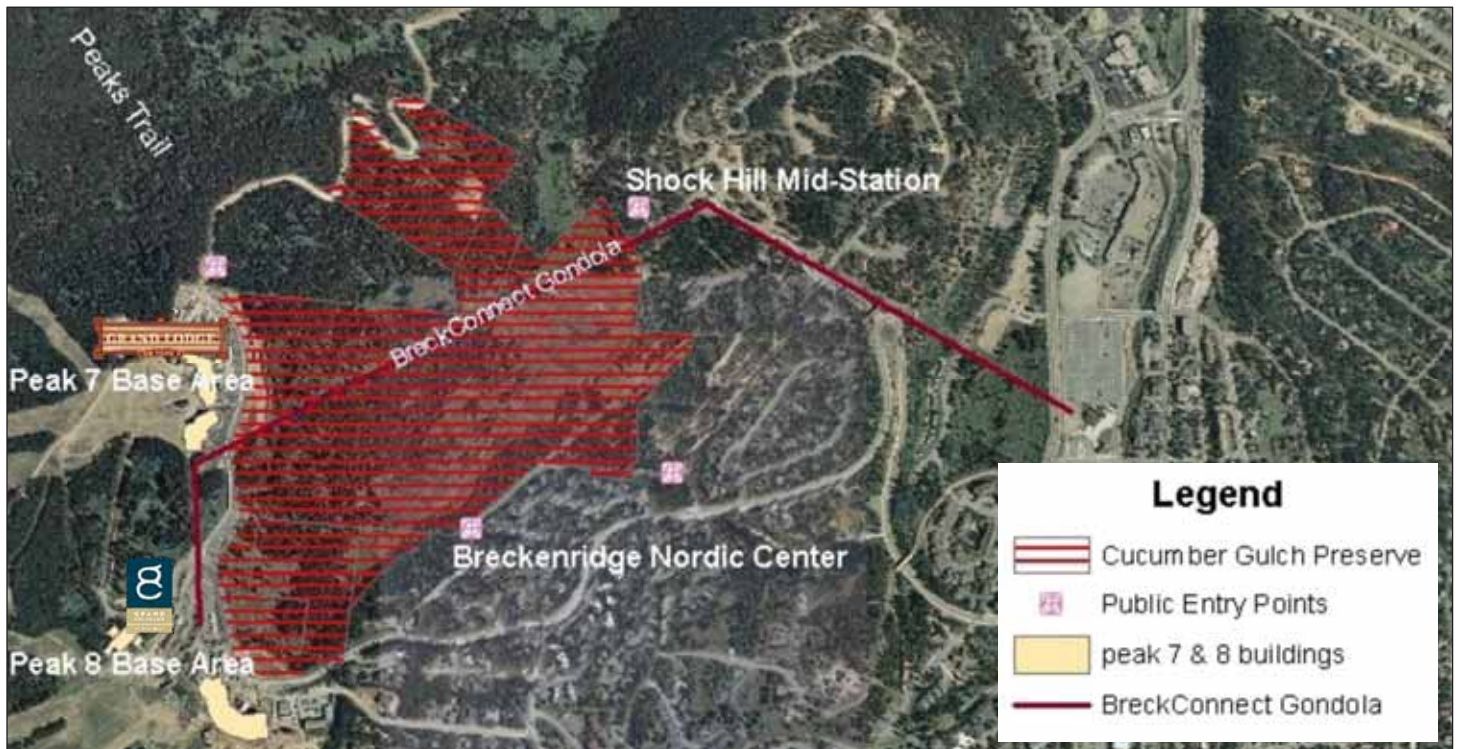
MAX WATTAGE: 35 WATTS

DESCRIPTION: RECESSED LIGHT BULB WITH TEXTURED BACKPLATE; DARK SKY FRIENDLY



Cucumber Gulch Wildlife Preserve

The Shock Hill Overlook asks that our owners and guests respect the sensitivity of the Cucumber Gulch Wildlife Preserve. This groundwater-fed, fen wetland complex naturally purifies water in Cucumber Creek, while also providing an exceptional habitat for moose, beaver, muskrat, migratory birds and other animals. Within Cucumber Gulch are some of the most biologically diverse and sensitive wetlands within the State of Colorado; thus, this sensitive ecosystem is in great need of protection. Thank you for your help in maintaining this unique wetland area so close to our resort.



Seasonal Closures

In order to protect vulnerable wildlife during chick-rearing and moose-calving season, Cucumber Gulch closes each year from the second week of April through the first Monday after July 4th. The Town of Breckenridge Open Space & Trails Department would be happy to suggest alternative trail options during this time period.

Visitation

Visitors to Cucumber Gulch Wildlife Preserve must remain on designated trails, enter through official entry points and respect seasonal closures. Low intensity, human-powered uses are welcome seasonally as conditions permit. Such activities include hiking, nature-watching, Nordic skiing, snowshoeing, trail running and mountain biking.

Restricted Activities

The following activities are prohibited in the Preserve:

- Off-trail travel
- Pets of any kind
- Special events
- Groups larger than 8
- Hunting or the possession of firearms
- Overnight stays or camping
- Activities between dusk and dawn
- Operation of motor vehicles
- Alcohol consumption
- Horseback riding
- Fishing



Pets disturb the preserve's local wildlife and vegetation. Under no circumstance are they allowed within the Preserve.

Please visit the website for more information



Cucumber Gulch Wildlife Preserve

HOT TUB DRAINAGE RESTRICTIONS

Due to the sensitive nature of the Cucumber Gulch Wildlife Preserve ecosystem, hot tubs within the Shock Hill Overlook Subdivision are NOT permitted to drain into the stormwater system, nor toward the Cucumber Gulch. The floor drain in this deck is the only acceptable location to drain the hot tub.

Jacuzzi restricciones de drenaje debido a la naturaleza sensible del ecosistema pepino quebrada preservar la vida silvestre, bañeras de hidromasaje dentro de la subdivisión de vistas a colina de choque no se permite drenar en el sistema de aguas pluviales, ni hacia la Quebrada de pepino. El drenaje en el piso en este deck es el lugar sólo aceptable para desaguar la tina caliente

For more information on the Cucumber Gulch Wildlife Preserve, visit

www.townofbreckenridge.com

Planning Commission Staff Report

- Subject:** Lances West Condominium Exterior Remodel
(Class C Minor; PL-2015-0058)
- Proposal:** An exterior remodel to the Buildings A, B and C. The proposal includes removal of all T-111 siding and the removal of some of the stucco. New 1X8 cedar siding, cedar shingle siding, replacement windows and cedar trim and accent. Natural stone will replace portions the stucco where removed.
- Date:** April 25, 2016 (For meeting of May 3, 2016)
- Project Manager:** Michael Mosher, Planner III
- Applicant/Owner:** Lances West Condo HOA
- Agent:** Equinox Architecture, Robbie Dixon
- Address:** 144, 146 and 148 Broken Lance Drive
- Legal Description:** Four Seasons at Breckenridge Village, Lot 7B, Buildings A, B and C
- Site Area:** 0.42 acres (18,264 sq. ft.)
- Land Use District:** 24, Residential 20 Units per Acre (UPA)
- Site Conditions:** The east portion of the property is entirely paved for access and parking. The north and south ends of the property have small landscaped areas with mature conifers. The west is heavily wooded. A 5-foot utility easement flanks the north, west and south property lines.
- Adjacent Uses:** Multi-family residential
- Density/Mass:** No changes
- Height:** No changes
- Parking/Snowstack:** No changes

Item History

Lances West was constructed in 1971 consisting of 15 units in three buildings. There have been several minor improvements (re-roof, staining, etc.) to the exterior since.

Staff Comments

Architectural Compatibility (5/R): The existing finishes on each building include stucco on the lower level only. The existing stucco is less than 25% on each elevation. The proposed remodel will replace

portions of the stucco with a natural stone veneer (Telluride Stone - Beaver Creek). The remaining stucco (still less than 25% of any elevation) will be painted a tan color.

Stone on Building A: North Elevation and East Elevations.

Stone on Building B: South Elevation.

Stone on Building C: North Elevation and East Elevations.

Building C will have a timber low roof addition over the existing garage doors with a rusted corrugated roof.

For all of the buildings, the rest of the exterior wall finishes are natural cedar. The existing wood deck railing will be replaced with wood railing with black powder coated metal newels. The chimney caps have a rusted corrugated shroud.

New doors and windows are proposed in the same size and location as the existing. New cedar trim-work will be added at each. New exterior lighting is proposed utilizing a full cut-off fixture.

From the submitted plans:

1. Chimney Shroud: Custom Fabricated Chimney Shroud w/ Pre-Rusted Corrugated Steel Over 2"x2" Steel Angle Frame Set On New Pre-Finished Chimney Cap w/ 2X10 R.S. Cedar Fascia.
2. Lap Siding: 1X8 Horizontal Lap Siding, 7/8" Select (Min.), Tight-Knot, Rough Sawn Cedar Siding, Over existing siding.
3. Shingle Siding: Shakertown "Craftsman" Cedar Shingle Panels w/ 7" Exposure, Over 1/2" Dow "Styrofoam" Insulation Board Sheathing (R-3), Over DuPont "tyvek" Drain-Wrap Applied Over Existing Siding.
4. Stucco: Re-Paint Stucco To Remain Exposed.
5. Stone Ledge: 3"x4" Sandstone Ledge/Cap. Slope To Drain & Provide 26 GA. Flashing @ Juncture.
6. Stone Wainscot: Thin-Gauged (<=2") Natural Stone Veneer Wainscot (Telluride Stone- Beaver Creek), Over Existing Stucco.
7. Replacement Windows: Eagle/Anderson, E-Series (Or Equal) Aluminum-Clad Wood Casement Windows, Fixed I Picture Windows, & Sliding Patio Doors Per Window & Door Schedule. Verify All Existing Rough Openings. Include Operating Windows Where Indicated Or Required For Egress By Code.
8. Replacement Doors: Therma-Tru (Or Equal) Fiber-Glass Insulated Replacement Entry Doors Per Window & Door Schedule. Provide "Speak-Easy" Top-Lights Where Indicated.
9. Window & Door Trim: 2X8 Rough-Sawn Cedar Head Trim w/ Beveled Top & 26 GA. Head Flashing, Extend Sides 8" Past Rough Openings, 2X6 Rough-Sawn Cedar Window Side & Sill Trim. Beveled Tops of Head & Sill Trim for Drainage.
10. Frieze Trim: 2X6 Rough-Sawn Cedar Frieze Trim Boards.
11. Corner Trim: 2X6 Rough-Sawn Cedar Corner Trim Boards.
12. Band-Board: 2x4 Rough-Sawn Cedar Water-Table Over 2X12 Rough-Sawn Cedar Band-Board, Provide 26 GA. Flashing Cap Above Water-Table With Drip-Edge.
13. Railings: 4x4 D.F. Newels, 2X6 Tamko "Evergrain" Composite Top Rail, w/ 1/2" round Steel Picket Panels Mounted Within 2x4 Top & Bottom Rail.
14. Decking: Provide 2xg Tamko 11evergrain11 (Or Equal) Composite Replacement Decking @ Unit Decks, Existing Decking To Remain @ Common Area Access Balconies.
15. Deck Fascia: 2x 12 Rough-Sawn Cedar Deck Fascia Over (2)-2X10 H.F. Deck Rim Board Attached To Existing 2X10 Cantilevered Deck Joists Per Structural Plans.

16. Chimney Base: Typical Band-Board & (2) 6X8 D.F. Struts Down To Stone Ledge.
17. Exterior Lights: “Dark Sky” Down-Cast Exterior Light Fixtures. Install In Existing Locations.
18. Garage Doors: Metal Over-Head, Insulated, Garage Doors with 1X4 Wood Trim & Paneling per Door & Window Schedule.
19. Low Roof Addition To Building C: 2x10 H.F. Gable & Shed Roof Framing, With 6X10 D.F. Ridge Beam, 6x10D.F. King Post, 6X10 D.F. Cross Beam, 6X10 D.F. Plate/ Corbel Beams, & 6X8 D.F. Column Struts.

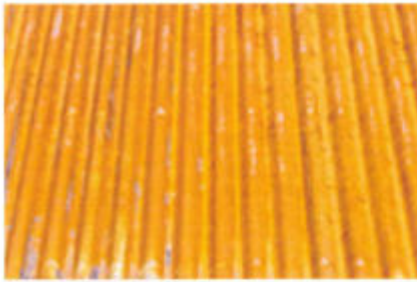
Drainage (27/A & 27/R): None of the proposed improvements have any impact on the site drainage.

Landscaping (22/A and 22/R): None of the existing landscaping is being removed and none is being added. The north and south ends of the property have small landscaped areas with mature conifers buffering the neighboring multi-family buildings. The west is heavily wooded with healthy trees between other multi-family buildings. Access to the property from the abutting ROW is nearly clear of any landscaping with a large paved parking lot allowing easy fire department access. We have no concerns.

Point Analysis (Section: 9-1-17-3): As presented the application passes all absolute policies in the Development Code and has been awarded any positive or negative points under any relative policies.

Staff Decision

The Planning Department has approved Lances West Condominium Exterior Remodel (PL-2015-0058) with the attached Findings and Conditions.



Low Roof: Rusted
Corrugated Metal Roofing



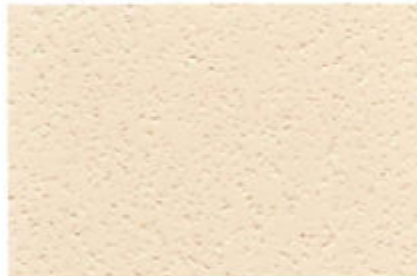
Timber, Fascia & Trim Stain:
Superdeck Canyon Brown



Stone Wainscot:
Telluride Beaver Creek



Siding Stain (Lap & Shingle):
Superdeck Walnut Brown



Stucco:
Humbolt P-105



Window Cladding:
Eagle Sierra Bronze

Exterior Lights:
Minka / Lavery "Kirkham" #48404



Colors & Materials:
Lances West Condo Renovation
Equinox Architecture LLC
4/6/16 #10714

TOWN OF BRECKENRIDGE

**Lances West Condominium Exterior Remodel
Four Seasons at Breckenridge Village, Lot 7B, Buildings A, B and C
144, 146 and 148 Broken Lance Drive
PL-2015-0058**

STAFF RECOMMENDATION: Staff has approved this application with the following Findings and Conditions and recommends the Planning Commission uphold this decision.

FINDINGS

1. The project is in accord with the Development Code and does not propose a prohibited use.
2. The project will not have significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives, which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 25, 2016**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 3, 2016** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. This permit expires eighteen (18) months from date of issuance, on **November 10, 2017**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be 18 months, but without the benefit of any vested property right.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.
5. Nothing in this permit shall constitute an agreement by the Town of Breckenridge to issue a certificate of occupancy for the project covered by this permit. The determination of whether a certificate of occupancy should be issued for such project shall be made by the Town in accordance with the applicable provisions of the Town Code, including, but not limited to the building code.
6. All hazardous materials used in construction of the improvements authorized by this permit shall be disposed of properly off site.

7. Each structure which is authorized to be developed pursuant to this permit shall be deemed to be a separate phase of the development. In order for the vested property rights associated with this permit to be extended pursuant to Section 9-1-17-11(D) of the Breckenridge Development Code, substantial construction must be achieved for each structure within the vested right period of this permit.

PRIOR TO ISSUANCE OF BUILDING PERMIT

8. Any exposed foundation wall in excess of 12 inches shall be finished (i.e. textured or painted) in accordance with the Breckenridge Development Code Section 9-1-19-5R.
9. Applicant shall identify all existing trees, which are specified on the site plan to be retained, by erecting temporary fence barriers around the trees to prevent unnecessary root compaction during construction. Construction disturbance shall not occur beyond the fence barriers, and dirt and construction materials or debris shall not be placed on the fencing. The temporary fence barriers are to remain in place until issuance of the Certificate of Occupancy.
10. Existing trees designated on the site plan for preservation which die due to site disturbance and/or construction activities will be required to be replaced at staff discretion with equivalent new trees, i.e. loss of a 12 inch diameter tree flagged for retention will be offset with the addition of four 3-inch diameter new trees.
11. Applicant shall submit and obtain approval from the Town of a construction staging plan indicating the location of all construction material storage, fill and excavation material storage areas, portolet and dumpster locations, and employee vehicle parking areas. No staging is permitted within public right of way without Town permission. Any dirt tracked upon the public road shall be the applicant's responsibility to remove. Contractor parking within the public right of way is not permitted without the express permission of the Town, and cars must be moved for snow removal. A project contact person is to be selected and the name provided to the Public Works Department prior to issuance of the building permit.

PRIOR TO ISSUANCE OF CERTIFICATE OF COMPLETION

12. Applicant shall revegetate all disturbed areas with a minimum of 2 inches topsoil, seed and mulch.
13. Applicant shall remove leaf clutter, dead branches and dead standing trees from the property, dead branches on living trees shall be trimmed to a minimum height of six (6) feet and a maximum height of ten (10) feet above the ground.
14. Applicant shall remove all vegetation and combustible material from under all eaves and decks.
15. Applicant shall paint all garage doors, metal flashing, vents, flues, rooftop mechanical equipment, meters, and utility boxes on the building a flat, dark color or to match the building color.
16. Applicant shall screen all utilities.
17. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. Exterior residential lighting shall not exceed 15' in height from finished grade or 7' above upper decks.
18. At all times during the course of the work on the development authorized by this permit, the permittee shall refrain from depositing any dirt, mud, sand, gravel, rubbish, trash, wastepaper, garbage, construction material, or any other waste material of any kind upon the public street(s) adjacent to the construction site. Town shall provide oral notification to permittee if Town believes that permittee has violated this condition. If permittee fails to clean up any material deposited on the street(s) in violation of this condition within 24 hours of oral notice from Town, permittee agrees that the Town may clean up such material without further notice and permittee agrees to reimburse the Town for the costs incurred by the Town in cleaning the streets. Town shall be required to give notice to permittee of a violation of this condition only once during the term of this permit.

19. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
20. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied. If either of these requirements cannot be met due to prevailing weather conditions, the Town may issue a Certificate of Occupancy or Certificate of Compliance if the permittee enters into a Cash Deposit Agreement providing that the permittee will deposit with the Town a cash bond, or other acceptable surety, equal to at least 125% of the estimated cost of completing any required work or any applicable condition of approval, and establishing the deadline for the completion of such work or the satisfaction of the condition of approval. The form of the Cash Deposit Agreement shall be subject to approval of the Town Attorney. "Prevailing weather conditions" generally means that work can not be done due to excessive snow and/or frozen ground. **As a general rule, a cash bond or other acceptable surety will only be accepted by the Town between November 1 and May 31 of the following year. The final decision to accept a bond as a guarantee will be made by the Town of Breckenridge.**
21. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.
22. The development authorized by this Development Permit may be subject to the development impact fee imposed by Resolution 2006-05 of the Summit County Housing Authority. Such resolution implements the impact fee approved by the electors at the general election held November 7, 2006. Pursuant to intergovernmental agreement among the members of the Summit Combined Housing Authority, the Town of Breckenridge is authorized to administer and collect any impact fee which is due in connection with development occurring within the Town. For this purpose, the Town has issued administrative rules and regulations which govern the Town's administration and collection of the impact fee. ***Applicant will pay any required impact fee for the development authorized by this Development Permit prior to the issuance of a Certificate of Occupancy.***

(Initial Here)

LEGAL DESCRIPTION
 Lances West Condominium,
 A Re-subdivision of Lot 7b, Four Seasons at
 Breckenridge Village, Filing # 1,
 Town of Breckenridge, Colorado

SHEET INDEX

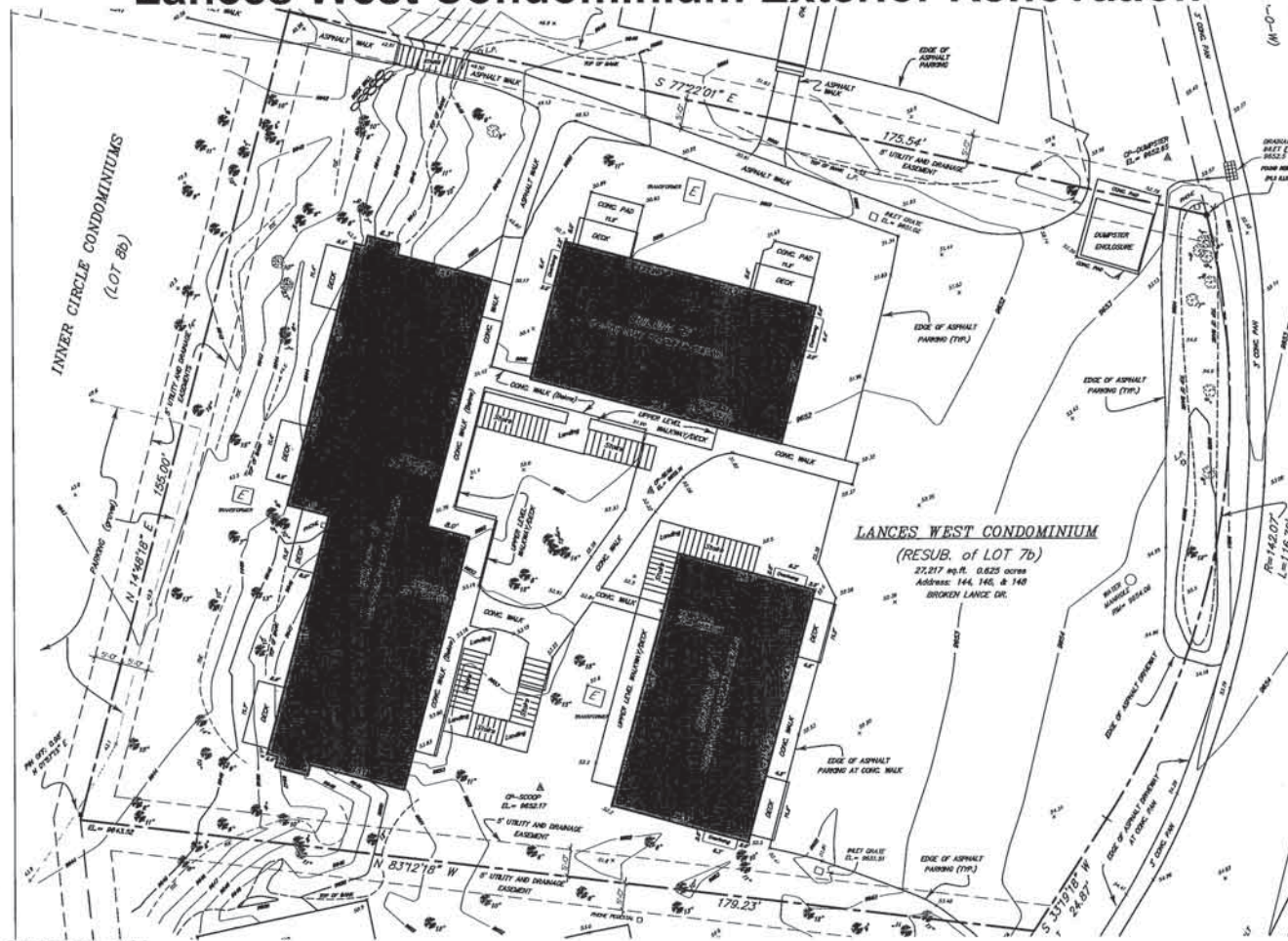
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 A2 BUILDING A PROPOSED NORTH ELEVATION
 A3 BUILDING A EXISTING NORTH ELEVATION
 A4 BUILDING A PROPOSED EAST ELEVATION
 A5 BUILDING A EXISTING EAST ELEVATION
 A6 BUILDING A PROPOSED SOUTH ELEVATION
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 A17 BUILDING C PROPOSED & EXISTING WEST ELEVATIONS
 A18 ARCHITECTURAL WALL SECTIONS & DETAILS,
 WINDOW & DOOR SCHEDULE

S1 STRUCTURAL NOTES, PLANS & DETAILS
 S2 STRUCTURAL PLANS & DETAILS
 S3 STRUCTURAL DETAILS

GENERAL NOTES

- The set of drawings contained within constitutes a "builder's set" only. Use of these documents shall make the Contractor responsible for project coordination, finishes and detailing to complete the project per "Construction Industry Standards". These drawings are an instrument of service and are the exclusive property of EQUINOX Architecture LLC. They may not be duplicated, disclosed, or reproduced without the expressed written consent of EQUINOX Architecture LLC.
- Due to the complexity of the Design and Construction process, omissions and discrepancies may arise. Notify the Architect immediately to resolve any issues prior to any construction. Changes from the plans made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility of any and all consequences resulting from such changes.
- All construction and construction methods shall be in compliance of all applicable codes in force at the time of construction. These drawings were designed in accordance with the 2012 IRC as adopted by the Town of Breckenridge. Contractor shall follow all Town of Breckenridge construction guidelines.
- Existing conditions were drawn from information taken from the original construction plans, & photographs. Contractor shall verify all existing dimensions, and notify Architect of discrepancies.
- Due to harsh winter conditions, roof and deck surfaces must be maintained relatively free of ice and snow in order to mitigate any possible problems with these surfaces.
- All dimensions are to face of wood or concrete, verify all dimensions shown on plans prior to construction start (do not scale drawings) and notify Architect of any discrepancies.
- Square footage calculations are for code purposes only and should be recalculated for any other purpose.

Lances West Condominium Exterior Renovation



SITE PLAN

PROJECT TEAM				
OWNER Lances West Condo HOA HOA President : Greg Mosche 16577 Dyer Way Breckenridge, CO 80423-4665 (303) 956-3657 gregmosche@comcast.net	PROPERTY MANAGEMENT Four Seasons Property Management P.O. Box Breckenridge, CO 80424 (970) 453-1403 mchuck@colorado.net	ARCHITECT Equinox Architecture LLC P.O. Box 6217 Breckenridge, CO 80424 (970) 453-9619 rob@equinoxarchitecture.com	GENERAL CONTRACTOR CornerStone Building, Inc. P.O. Box 6625 Breckenridge, CO 80424 (970) 485-0596 cornerstonebuilding@yahoo.com	STRUCTURAL ENGINEER Backcountry Structural Engineering 0090 Road M, Box 23132 Silverthorne, CO 80490 (970) 333-1511 ps@bctstructural.com
				SURVEYOR Range West, Inc. P.O. Box 509 Silverthorne, CO 80490 (970) 465-6281 Dobe@rangewestinc.com

Lances West Condominiums Exterior Renovation
 144, 145 & 146 Broken Lance Drive,
 Breckenridge, Colorado



EQUINOX ARCHITECTURE LLC
 P.O. Box 6217, Breckenridge, CO 80424
 (970) 453-9619
 www.equinoxarchitecture.com

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 job # 10714
 date 4/4/16
 drawn by RSD
 checked by RSD
 issued for Construction 4/4/16

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PROPOSED SCOPE KEYNOTES

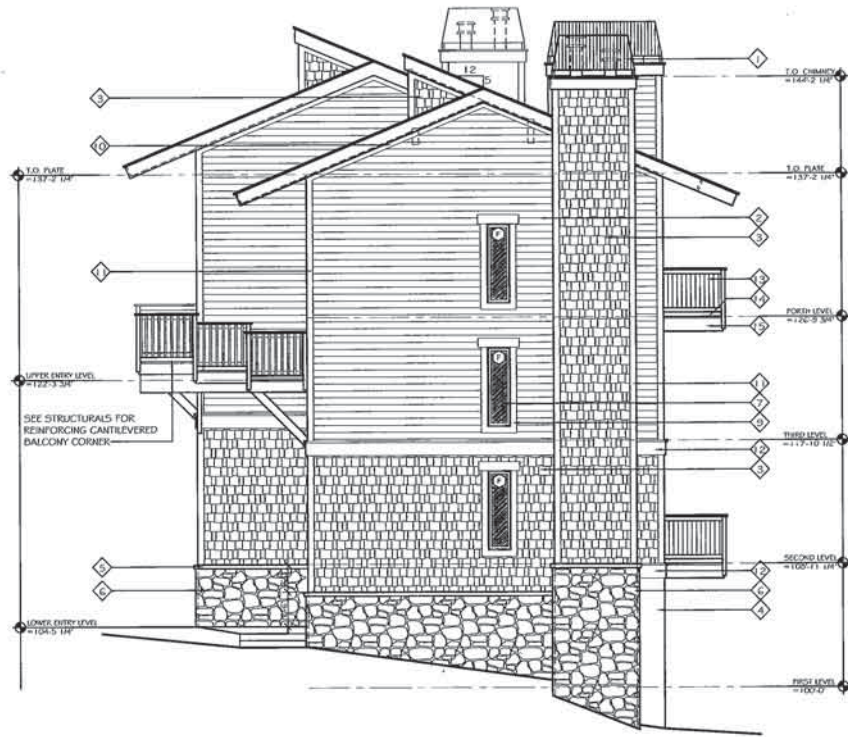
- ① CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 R.S. CEDAR FASCIA.
- ② LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUPONT "TYVEK" DRAIN-WRAP AFFLIED OVER EXISTING SIDING.
- ③ SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUPONT "TYVEK" DRAIN-WRAP AFFLIED OVER EXISTING SIDING.
- ④ STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- ⑤ STONE LEDGE: 3"x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2x GA. FLASHING @ JUNCTURE.
- ⑥ STONE WAINSCOT: THIN-GAUGED (5/2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - DEAVER CREEK), OVER EXISTING STUCCO.
- ⑦ REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASEMENT WINDOWS, PRED 7 PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- ⑧ REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- ⑨ WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ DEVELED TOP & 2x GA. HEAD FLASHING, EXTEND SIDES 2" PAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM. DEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- ⑩ FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- ⑪ CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- ⑫ BAND-BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2x GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIP-EDGE.
- ⑬ RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2"x3" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- ⑭ DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- ⑮ DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- ⑯ CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x8 D.F. STRUTS DOWN TO STONE LEDGE.
- ⑰ EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- ⑱ GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- ⑲ LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. KING POST, 6x10 D.F. GROSS BEAM, 6x10 D.F. PLATE / CORBEL BEAMS, & 6x8 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A1 & FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

- ① EXISTING T-111 PLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- ② EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- ③ REMOVE EXISTING BAND-BOARDS & TRIM.
- ④ REMOVE EXISTING UNIT DECK DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- ⑤ EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- ⑥ REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- ⑦ REMOVE EXISTING DOORS FOR REPLACEMENT.
- ⑧ REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- ⑨ REMOVE SLOPED CHIMNEY BASE.

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING A PROPOSED NORTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Broadlands Lane Drive,
Breckenridge, Colorado



EQUINOX
ARCHITECTURE LLC
P.O. Box 6217, Breckenridge, CO 80424
303-461-1111
www.equinoxarchitecture.com

©	2016
Job #	10714
Drawn by	4/A/J/G
Checked by	RKD
Issued for	RKD
Construction	
4/A/J/G	

Sheet

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PROPOSED SCOPE KEYNOTES

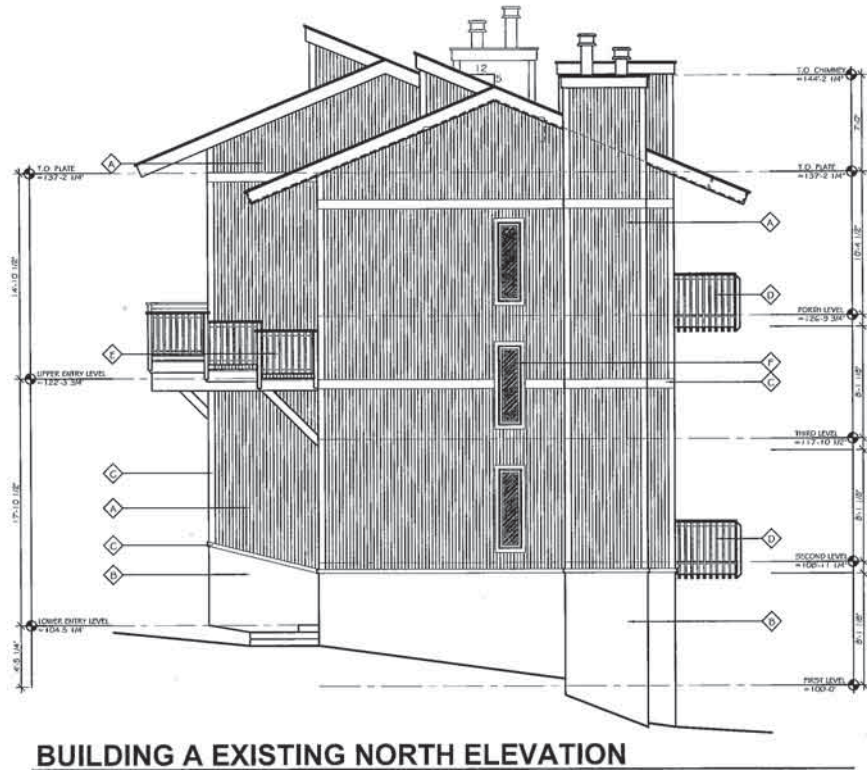
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- ② LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUFOUP TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ③ SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUFOUP TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ④ STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- ⑤ STONE LEDGE: 3/4"x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
- ⑥ STONE WAINSCOT: THIN-GAUGED (5/2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- ⑦ REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASEMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- ⑧ REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SWEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- ⑨ WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 8" FAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM. BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- ⑩ FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- ⑪ CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- ⑫ BAND-BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIF-EDGE.
- ⑬ RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2"x3" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- ⑭ DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- ⑮ DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- ⑯ CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x8 D.F. STRUTS DOWN TO STONE LEDGE.
- ⑰ EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- ⑱ GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- ⑲ LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. RANG POST, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORBEL BEAMS, & 6x6 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A1 & FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

- ① EXISTING T-111 PLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- ② EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- ③ REMOVE EXISTING BAND-BOARDS & TRIM.
- ④ REMOVE EXISTING UNIT DECK DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- ⑤ EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- ⑥ REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- ⑦ REMOVE EXISTING DOORS FOR REPLACEMENT.
- ⑧ REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- ⑨ REMOVE SLOPED CHIMNEY BASE

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING A EXISTING NORTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Broken Lance Drive,
Breckenridge, Colorado



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BUILDING A PROPOSED EAST ELEVATION
 1/4"=1'-0"

Lances West Condominiums
 Exterior Renovation

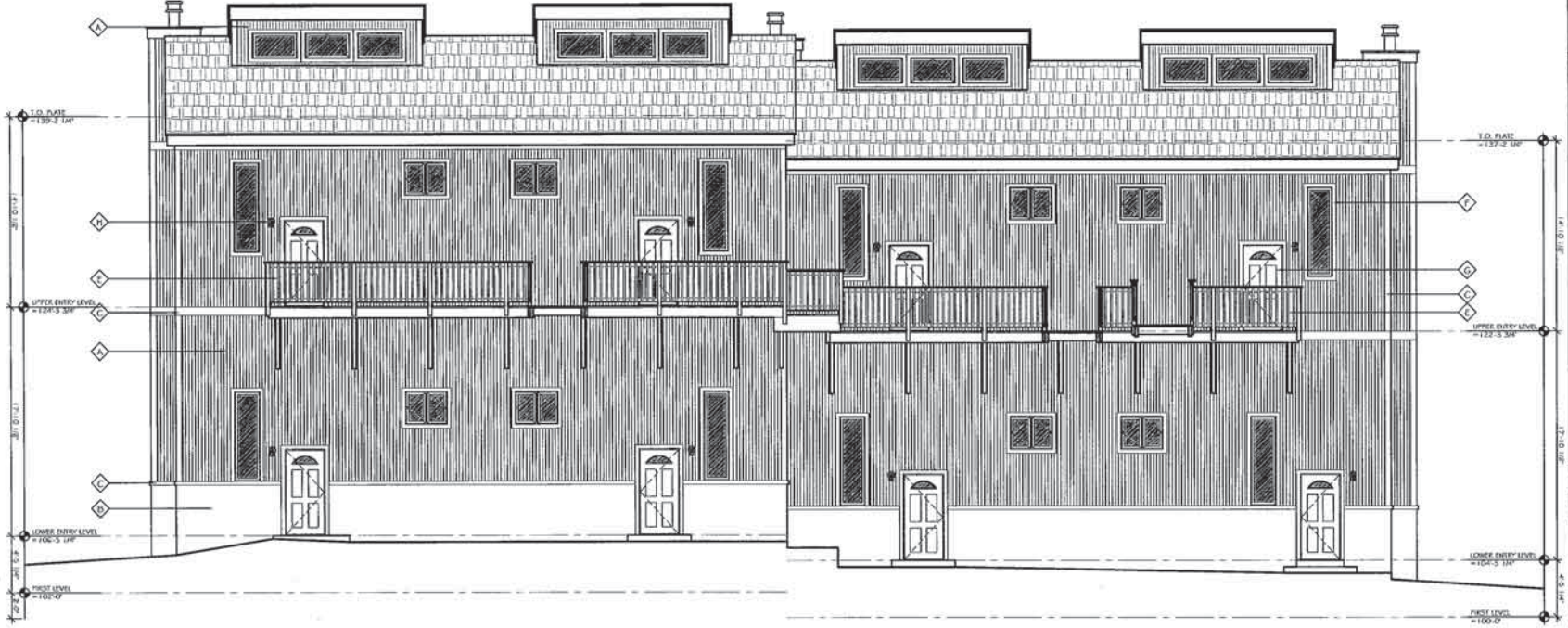
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BUILDING A EXISTING EAST ELEVATION
 1/4"=1'-0"

Lances West Condominiums
 Exterior Renovation
 144, 146 & 148 Broken Lance Drive,
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PROPOSED SCOPE KEYNOTES

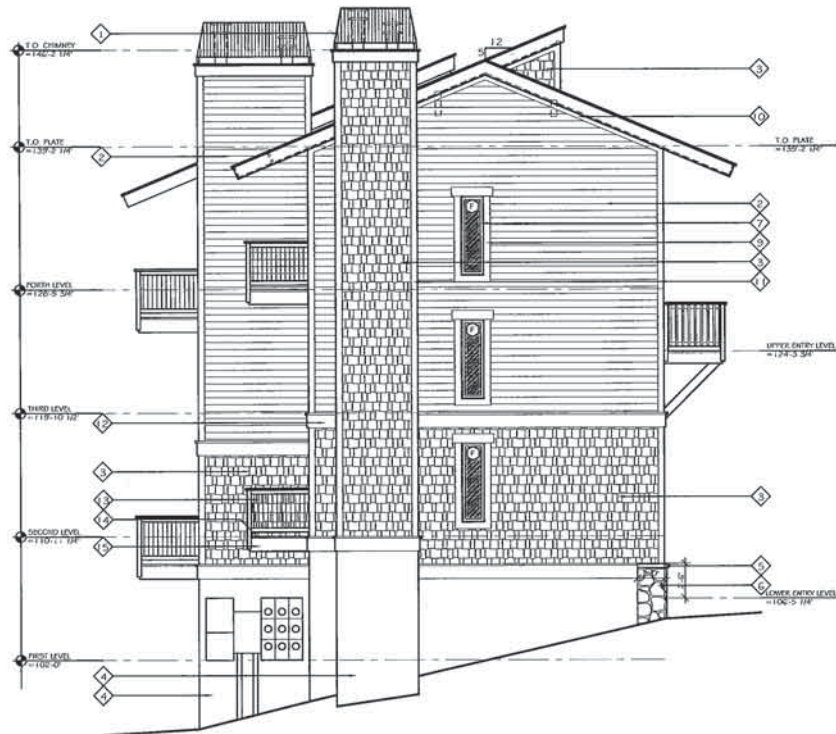
- ① CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2"x10 R.L.S. CEDAR FASCIA.
- ② LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT AWN., TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ③ SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ④ STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- ⑤ STONE LEDGE: 3"x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
- ⑥ STONE WAINSCOT: THIN-GAUGED (5-2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- ⑦ REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- ⑧ REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- ⑨ WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 2" PAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM, BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- ⑩ FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- ⑪ CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- ⑫ BAND-BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIF-EDGE.
- ⑬ RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2"Ø STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- ⑭ DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- ⑮ DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- ⑯ CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x6 D.F. STRUTS DOWN TO STONE LEDGE.
- ⑰ EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- ⑱ GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1/4" WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- ⑳ LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. RANG POST, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORBEL BEAMS, & 6x6 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A18 FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

- ① EXISTING T-111 PLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- ② EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- ③ REMOVE EXISTING BAND-BOARDS & TRIM.
- ④ REMOVE EXISTING UNIT DECK DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- ⑤ EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- ⑥ REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- ⑦ REMOVE EXISTING DOORS FOR REPLACEMENT.
- ⑧ REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- ⑨ REMOVE SLOPED CHIMNEY BASE

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING A PROPOSED SOUTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 145 & 146 Boulder Lane Drive,
Boulder, Colorado



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PROPOSED SCOPE KEYNOTES

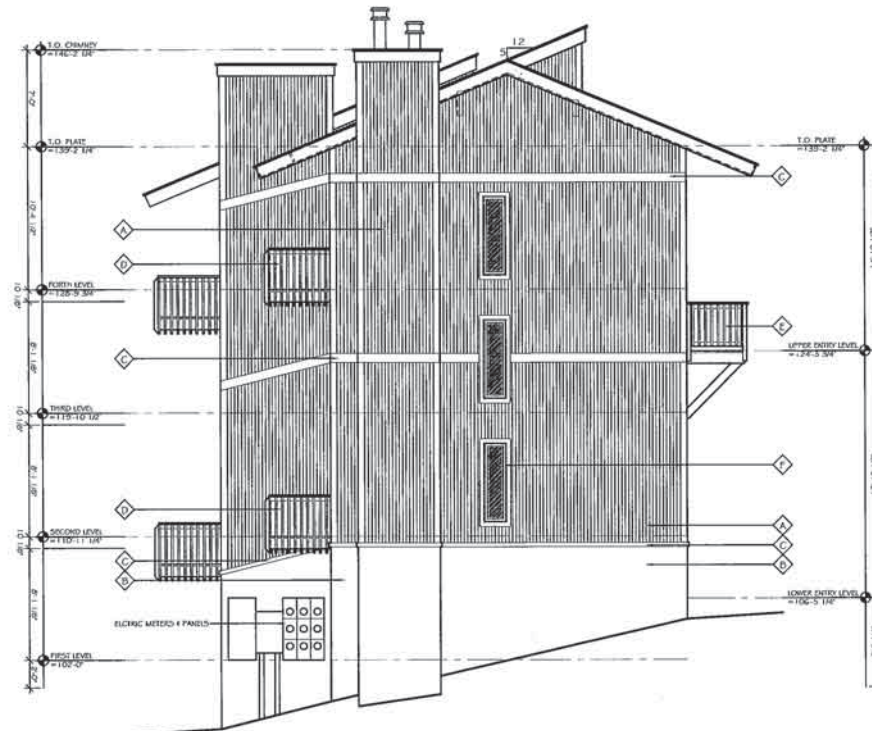
- 1 CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 R.S. CEDAR FASCIA.
- 2 LAF SIDING: 1x6 HORIZONTAL LAF SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- 3 SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUPONT "TYVEK" DRAIN-WRAP APPLIED OVER EXISTING SIDING.
- 4 STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- 5 STONE LEDGE: 3"x4" SANDSTONE LEDGE / CAP, SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
- 6 STONE WANSKOT: THIN-GUAGED (5/2") NATURAL STONE VENEER WANSKOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- 7 REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASIMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- 8 REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- 9 WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 6" FAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM. BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- 10 FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- 11 CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- 12 BAND BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIP-EDGE.
- 13 RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAN" COMPOSITE TOP RAIL, W/ 1/2" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- 14 DECKING: PROVIDE 2x6 TAMKO "EVERGRAN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- 15 DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- 16 CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x6 D.F. STRUTS DOWN TO STONE LEDGE.
- 17 EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- 18 GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ & 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- 19 LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. KING POST, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORBEL BEAMS, & 6x6 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A1 & B FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

- 1 EXISTING T-111 PLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- 2 EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- 3 REMOVE EXISTING BAND-BOARDS & TRIM.
- 4 REMOVE EXISTING UNIT DECK, DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- 5 EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- 6 REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- 7 REMOVE EXISTING DOORS FOR REPLACEMENT.
- 8 REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- 9 REMOVE SLOPED CHIMNEY BASE

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING A EXISTING SOUTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 145 & 146 Broad Lances Drive,
Breckenridge, Colorado



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BUILDING A PROPOSED WEST ELEVATION
1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 145 & 148 Broken Land Drive,
Breckenridge, Colorado



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BUILDING A EXISTING WEST ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

L.A. LAC # 148 Broken Line Drive,
Breckenridge, Colorado



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PROPOSED SCOPE KEYNOTES

- ① CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2'X2' STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 K.S. CEDAR FASCIA.
- ② LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ③ SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ④ STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- ⑤ STONE LEDGE: 3/4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
- ⑥ STONE WAINSCOT: THIN-GRADED (5/2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- ⑦ REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASEMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- ⑧ REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- ⑨ WINDOW & DOOR TRIM: 2x4 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 2" PAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM. BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- ⑩ FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- ⑪ CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- ⑫ BAND-BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIF-EDGE.
- ⑬ RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
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- ⑮ DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- ⑯ CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x8 D.F. STRUTS DOWN TO STONE LEDGE.
- ⑰ EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- ⑱ GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- ⑳ LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. KING POST, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORREL BEAMS, & 6x8 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A10 FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

- ① EXISTING T-111 FLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- ② EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- ③ REMOVE EXISTING BAND-BOARDS & TRIM.
- ④ REMOVE EXISTING UNIT DECK DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- ⑤ EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- ⑥ REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- ⑦ REMOVE EXISTING DOORS FOR REPLACEMENT.
- ⑧ REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- ⑨ REMOVE SLOPED CHIMNEY BASE

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING B PROPOSED NORTH ELEVATION



BUILDING B EXISTING NORTH ELEVATION

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Brown Lane Dr.
Breckenridge, Colorado



EQUINOX
ARCHITECTURE LLC

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PROPOSED SCOPE KEYNOTES

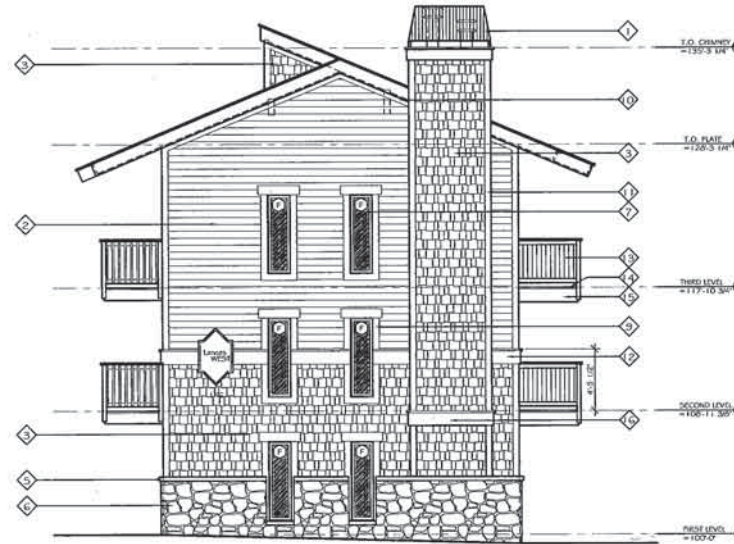
- ① CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 K.S. CEDAR FASCIA.
- ② LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ③ SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ④ STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- ⑤ STONE LEDGE: 3x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
- ⑥ STONE WAINSCOT: THIN-GRADED (5x2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- ⑦ REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- ⑧ REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAR-EASY" TOP-LIGHTS WHERE INDICATED.
- ⑨ WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 6" PAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM, BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- ⑩ FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- ⑪ CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- ⑫ BAND BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIF-EDGE.
- ⑬ RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2"x2" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- ⑭ DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- ⑮ DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F., DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- ⑯ CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x6 D.F. STRUTS DOWN TO STONE LEDGE.
- ⑰ EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES, INSTALL IN EXISTING LOCATIONS.
- ⑱ GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- ⑲ LOW ROOF ADDITION TO BUILDING C: 2x10 H.F., GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. TRUSS FOOT, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORSEL BEAMS, & 6x8 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A16 FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

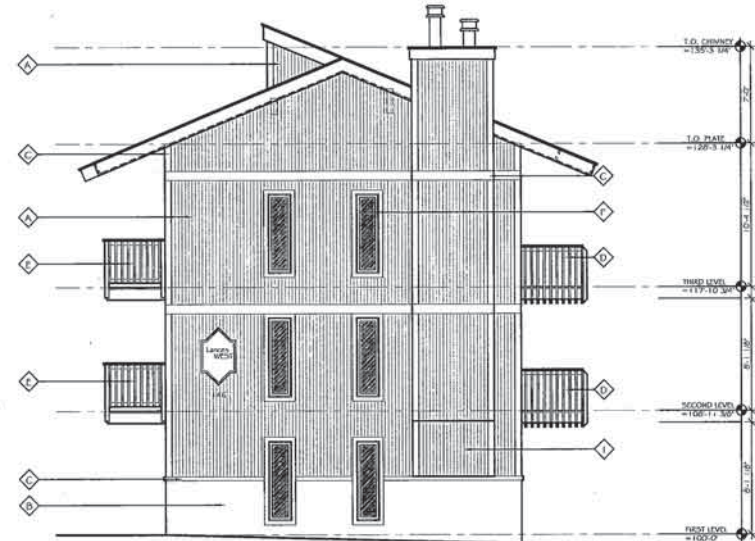
- ① EXISTING T-111 FLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- ② EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- ③ REMOVE EXISTING BAND-BOARDS & TRIM.
- ④ REMOVE EXISTING UNIT DECK DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- ⑤ EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- ⑥ REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- ⑦ REMOVE EXISTING DOORS FOR REPLACEMENT.
- ⑧ REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- ⑨ REMOVE SLOPED CHIMNEY BASE.

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING B PROPOSED EAST ELEVATION

1/4"=1'-0"



BUILDING B EXISTING EAST ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Broken Lance Drive,
Breckenridge, Colorado



EQUINOX
ARCHITECTURE LLC
P.O. Box 6217, Breckenridge, CO 80424
info@equinoxarch.com
www.equinoxarch.com

2016
JOB # 10714
DATE 4/4/16
DRAWN BY RKC
CHECKED BY RKC
ISSUED FOR CONSTRUCTION
4/4/16

Sheet

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PROPOSED SCOPE KEYNOTES

- 1 CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2'X2' STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 R.L.S. CEDAR FASCIA.
- 2 LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- 3 SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- 4 STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- 5 STONE LEDGE: 35x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
- 6 STONE WAINGSOT: TRIM-GUAGED (52") NATURAL STONE VENEER WAINGSOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- 7 REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASEMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- 8 REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- 9 WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 2" FAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM. BEVELED TOPS OF SILL TRIM FOR DRAINAGE.
- 10 FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- 11 CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- 12 BAND BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIP-EDGE.
- 13 RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2"Ø STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- 14 DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- 15 DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- 16 CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x6 D.F. STRUTS DOWN TO STONE LEDGE.
- 17 EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- 18 GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1/4" WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- 19 LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. TRUSS FOOT, 6x10 D.F. GROSS BEAM, 6x10 D.F. PLATE / CORBEL BEAMS, & 6x6 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

NOTE: SEE A10 FOR WALL SECTIONS & DETAILS

DEMO SCOPE KEYNOTES

- 1 EXISTING T-111 PLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
- 2 EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
- 3 REMOVE EXISTING BAND-BOARDS & TRIM.
- 4 REMOVE EXISTING UNIT DECK, DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
- 5 EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
- 6 REMOVE EXISTING WINDOWS FOR REPLACEMENT.
- 7 REMOVE EXISTING DOORS FOR REPLACEMENT.
- 8 REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- 9 REMOVE SLOPED CHIMNEY BASE

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING B PROPOSED SOUTH ELEVATION

1/4"=1'-0"



BUILDING B EXISTING SOUTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Broken Lance Drive,
Breckenridge, Colorado



EQUINOX
ARCHITECTURE LLC
P.O. Box 6217, Breckenridge, CO 80424
303.461.1111
www.equinoxarchitecture.com

2014	2014
job #	10714
date	4/4/14
drawn by	RKD
checked by	RKD
Issued for	
Construction	4/4/14

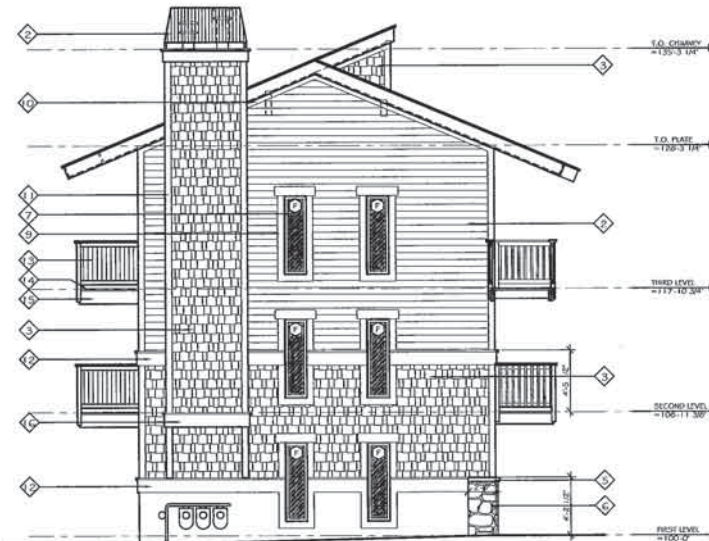
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PROPOSED SCOPE KEYNOTES

- 1 CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 K.S. CEDAR FASCIA.
 - 2 LAF SIDING: 1x6 HORIZONTAL LAF SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
 - 3 SHINGLE SIDING: SHAKEKTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW "STYROFOAM" INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
 - 4 STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
 - 5 STONE LEDGE: 3x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 2G GA. FLASHING @ JUNCTURE.
 - 6 STONE WAINSCOT: THIN-GAUGED (5/2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
 - 7 REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASEMENT WINDOWS, FIXED / PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
 - 8 REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
 - 9 WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 2G GA. HEAD FLASHING, EXTEND SIDES 6" PAST ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM, BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
 - 10 FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
 - 11 CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
 - 12 BAND BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIP-EDGE.
 - 13 RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
 - 14 DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
 - 15 DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
 - 16 CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x8 D.F. STRUTS DOWN TO STONE LEDGE.
 - 17 EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
 - 18 GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
 - 19 LOW ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. KING POST, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORBEL BEAMS, & 6x8 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.
- NOTE: SEE A10 FOR WALL SECTIONS & DETAILS

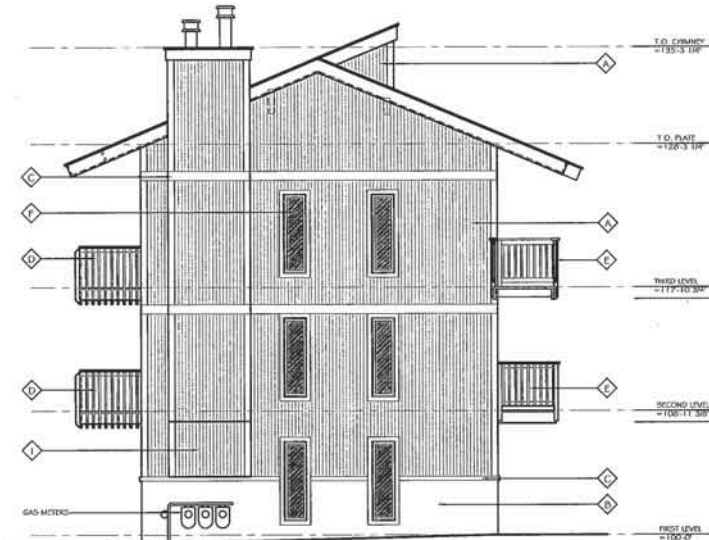
DEMO SCOPE KEYNOTES

- 1 EXISTING 1-1/1 FLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
 - 2 EXISTING STUCCO TO REMAIN. REPAIR AS NECESSARY TO RECEIVE NEW COLOR COATING / PAINT OR BE SUBSTRATE FOR STONE.
 - 3 REMOVE EXISTING BAND-BOARDS & TRIM.
 - 4 REMOVE EXISTING UNIT DECK DECKING, RAILINGS & DECK FASCIA FOR REPLACEMENT.
 - 5 EXISTING COMMON AREA ACCESS BALCONY RAILING & DECK ASSEMBLIES ARE TO REMAIN.
 - 6 REMOVE EXISTING WINDOWS FOR REPLACEMENT.
 - 7 REMOVE EXISTING DOORS FOR REPLACEMENT.
 - 8 REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
 - 9 REMOVE SLOPED CHIMNEY BASE
- NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING B PROPOSED WEST ELEVATION

1/4"=1'-0"



BUILDING B EXISTING WEST ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

1.44, 1.45 & 1.48 Boulder Lane Drive,
Breckenridge, Colorado



EQUINOX
ARCHITECTURE LLC
P.O. Box 68217, Breckenridge, CO 80424
970.493.8618
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2016	2016
job #	10714
state	44/16
drawn by	RSD
checked by	RSD
Issued for Construction	4/4/16

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of 16

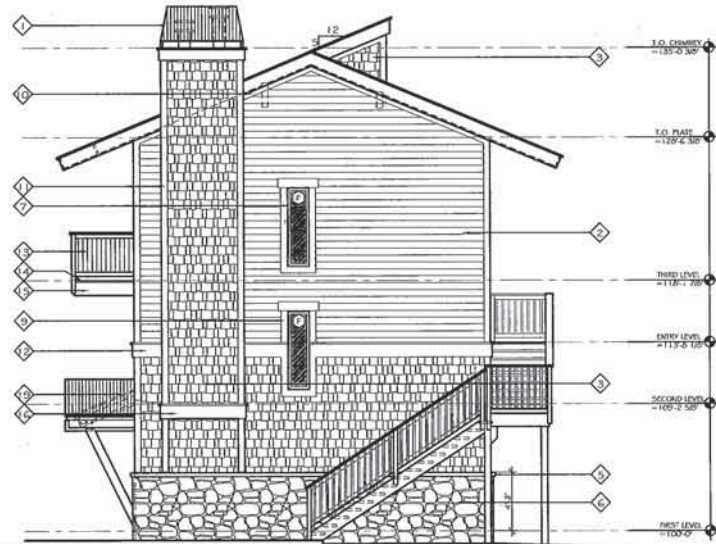
PROPOSED SCOPE KEYNOTES

- 1 CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2x10 R.S. CEDAR FASCIA.
- 2 LAP SIDING: 1x6 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-KNOT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- 3 SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- 4 STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
- 5 STONE LEDGE: 3"x4" SANDSTONE LEDGE / CAP. SLOPE TO DRAIN & PROVIDE 26 GA. FLASHING @ JUNCTURE.
- 6 STONE WAINSCOT: THIN-GAUGED (5/2") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
- 7 REPLACEMENT WINDOWS: EAGLE / ANDERSON, E-SERIES (OR EQUAL) ALUMINUM-CLAD WOOD CASMENT WINDOWS, FIXED PICTURE WINDOWS, & SLIDING PATIO DOORS PER WINDOW & DOOR SCHEDULE. VERIFY ALL EXISTING ROUGH OPENINGS. INCLUDE OPERATING WINDOWS WHERE INDICATED OR REQUIRED FOR EGRESS BY CODE.
- 8 REPLACEMENT DOORS: THERMA-TRU (OR EQUAL) FIBER-GLASS INSULATED REPLACEMENT ENTRY DOORS PER WINDOW & DOOR SCHEDULE. PROVIDE "SPEAK-EASY" TOP-LIGHTS WHERE INDICATED.
- 9 WINDOW & DOOR TRIM: 2x6 ROUGH-SAWN CEDAR HEAD TRIM W/ BEVELED TOP & 26 GA. HEAD FLASHING, EXTEND SIDES 8" FACT ROUGH OPENINGS, 2x6 ROUGH-SAWN CEDAR WINDOW SIDE & SILL TRIM, BEVELED TOPS OF HEAD & SILL TRIM FOR DRAINAGE.
- 10 FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- 11 CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- 12 BAND-BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 26 GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIP-EDGE.
- 13 RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAH" COMPOSITE TOP RAIL, W/ 1/2"x3" STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- 14 DECKING: PROVIDE 2x6 TAMKO "EVERGRAH" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
- 15 DECK FASCIA: 2x12 ROUGH-SAWN CEDAR DECK FASCIA OVER (2)-2x10 H.F. DECK RIM BOARD, ATTACHED TO EXISTING 2x10 CANTILEVERED DECK JOISTS PER STRUCTURAL PLANS.
- 16 CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x8 D.F. STRUTS DOWN TO STONE LEDGE.
- 17 EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
- 18 GARAGE DOORS: METAL OVER-HEAD, INSULATED, GARAGE DOORS W/ 1x4 WOOD TRIM & PANELING PER DOOR & WINDOW SCHEDULE.
- 19 LEAK ROOF ADDITION TO BUILDING C: 2x10 H.F. GABLE & SHED ROOF FRAMING, WITH 6x10 D.F. RIDGE BEAM, 6x6 D.F. KING POST, 6x10 D.F. CROSS BEAM, 6x10 D.F. PLATE / CORREL BEAMS, & 6x8 D.F. COLUMN STRUTS. SEE STRUCTURAL PLANS FOR BEAM SPECS & DETAILS.

DEMO SCOPE KEYNOTES

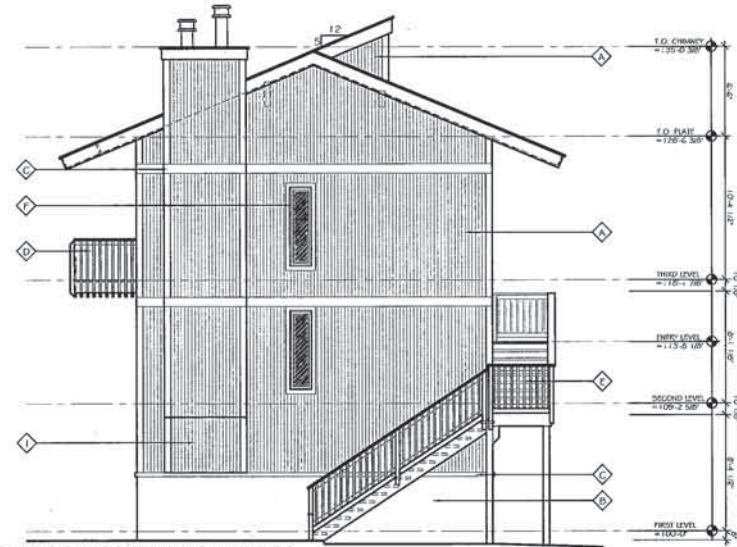
- 1 EXISTING T-111 PLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
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- 7 REMOVE EXISTING DOORS FOR REPLACEMENT.
- 8 REMOVE EXISTING EXTERIOR LIGHT FIXTURES FOR REPLACEMENT.
- 9 REMOVE SLOPED CHIMNEY BASE.

NOTE: ALL EXTERIOR COMPONENTS NOT LISTED ABOVE SHALL REMAIN. REPAIR OR MAINTAIN THESE COMPONENTS AS NECESSARY.



BUILDING C PROPOSED NORTH ELEVATION

1/4"=1'-0"



BUILDING C EXISTING NORTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 142 & 148 Boulder Lane Drive,
Breadstamagen, Colorado



EQUINOX
ARCHITECTURE LLC
F.O. Box 6217, Breckenridge, CO 80424
970-453-9619 (phone /fax)
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2014
job # 10714
date 4/9/14
drawn by RJC
checked by RJC
issued for Construction 4/9/14

Sheet
A14
of 16

PROPOSED SCOPE KEYNOTES

- ① CHIMNEY SHROUD: CUSTOM FABRICATED CHIMNEY SHROUD W/ PRE-RUSTED CORRUGATED STEEL OVER 2"x2" STEEL ANGLE FRAME SET ON NEW PRE-FINISHED CHIMNEY CAP W/ 2"x10 R.S., CEDAR FASCIA.
- ② LAP SIDING: 1x8 HORIZONTAL LAP SIDING, 7/8" SELECT (MIN.), TIGHT-JOINT, ROUGH SAWN CEDAR SIDING, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ③ SHINGLE SIDING: SHAKERTOWN "CRAFTSMAN" CEDAR SHINGLE PANELS W/ 7" EXPOSURE, OVER 1/2" DOW STYROFOAM INSULATION BOARD SHEATHING (R-3), OVER DUPONT TYVEK "DRAIN-WRAP" APPLIED OVER EXISTING SIDING.
- ④ STUCCO: RE-PAINT STUCCO TO REMAIN EXPOSED.
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- ⑥ STONE WAINSCOT: THIN-GAUGED (5/8") NATURAL STONE VENEER WAINSCOT (TELLURIDE STONE - BEAVER CREEK), OVER EXISTING STUCCO.
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- ⑩ FRIEZE TRIM: 2x6 ROUGH-SAWN CEDAR FRIEZE TRIM BOARDS.
- ⑪ CORNER TRIM: 2x6 ROUGH-SAWN CEDAR CORNER TRIM BOARDS.
- ⑫ BAND-BOARD: 2x4 ROUGH-SAWN CEDAR WATER-TABLE OVER 2x12 ROUGH-SAWN CEDAR BAND-BOARD, PROVIDE 2G GA. FLASHING CAP ABOVE WATER-TABLE WITH DRIP-EDGE.
- ⑬ RAILINGS: 4x4 D.F. NEWELS, 2x6 TAMKO "EVERGRAIN" COMPOSITE TOP RAIL, W/ 1/2"Ø STEEL PICKET PANELS MOUNTED WITHIN 2x4 TOP & BOTTOM RAIL.
- ⑭ DECKING: PROVIDE 2x6 TAMKO "EVERGRAIN" (OR EQUAL) COMPOSITE REPLACEMENT DECKING @ UNIT DECKS, EXISTING DECKING TO REMAIN @ COMMON AREA ACCESS BALCONIES.
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- ⑯ CHIMNEY BASE: TYPICAL BAND-BOARD & (2)-6x6 D.F. STRUTS DOWN TO STONE LEDGE.
- ⑰ EXTERIOR LIGHTS: "DARK SKY" DOWN-CAST EXTERIOR LIGHT FIXTURES. INSTALL IN EXISTING LOCATIONS.
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DEMO SCOPE KEYNOTES

- ① EXISTING T-111 FLYWOOD SIDING TO REMAIN. REPAIR AS NECESSARY TO BECOME SUBSTRATE FOR NEW SIDING.
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- ⑨ REMOVE SLOPED CHIMNEY BASE.

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BUILDING C PROPOSED EAST ELEVATION



BUILDING C EXISTING EAST ELEVATION

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Broad Street Drive,
Breckenridge, Colorado



EQUINOX
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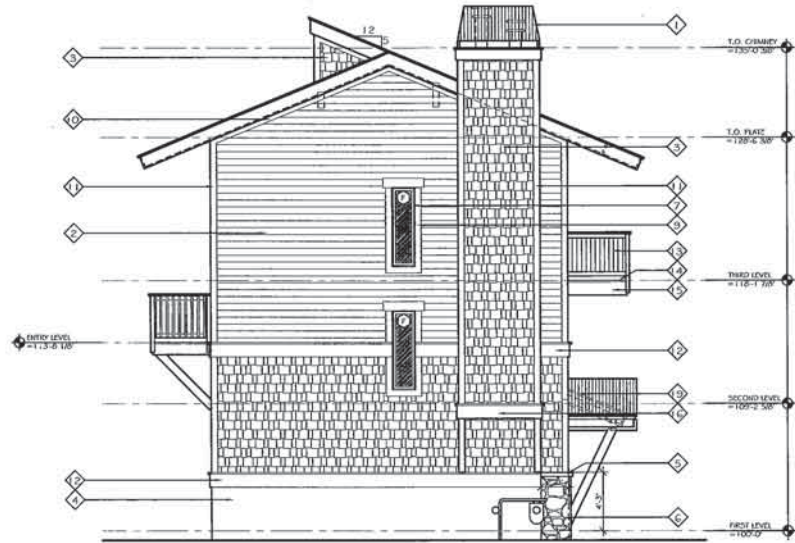
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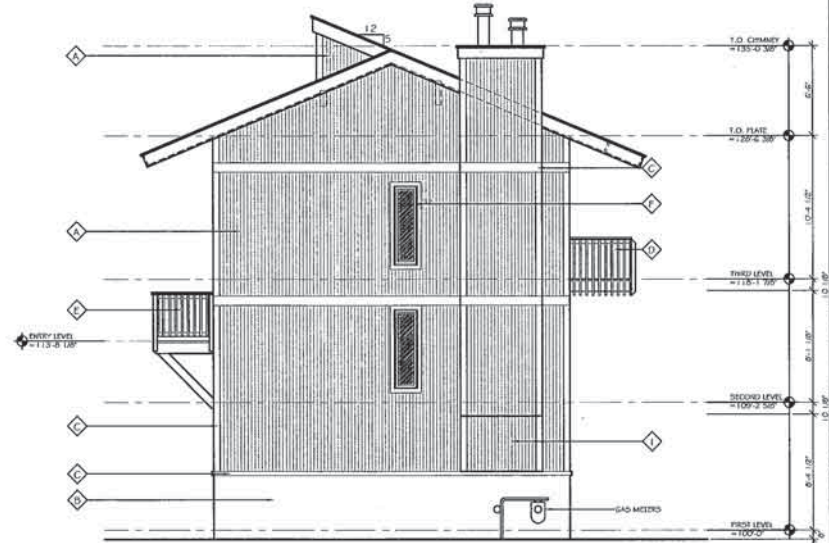
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BUILDING C PROPOSED SOUTH ELEVATION

1/4"=1'-0"



BUILDING C EXISTING SOUTH ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 146 & 148 Boulder Lakes Drive,
Breckenridge, Colorado



EQUINOX
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P.O. Box 6217, Breckenridge, CO 80424
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DRAWN BY RSC
CHECKED BY RSC

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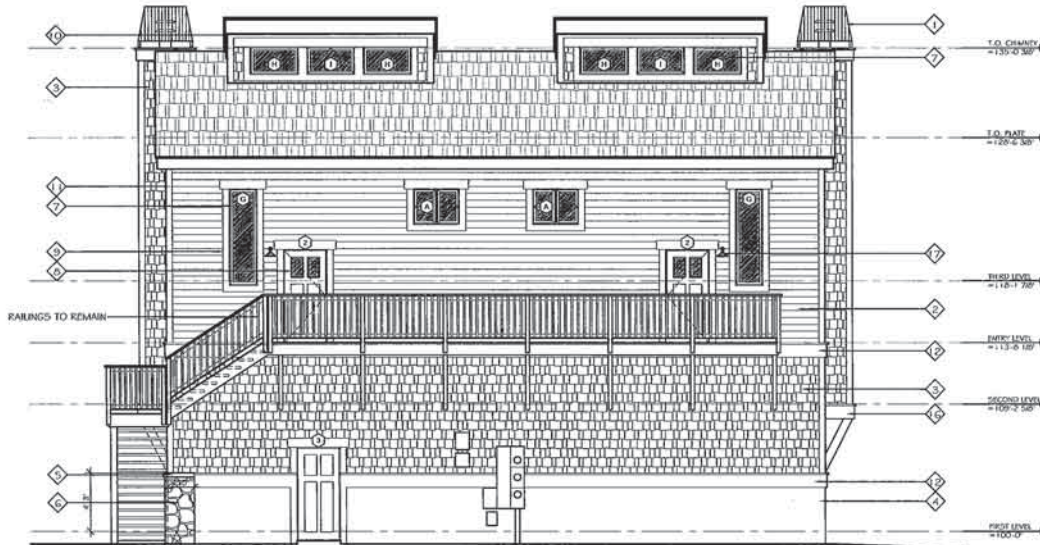
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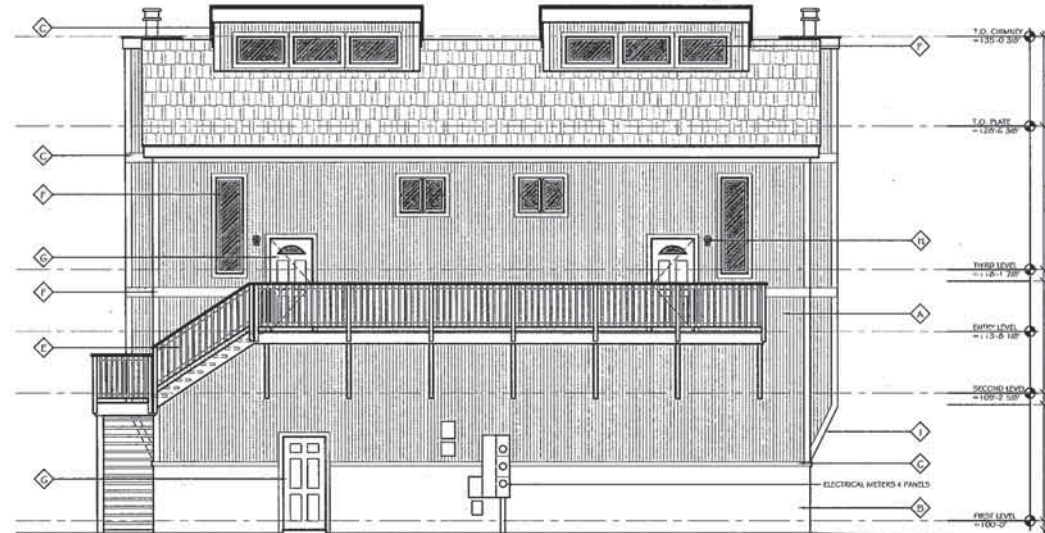
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BUILDING C PROPOSED WEST ELEVATION

1/4"=1'-0"



BUILDING C EXISTING WEST ELEVATION

1/4"=1'-0"

Lances West Condominiums
Exterior Renovation

144, 142 & 140 Broken Lance Drive,
Breckenridge, Colorado



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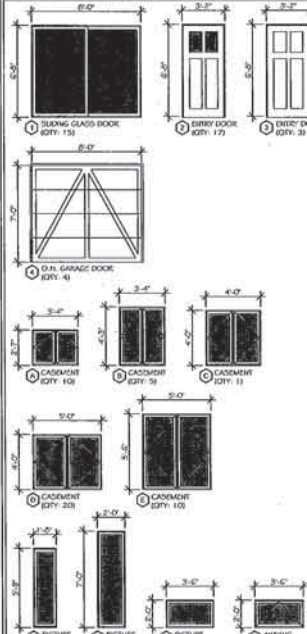
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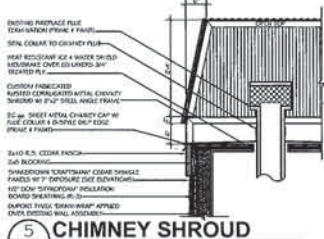
WINDOW & DOOR TYPES



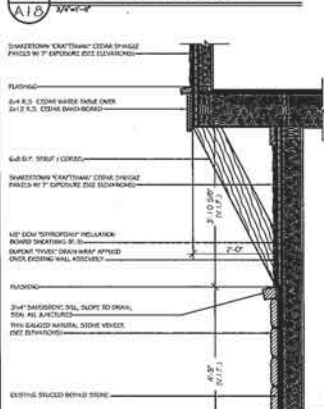
WINDOW & DOOR NOTES

- Windows & doors are shown above at 1/4"=1'-0" scale.
- Field verify all window & door rough opening sizes. Window sizes labeled on the original construction drawings are not accurate.
- Windows shall be aluminum-clad wood windows by Sierra Pacific for egress.
- Entry doors shall be steel-grade, insulated fiberglass doors with solid core construction (1-3/4" thickness) by Thermo-Tru (for egress).
- Window & door schedule dimensions are lease dimensions. Verify all existing rough opening dimensions and provide custom units that will properly fit these openings.
- Provide window & door jumbo / leaves suitable for 2x4 exterior walls with jamb extensions as required for the specified wall assembly. See Wall Sections.
- See building elevations for door & window operation direction & type.
- All vented units shall be provided with screens.
- Verify interior window & door trim finish with Unit Owners.
- All glazing shall be insulating glass, suitable for installation above 9,000 (Altitude) and tempered where required by code. Windows shall have a U-value of 0.35 or less.
- All exterior openings shall be wrapped with 6" of Ice 4 Water Shield. Provide 2x6 g.g. 1 (2"x1) 1/2" head flashing at all exterior openings, pre-finish to match window trim.
- General contractor and supplier to cross reference elevations for window & door quantities, sizes and locations.
- Provide tempered glass units where required by code.
- Provide egress windows where required by code.
- Doors and jumbo to be fire rated where required by code. Fire Rated doors to be tight fitting solid core with threshold.

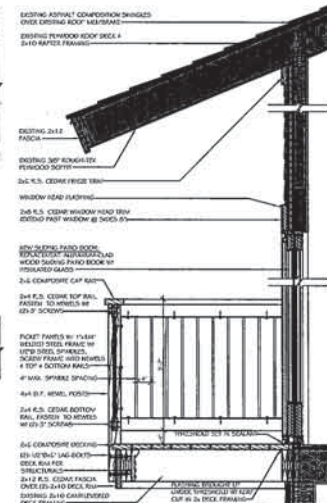
DOORS SYMBOLS ARE SHOWN ON THE ELEVATIONS AS (C) (NUMBERED)
WINDOWS SYMBOLS ARE SHOWN ON THE ELEVATIONS AS (A) (LETTERED)



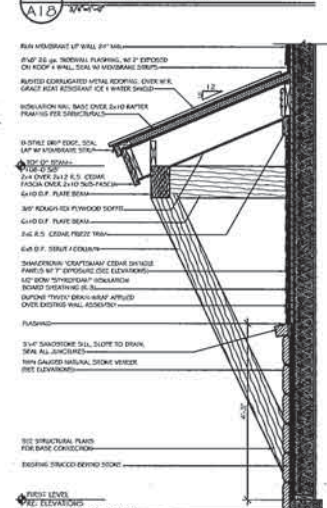
5 CHIMNEY SHROUD



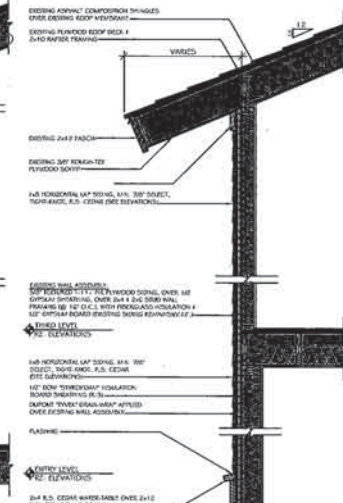
6 CHIMNEY BASE



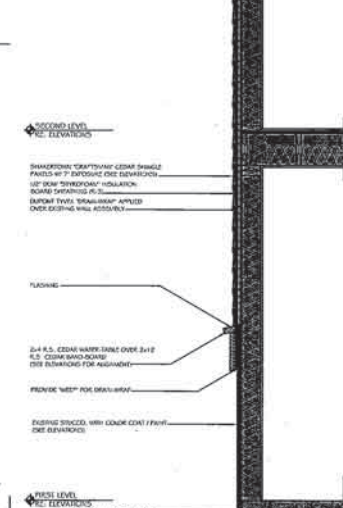
3 UPPER DECKS



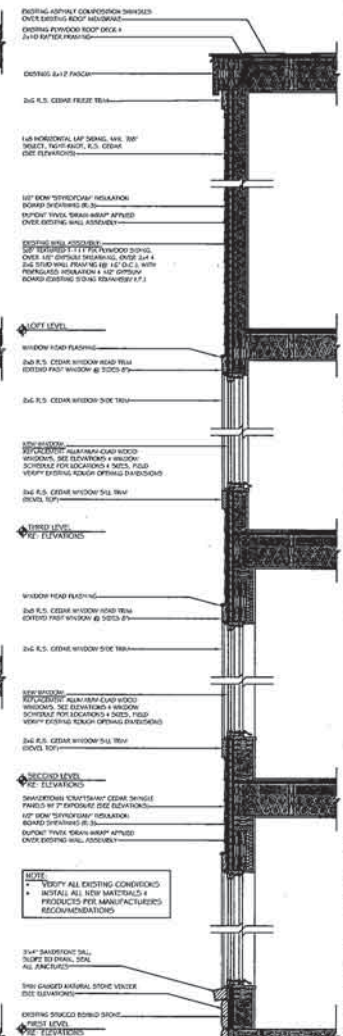
4 LOW ROOF



2 WALL SECTION



2 WALL SECTION



1 WALL SECTION

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Planning Commission Staff Report

- Subject:** Cucumber Creek Estates Master Plan
(Class A Final Hearing; PL-2106-0017)
- Proposal:** To create a master plan for a 9.24 acre property to provide for the development of 6, approximately ½ acre, single-family lots, 5 clustered single-family lots and 12 duplex residences. Currently the site has 22 SFEs, the master plan proposes to utilize all 22 of those SFEs and 1 additional SFE to be transferred to the site.
- Project Manager:** Chris Kulick, AICP
- Date:** April 25, 2016 (For meeting of May 3, 2016)
- Applicant:** Tim Casey, Christie Heights Partnership
- Owner:** Christie Heights Partnership
- Agent:** Steve West, Attorney
- Address:** Grandview Drive
- Legal Description:** Tract B, Christie Heights Subdivision #2
- Site Area:** 9.24 acres (402,494 sq. ft.).
- Land Use District:** 10: Residential 2 UPA, Single Family, up to 8-plex, townhouses subject to an approved Development Agreement. The Development Agreement provisions take precedent over the LUG's.
- Site Conditions:** The site is undeveloped and moderately forested with lodge pole pine and spruce trees. The site slopes to the northwest at an average grade of 6%. Trail easements that were dedicated through a previous subdivision are located along the northern and eastern edges of the property. Additionally the applicants' lease Tract B to the Nordic Center for \$1 per year as there are several short trail sections utilized that are not located on any formalized trail easement. It is the intention of the applicant to continue this lease arrangement until Tract B is developed.
- Adjacent Uses:** North: Shock Hill single-family lots South: Nordic Center
East: Penn Lode single-family homes West: Cucumber Gulch Preserve
- Density:** Allowed under current Development Agreement:
- | | |
|--|---------------------------------|
| Single-Family Homes (7,500 sq. ft. max): | 11 SFEs (82,500 sq. ft.) |
| <u>Condominium (1,200 sq. ft. multiplier):</u> | <u>11 SFEs (13,200 sq. ft.)</u> |
| Total Allowed: | 22 SFEs (97,500 sq. ft.) |

Proposed Master Plan (square footage is limited as proposed by the applicant):

Single-Family Home (6,200 sq. ft. max): 6 SFEs (37,200 sq. ft.)

Clustered Single-Family Home (3,500 sq. ft. max): 5 SFEs (17,500 sq. ft.)

Duplex (2,500 sq. ft. max): 12 SFEs (30,000 sq. ft.)

Total proposed: 23 SFEs (89,400 sq. ft.)

Mass: Allowed under existing Development Agreement: 117,000 sq. ft.
Proposed Mass:
Per Town Code - 20% of allowed density: 107,280 sq. ft.

Height: Recommended: 35 feet overall
Proposed:
Single Family Homes: 32 feet overall
Clustered Single-Family and Duplex: 35 feet overall

Building Envelope Setbacks Single-Family Home:

Allowed per the purchase contract for Tract A, Town Open Space (see Item History below):

“Building or disturbance envelopes for each lot reasonably acceptable to Seller.”

Proposed Building Envelope Setbacks:

Single-Family Homes:

Front: 15 ft.
Rear: 30 ft.
Side/South: 40 ft. combined

Proposed Clustered Single-Family Home and Duplex (Perimeter Boundary):

Front: 15 ft.
Rear: 30 ft.
Sides: 15 ft.

Changes since the March 15, 2016 Planning Commission Preliminary Hearing

There are no changes to the Master Plan Proposal and the associated Land Use Master Site Plan and Illustrative Site Plan from the March 15, 2016 Preliminary Hearing. Since the Preliminary Hearing the applicants have agreed to acquire one TDR for the property to bring the allowable density from 22 SFEs to 23 SFEs. Additionally, the applicants have agreed to modify the labeling on the Land Use Master Site Plan, Illustrative Site Plan and Master Plan Notes so they are consistent with the language in the Town Code. To satisfy this agreement, condition number 8 has been added which requires the applicants to change all references of “Townhomes” and “Cottages” to “Duplexes” and “Cluster Single-Family Homes” prior to recordation of the master plan.

Item History

On March 15, 2016, the Planning Commission reviewed Cucumber Creek at a Preliminary Hearing. That preliminary hearing staff report provided a detailed history of the evolution of the Cucumber Creek

Estates project since its initial approval in 1998 (which can be referenced in the previous Planning Commission packet).

At that meeting, staff received direction on several policies. Below is a summary of the policies that achieved a consensus of which *the Planning Commission had no concerns and remain unchanged from the preliminary hearing*. These items include:

- **Master Plan (39/A) and Land Use (Policies 2/A & 2/R):** The uses proposed are allowed in Land Use District 10, the underlying suggested land use.
- **Special Areas (Policy 37/R):** Per the existing Development Agreement, which is still valid, this proposal is exempt from the Cumber Gulch Overlay Protection District Ordinance.
- **Site and Environmental Design (7/R):** The overall site disturbance associated with the proposed illustrative plan is less than in the previously approved and vested subdivision plan.
- **Placement of Structures (9/A & 9/R):** The building envelopes are an improvement over the currently vested subdivision and in particular there is an increased setback along the rear property lines.
- **Building Height (6/A & 6/R):** With duplex and single-family structures, a maximum of 35-feet measured to the ridge is allowed per Policy 6. The applicants are proposing a maximum height of 32 feet for single family homes and 35 feet for clustered single family homes and duplexes.
- **Circulation (16/R):** Access for the proposed public street serving the neighborhood is to be taken from a single curb cut off Ski Hill Road. Non-motorized trail easements for summer and winter uses were dedicated along the eastern and northern boundaries of the property.
- **Architectural Compatibility (5/A & 5/R):** In an effort to ensure quality architecture and conform to Policy 5, the submitted Master Plan notes have detailed architectural guidelines which meet or exceed this policy.
- **Landscaping (22/A & 22/R):** No Planning Commission concerns. All landscaping will be reviewed in association with the individual development permits for each unit.

Staff Comments

Density/Intensity (3/A & 3/R)/Mass (4/R): The vested density is 22 SFEs with a maximum density of 97,500 sq. ft. This proposal will utilize the vested 22 SFES and will increase the density by 1 SFE to 23 SFEs via the TDR process. The transfer density for this application is exempt from negative points because it exceeds the maximum permitted density by less than 5% and will be done pursuant to the Town's TDR Policy. A density transfer certificate from the Upper Blue Transfer of Development Rights program will be required prior to the recording of the Cucumber Creek Estates Master Plan. The Planning Commission had no concerns at the preliminary hearing regarding the additional SFE. Condition # 1 has been added requiring a TDR purchase should the Commission support the added density. .

Drainage and Stormwater Management (27/A & 27/R): Drainage and detention ponds to handle drainage and stormwater from the development will be constructed within an easement located on the adjacent Tract A (Exhibit C). Because Tract A is an open space tract owned by the Town of Breckenridge, staff will be working with the applicants to ensure that the drainage and detention ponds minimize any impacts to the open space values of the tract. Condition #12 has been added to address this requirement.

Point Analysis (Section: 9-1-17-3): Staff conducted a final point analysis and found all absolute policies have been met. The proposal warrants no negative or positive points for a total passing point analysis of zero (0) points.

Staff Recommendation

Planning Staff recommends approval of the attached Point Analysis for Cucumber Creek Estates Master Plan, PL-2016-0017, located on Grandview Drive, Tract B, Christie Heights Subdivision # 2, with a passing score of zero (0) points.

Planning Staff recommends approval of the Cucumber Creek Estates Master Plan, PL-2016-0017, located on Grandview Drive, Tract B, Christie Heights Subdivision # 2, with the attached Findings and Conditions.

Final Hearing Impact Analysis				
Project:	Cucumber Creek Estates Master Plan	Positive Points	0	
PC#	PL-2016-0017			
Date:	4/20/2016	Negative Points	0	
Staff:	Chris Kulick, AICP			
		Total Allocation:	0	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility / (Historic Above Ground Density)	Complies		The transfer density for this application is exempt from negative points because it exceeds the maximum permitted density by less than 5% and will be done pursuant to the Town's TDR Policy. Prior to recording the Cucumber Creek Estates Master Plan, or a notice of approval of a master plan, Applicant shall pay for and obtain a certificate from the Upper Blue Basin Transferable Development Rights Program for one (1) Single Family Equivalent (SFE) of density to be transferred to Tract B. A copy of the certificate shall be provided to the Town of Breckenridge.
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		
13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		

14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		
18/R	Parking - Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2/+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/A	Social Community / Above Ground Density 12 UPA	(-3>-18)		
24/A	Social Community / Above Ground Density 10 UPA	(-3>-6)		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
5/R	Social Community - Conservation District	3x(-5/0)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		
33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		

	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		Projected is exempt from Cucumber Gulch Overlay Protection District Ordinance.
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		

TOWN OF BRECKENRIDGE

Cucumber Creek Estates Master Plan
Tract B, Christie Heights Subdivision #2
Grandview Drive
PL-2016-0017

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve this application with the following findings and conditions.

FINDINGS

1. The proposed project is in accord with Chapter 1 of Title 9 of the Breckenridge Town Code (“Development Code”), and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 25, 2016** and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 3, 2016** as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are tape-recorded.
6. The property is located on Tract B, Christie Heights Subdivision #2. As such, the property is also within the Cucumber Gulch Overlay Protection District (but not the Cucumber Gulch Preventative Management Area), which set forth certain design criteria intended to protect the unique biological and environmental character of the Cucumber Gulch Preserve. As part of the Development Agreement that was approved (on January 9, 2001 and extended on February 28, 2012), the property was not subject to the Cucumber Gulch Overlay Protection District Ordinance, (reception #617308), approved February 15, 2000, since the Cucumber Creek Estates Development Agreement is vested until January 9, 2021.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. The vested period for this master plan expires three (3) years from the date of Town Council approval, on **May 10, 2019**, in accordance with the vesting provisions of Policy 39 of the Development Code. In addition, if this permit is not signed and returned to the Town within thirty (30) days of the permit mailing date, the permit shall only be valid for eighteen (18) months, rather than three (3) years.
4. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the evidentiary forms and policy analysis forms.

5. This permit contains no agreement, consideration, or promise that a certificate of occupancy or certificate of compliance will be issued by the Town. A certificate of occupancy or certificate of compliance will be issued only in accordance with the Town's planning requirements/codes and building codes.
6. This Master Plan is entered into pursuant to Policy 39 (Absolute) of the Breckenridge Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code). Uses specifically approved in this Master Plan shall supersede the Town's Land Use Guidelines and shall serve as an absolute development policy under the Development Code during the vesting period of this Master Plan. The provisions and procedures of the Development Code (including the requirement for a point analysis) shall govern any future site specific development of the property subject to this Master Plan.
7. Approval of a Master Plan is limited to the general acceptability of the land uses proposed and their interrelationships, and shall not be construed to endorse the precise location of uses or engineering feasibility.
8. Prior to recordation of the master plan, Applicant shall change all references of "Townhomes" and "Cottages" to "Duplexes" and "Cluster Single-Family Homes".
9. Concurrently with the issuance of a Development Permit, applicant shall submit a 24"x36" mylar document of the final master plan, including all maps and text, as approved by Planning Commission, and reflecting any changes required. The name of the architect, and signature block signed by property owner of record or agent with power of attorney shall appear on the mylar.
10. Applicant shall record with the Summit County Clerk and Recorder a written notice of approval of the Master Plan. The document shall be in a form and substance acceptable to the Town Attorney. **In order to sign notice thereof to all interested parties.**
11. Prior to recording the Cucumber Creek Estates Master Plan, or a notice of approval of a master plan, Applicant shall pay for and obtain a certificate from the Upper Blue Basin Transferable Development Rights Program for one (1) Single Family Equivalent (SFE) of density to be transferred to Tract B. A copy of the certificate shall be provided to the Town of Breckenridge.
12. Prior to issuance of a Class A, B or C site-specific development permit by the Town for any development within the master planning area, **a preliminary agreement** pertaining to this Master Plan shall have been approved and executed by the Town and the Applicant: (a) identifying the business issues between Applicant and the Town, such as but not limited to the drainage easement for the benefit of Tract B which is located on Tract A, Christie Heights Subdivision #2 and its associated maintenance responsibilities, and (b) providing general terms for the resolution of each such issue. If such agreement results in the need for a change to any substantial element of the master plan, an amendment of the master plan may be required and, if the development for which a Class A, B or C site specific development permit is requested will be affected by such amendment, then the amendment will be required prior to the issuance of such Class A, B or C site-specific development permit by the Town.

CUCUMBER CREEK ESTATES

MASTER PLAN

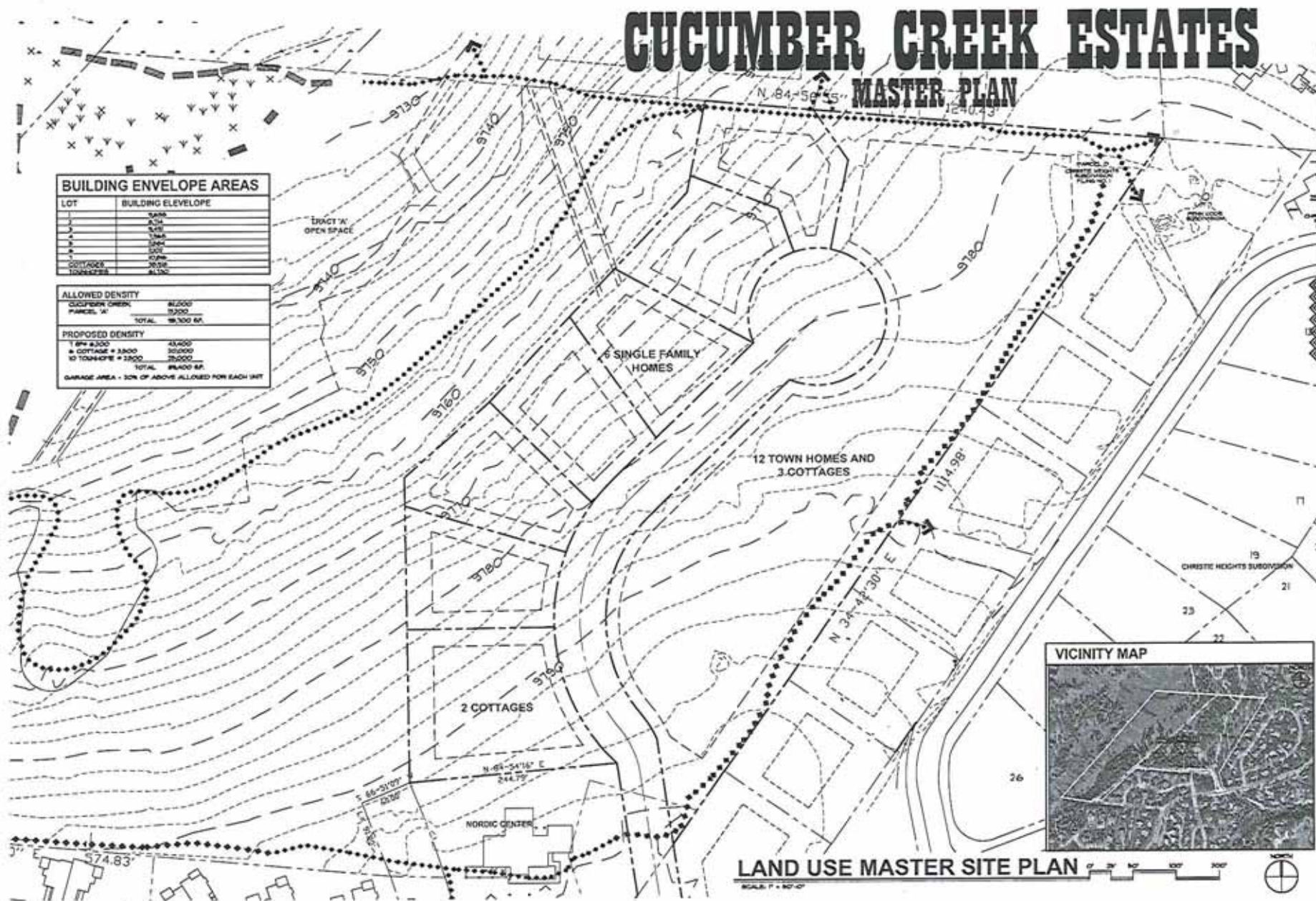
BUILDING ENVELOPE AREAS

LOT	BUILDING ENVELOPE
1	3400
2	3400
3	3400
4	3400
5	3400
6	3400
7	3400
8	3400
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98	3400
99	3400
100	3400

ALLOWED DENSITY	
CUCUMBER CREEK	10,000
PARCEL 'A'	10,000
TOTAL	20,000 SF

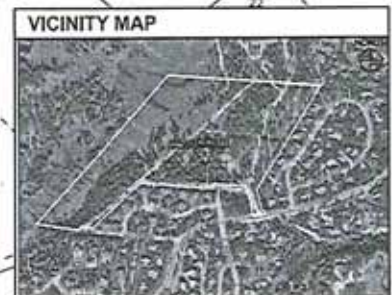
PROPOSED DENSITY	
1 SH #300	43,000
8 COTTAGE # 3000	24,000
10 TOWNHOME # 2500	25,000
TOTAL	92,000 SF

GARAGE AREA - 30% OF ABOVE ALLOWED FOR EACH UNIT



REVISION:	
DATE:	5/20/08
DESIGNED BY:	J. PALLAK
CHECKED BY:	H. HOSAH

PROPOSED SETBACKS



LAND USE MASTER SITE PLAN

SCALE: 1" = 100'



bhh Partners
 10000 N. 100TH AVENUE, SUITE 100
 DENVER, CO 80231
CUCUMBER CREEK ESTATES
 BUCKENRIEDEL CO

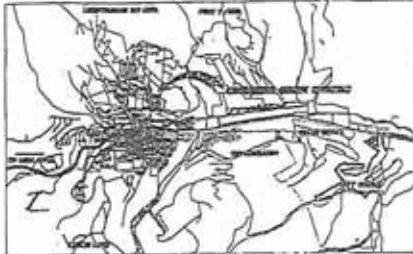
SP-1
 OF 2



CUCUMBER CREEK ESTATES, SITES & TRACTS

A RESUBDIVISION OF SITE 2A, SITE 2B, REPLAT OF CHRISTIE HEIGHTS, FILING NO. 1, AMENDED
AND A PART OF PARCEL D, A REPLAT OF CHRISTIE HEIGHTS, FILING NO. 1
SECTION 36, TOWNSHIP 6 SOUTH, RANGE 78 WEST OF THE SIXTH P.M.
A PART OF CUCUMBER PATCH PLACER, MS 2630 AND A PART OF LOMAX GULCH PLACER, MS 1807
TOWN OF BRECKENRIDGE, SUMMIT COUNTY, COLORADO

EXHIBIT C

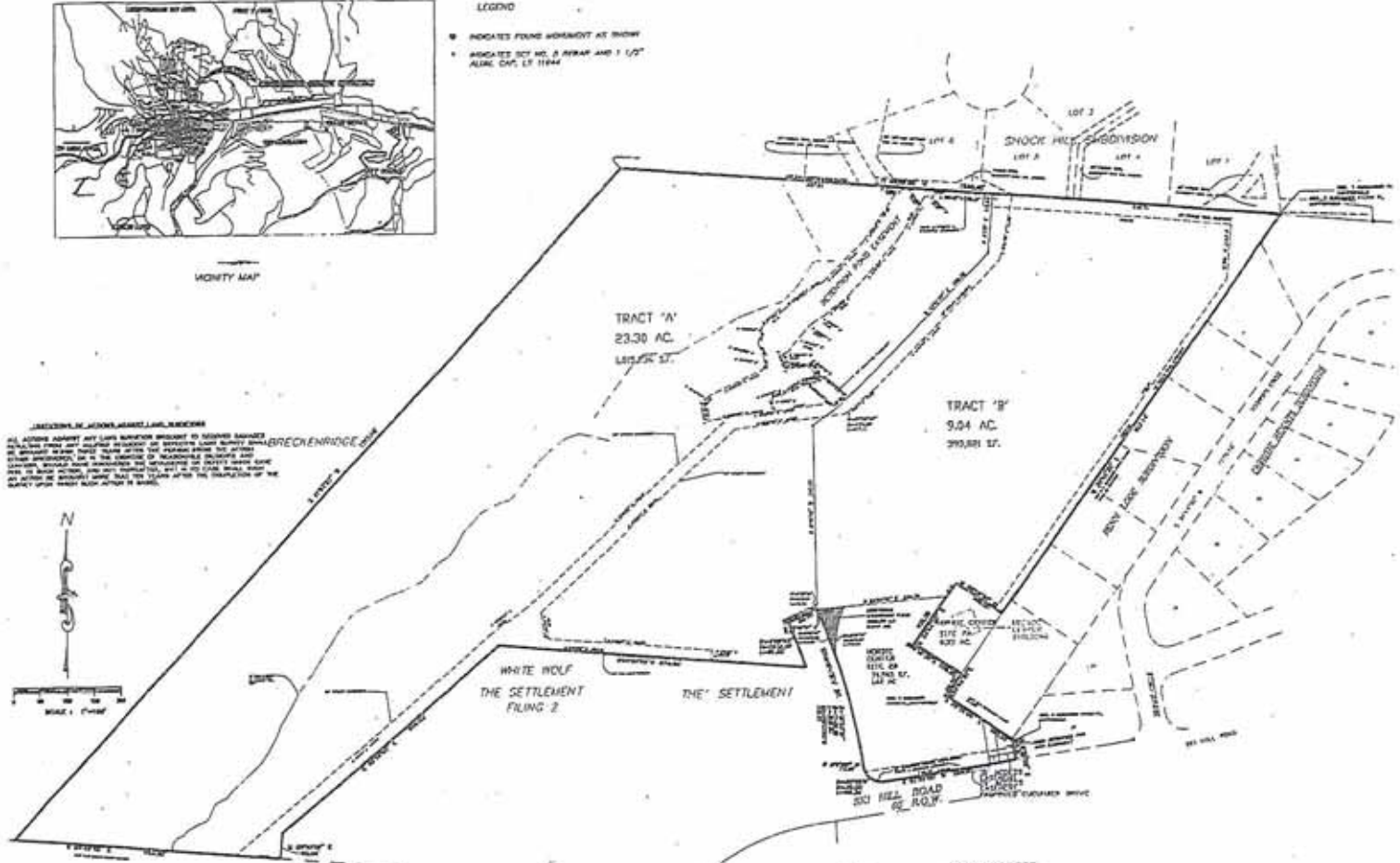


LEGEND

- INDICATES FINDING AMOUNT AT SHOW
- INDICATES 20' AC. & REBAR AND 1 1/2" ALUM. CHS. LT. 11844

WARNING RE: ADJACENT LOTS, BUCKENRIDGE

All actions against any laws, regulations or ordinances which may apply to the project shall be the responsibility of the applicant. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



GENERAL DESCRIPTION

THE ABOVE DESCRIBED PLAT IS A RESUBDIVISION OF THE LAND DESCRIBED IN THE ABOVE PLATS, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS, CONDITIONS AND EASEMENTS THEREIN. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC.

STATE OF COLORADO
COUNTY OF SUMMIT

PLAT OF THE ABOVE DESCRIBED PLAT

THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC.

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NOTICE TO CONTRACTORS

THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC. THE APPLICANT HAS AGREED TO WAIVE ALL RIGHTS OF FIRST REFUSAL AND RIGHTS OF FIRST OFFER IN FAVOR OF THE PUBLIC.

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SHEET 1 OF 1

CUCUMBER CREEK ESTATES, SITES & TRACTS BRECKENRIDGE, SUMMIT COUNTY, COLO.	
DATE OF PLAT	APRIL 1, 2010
DATE OF RECORDING	APRIL 1, 2010
APPLICANT	TETRA TECH, INC.
PREPARED BY	TETRA TECH, INC.
REVIEWED BY	TETRA TECH, INC.
DATE OF REVIEW	APRIL 1, 2010

55

Planning Commission Staff Report

Subject: Ten Mile Suites, Unit 2 Change of Use
(Class B Minor Combined Hearing; PL-2016-0042)

Date: April 18, 2016 (for May 3, 2016 meeting)

Project Manager: Michael Mosher, Planner III

Owner/Applicant: Ken and Margaret Bell

Agent: Dry Rot Construction, Lee Edwards

Proposal: The applicant is proposing to change the use of Unit 2 of Ten Mile Suites from commercial (office) to a single residential condominium (2 bedrooms and 2.5 bathrooms). No exterior changes are proposed.

Address: 520 South French Street

Legal Description: Unit 2, Ten Mile Suites Condo

Land Use District: 26, Residential; 4 UPA

Site Conditions: Ten Mile Suites is a three story building. The proposed change of use is on the main level. The lot is built out with a few mature evergreens for vegetation (no impact). A paved parking area (no change) is located to the west of the building and is accessed off of French Street.

Adjacent Uses: North: Residential & Carter Park
East: Residential
South: Residential
West: Residential

Density Existing Unit 2: 2,341 sq. ft. (commercial/office)

Parking: Existing parking for commercial use: 5.85 spaces
Required parking for condominium use: 2 spaces (reduction of 3.85 spaces)

Item History

Ten Mile Suites was constructed prior to 1982. It is primarily a residential building. With a recent application for Unit 1 (May 6, 2014 - PC#2014020) a change of use was approved by the Planning Commission to convert commercial space to four residential condos on the first floor.

Staff Comments

No change is proposed to the height, lot coverage, setbacks, or landscaping. This report will only address those portions of the Development Code related to this proposed change of use.

9-1-19-2A&R: Policy 2 (Absolute and Relative) Land Use Guidelines: The existing use in Ten Mile Suites Condo is residential, as Land Use District 26 suggests, with the exception of the commercial units.

The applicant proposes to change the use of the space from a commercial use to residential use, which is more appropriate for this Land Use District. Staff has no concerns with the proposed change of use.

9-1-19-3A&R: Policy 3 (Absolute and Relative) Density/Intensity: The entire building is significantly over the recommended Land Use density of 4 UPA. Thus, it is considered “legal non-conforming” and is allowed to remain with the density overage, but the nonconformity cannot be increased. Any proposed improvements are encouraged to reduce the non-conformance.

Commercial use is calculated at 1 SFE = 1,000 sq. ft. The square footage of Unit 2 of Ten Mile Suites is 2,341 sq. ft. The current commercial density is 2.32 SFEs. Condominium use is calculated at 1 SFE = 1,200 sq. ft. The proposed density would be 1.95 SFEs. The proposed change of use from commercial to residential reduces the amount of density. Staff has no concerns.

9-1-19-4A: Policy 4 (Absolute and Relative) Mass: The proposed change of use does not alter the existing mass.

9-1-19-18A: Policy 18 (Absolute and Relative) Parking: The commercial use requires one parking spot for every 400 sq. ft. of gross square footage which equates to 5.85 parking spaces (2,341 sq. ft. /400 sq. ft.). The proposed use of residential condominiums requires two parking spaces per unit. This is a reduction of 3.85 spaces and is provided for on the existing parking lot on site. Staff has no concerns.

Point Analysis (Section: 9-1-17-3): Staff has included a point analysis and found all the Absolute Policies of the Development Code to be met and no reason to assign any positive or negative points to this project under any Relative policies. We are recommending a passing point analysis of zero (0) points.

Staff finds that this change of use is in conformance with the land uses in the area and results in less density and parking required for the property. We have no concerns.

Staff Recommendation

Staff recommends that the Planning Commission approve the Point Analysis with a passing score of zero (0) points for the Ten Mile Suites, Unit 2 Change of Use (PL-2016-0042).

Staff recommends that the Planning Commission approve the Ten Mile Suites, Unit 2 Change of Use, (PL-2016-0042) with the attached Point Analysis and Findings and Conditions.

Combined Hearing Impact Analysis				
Project:	Ten Mile Suites, Unit 2 change of use	Positive Points	0	
PC#:	PL-2016-0042			
Date:	4/19/2016	Negative Points	0	
Staff:	Michael Mosher, Planner III			
		Total Allocation:	0	
Items left blank are either not applicable or have no comment				
Sect.	Policy	Range	Points	Comments
1/A	Codes, Correlative Documents & Plat Notes	Complies		
2/A	Land Use Guidelines	Complies		
2/R	Land Use Guidelines - Uses	4x(-3/+2)		The existing use in Ten Mile Suites Condo is primarily residential, as Land Use District 26 suggests, with the exception of the commercial units. The applicant proposes to change the use of the space from a commercial use to residential use, which is more appropriate for this Land Use District.
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)		
2/R	Land Use Guidelines - Nuisances	3x(-2/0)		
3/A	Density/Intensity	Complies		
3/R	Density/ Intensity Guidelines	5x (-2>-20)		Commercial use is calculated at 1 SFE = 1,000 sq. ft. The square footage of Unit 2 of Ten Mile Suites is 2,341 sq. ft. The current commercial density is 2.32 SFEs. Condominium use is calculated at 1 SFE = 1,200 sq. ft. The proposed density would be 1.95 SFEs. The proposed change of use from commercial to residential reduces the amount of density.
4/R	Mass	5x (-2>-20)		
5/A	Architectural Compatibility / Historic Priority Policies	Complies		
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)		
5/R	Architectural Compatibility / Conservation District	5x(-5/0)		
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)		
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)		
6/A	Building Height	Complies		
6/R	Relative Building Height - General Provisions	1X(-2,+2)		
	For all structures except Single Family and Duplex Units outside the Historic District			
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)		
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)		
6/R	Building Height Outside H.D. / Stories	(-5>-20)		
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
	For all Single Family and Duplex Units outside the Conservation District			
6/R	Density in roof structure	1x(+1/-1)		
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)		
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)		
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)		
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)		
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)		
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)		
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)		
7/R	Site and Environmental Design / Wetlands	2X(0/+2)		
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)		
8/A	Ridgeline and Hillside Development	Complies		
9/A	Placement of Structures	Complies		
9/R	Placement of Structures - Public Safety	2x(-2/+2)		
9/R	Placement of Structures - Adverse Effects	3x(-2/0)		
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)		
9/R	Placement of Structures - Setbacks	3x(0/-3)		
12/A	Signs	Complies		

13/A	Snow Removal/Storage	Complies		
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)		
14/A	Storage	Complies		
14/R	Storage	2x(-2/0)		
15/A	Refuse	Complies		
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)		
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)		
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)		
16/A	Internal Circulation	Complies		
16/R	Internal Circulation / Accessibility	3x(-2/+2)		
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)		
17/A	External Circulation	Complies		
18/A	Parking	Complies		
18/R	Parking - General Requirements	1x(-2/+2)		The commercial use requires one parking spot for every 400 sq. ft. of gross square footage which equates to 5.85 parking spaces (2,341 sq. ft./400 sq. ft.). The proposed use of residential condominiums requires two parking spaces per unit. This is a reduction of 3.85 spaces and is provided for on the existing parking lot on site.
18/R	Parking-Public View/Usage	2x(-2/+2)		
18/R	Parking - Joint Parking Facilities	1x(+1)		
18/R	Parking - Common Driveways	1x(+1)		
18/R	Parking - Downtown Service Area	2x(-2+2)		
19/A	Loading	Complies		
20/R	Recreation Facilities	3x(-2/+2)		
21/R	Open Space - Private Open Space	3x(-2/+2)		
21/R	Open Space - Public Open Space	3x(0/+2)		
22/A	Landscaping	Complies		
22/R	Landscaping	2x(-1/+3)		
24/A	Social Community	Complies		
24/R	Social Community - Employee Housing	1x(-10/+10)		
24/R	Social Community - Community Need	3x(0/+2)		
24/R	Social Community - Social Services	4x(-2/+2)		
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)		
24/R	Social Community - Historic Preservation	3x(0/+5)		
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15		
25/R	Transit	4x(-2/+2)		
26/A	Infrastructure	Complies		
26/R	Infrastructure - Capital Improvements	4x(-2/+2)		
27/A	Drainage	Complies		
27/R	Drainage - Municipal Drainage System	3x(0/+2)		
28/A	Utilities - Power lines	Complies		
29/A	Construction Activities	Complies		
30/A	Air Quality	Complies		
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2		
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)		
31/A	Water Quality	Complies		
31/R	Water Quality - Water Criteria	3x(0/+2)		
32/A	Water Conservation	Complies		
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)		
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)		
	HERS index for Residential Buildings			
33/R	Obtaining a HERS index	+1		
33/R	HERS rating = 61-80	+2		
33/R	HERS rating = 41-60	+3		
33/R	HERS rating = 19-40	+4		
33/R	HERS rating = 1-20	+5		
33/R	HERS rating = 0	+6		
	Commercial Buildings - % energy saved beyond the IECC minimum standards			
33/R	Savings of 10%-19%	+1		
33/R	Savings of 20%-29%	+3		
33/R	Savings of 30%-39%	+4		
33/R	Savings of 40%-49%	+5		

33/R	Savings of 50%-59%	+6		
33/R	Savings of 60%-69%	+7		
33/R	Savings of 70%-79%	+8		
33/R	Savings of 80% +	+9		
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)		
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)		
33/R	Large Outdoor Water Feature	1X(-1/0)		
	Other Design Feature	1X(-2/+2)		
34/A	Hazardous Conditions	Complies		
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)		
35/A	Subdivision	Complies		
36/A	Temporary Structures	Complies		
37/A	Special Areas	Complies		
37/R	Community Entrance	4x(-2/0)		
37/R	Individual Sites	3x(-2/+2)		
37/R	Blue River	2x(0/+2)		
37R	Cucumber Gulch/Setbacks	2x(0/+2)		
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)		
38/A	Home Occupation	Complies		
39/A	Master Plan	Complies		
40/A	Chalet House	Complies		
41/A	Satellite Earth Station Antennas	Complies		
42/A	Exterior Loudspeakers	Complies		
43/A	Public Art	Complies		
43/R	Public Art	1x(0/+1)		
44/A	Radio Broadcasts	Complies		
45/A	Special Commercial Events	Complies		
46/A	Exterior Lighting	Complies		
47/A	Fences, Gates And Gateway Entrance Monuments	Complies		
48/A	Voluntary Defensible Space	Complies		
49/A	Vendor Carts	Complies		

TOWN OF BRECKENRIDGE

**Ten Mile Suites, Unit 2 Change of Use
520 S. French Street Unit #2
Ten Mile Suites Condo
PL-2016-0042**

FINDINGS

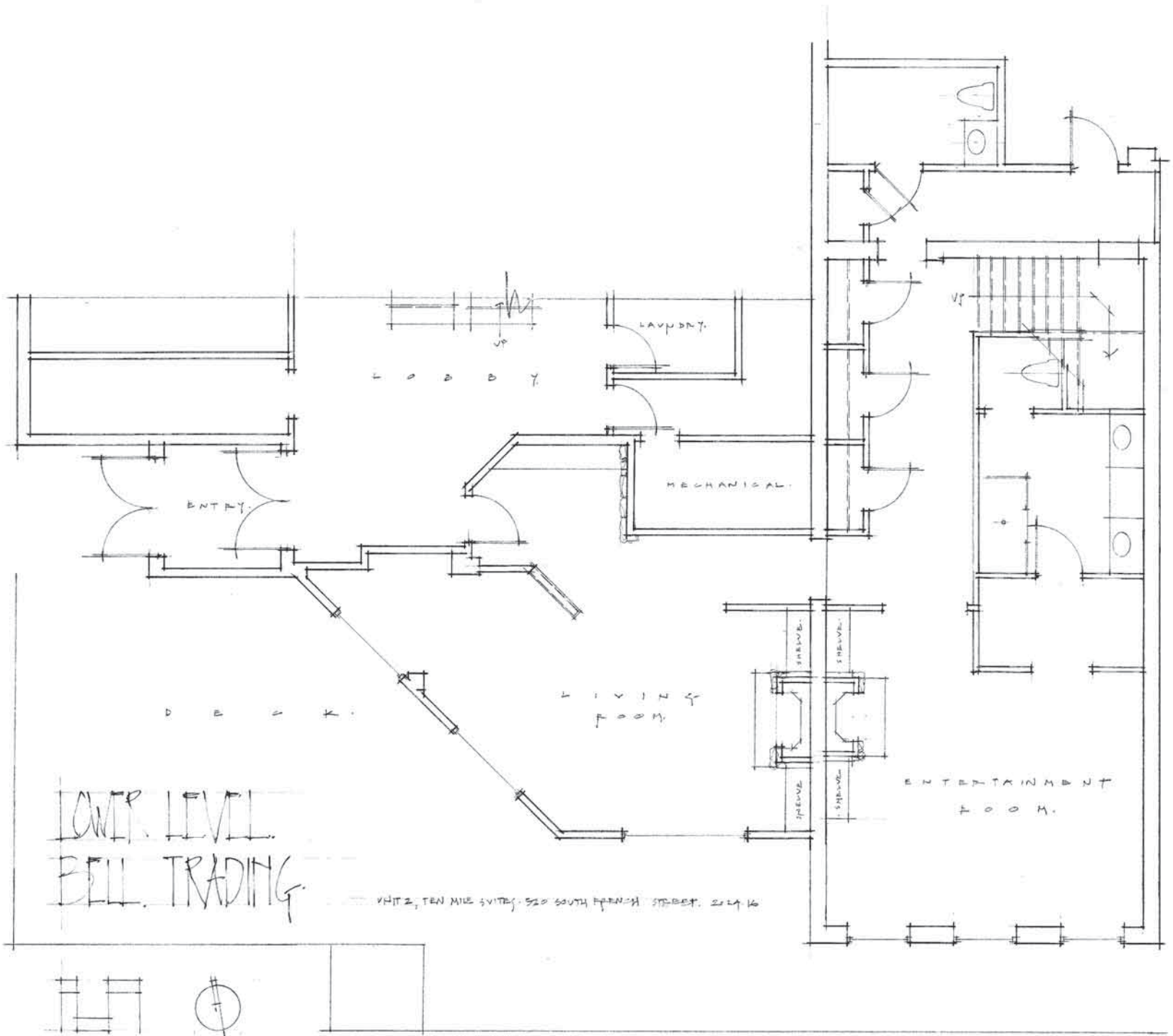
1. The proposed project is in accord with the Development Code and does not propose any prohibited use.
2. The project will not have a significant adverse environmental impact or demonstrative negative aesthetic effect.
3. All feasible measures mitigating adverse environmental impacts have been included, and there are no economically feasible alternatives which would have less adverse environmental impact.
4. This approval is based on the staff report dated **April 18, 2016**, and findings made by the Planning Commission with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the Town of Breckenridge, and at the hearing on the project held on **May 3, 2016**, as to the nature of the project. In addition to Commission minutes, the meetings of the Commission are tape recorded.
6. The approved change of use from office to residential is for a 2,341square foot residential condominium use.
7. The issues involved in the proposed project are such that no useful purpose would be served by requiring two separate hearings.

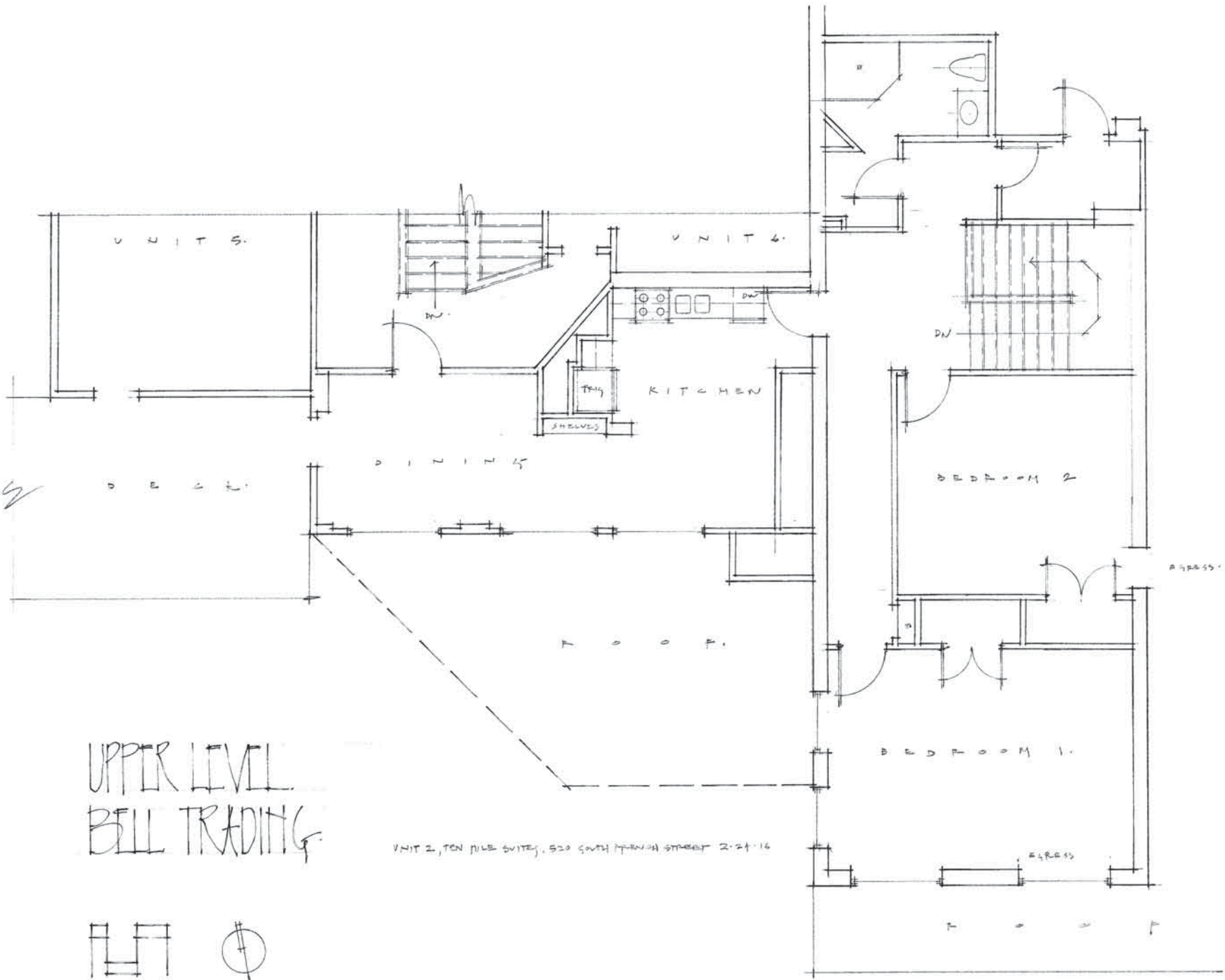
CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the Town of Breckenridge.
2. If the terms and conditions of the approval are violated, the Town, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop order requiring the cessation of work, revoke this permit, require removal of any improvements made in reliance upon this permit with costs to constitute a lien on the property and/or restoration of the property.
3. The project complies with the statements of the staff and applicant made on the evidentiary forms and policy analysis form.
4. This permit expires three years from date of issuance, on **May 10, 2019**, unless a building permit has been issued and substantial construction pursuant thereto has taken place. In addition, if this permit is not signed and returned to the Town within 30 days from the permit mailing date, the duration of the permit shall be three years, but without the benefit of any vested property right.

PRIOR TO ISSUANCE OF A BUILDING PERMIT

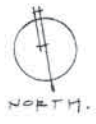
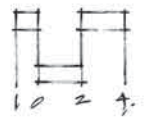
6. **Town of Breckenridge water tap assessments shall be updated and paid prior to issuance of a building permit and prior to the new use of the property. This fee shall be based on the Water Plant Investment Fee schedule in effect at the time of the payment.**
7. **Upper Blue Sanitation District sewer tap assessments shall be updated and paid prior to issuance of a building permit and prior to the new use of the property.**
8. The development project approved by this Permit must be constructed in accordance with the plans and specifications, which were approved by the Town in connection with the Development Permit application. Any material deviation from the approved plans and specifications without Town approval as a modification may result in the Town issuing a Stop Work Order and/or not issuing a Certificate of Occupancy or Compliance for the project, and/or other appropriate legal action under the Town's development regulations. A Stop Work Order may not be released until a modification to the permit is reviewed and approved by the Town. Based upon the magnitude of the modification, another hearing before the Planning Commission may be required.
9. No Certificate of Occupancy or Certificate of Compliance will be issued by the Town until: (i) all work done pursuant to this permit is determined by the Town to be in compliance with the approved plans and specifications for the project, and all applicable Town codes, ordinances and standards, and (ii) all conditions of approval set forth in the Development Permit for this project have been properly satisfied.
10. Applicant shall submit the written statement concerning contractors, subcontractors and material suppliers required in accordance with Ordinance No. 1, Series 2004.





UPPER LEVEL
BELL TRADING

UNIT 2, TEN FIVE SUITE, 520 SOUTH HENRIETTA STREET 2-21-16





MEMORANDUM

TO: Planning Commission
FROM: Julia Puester, Senior Planner
DATE: April 25, 2016 (for meeting of May 5, 2016)
SUBJECT: Approved Class D Majors Quarterly Report (Q1-2016)

BACKGROUND

Effective January 1, 2014, Section 9-1-18-4-1 of the Breckenridge Development Code authorized the Director to review and approve Class D Major applications for single family or duplex structures outside of the Conservation District administratively without Planning Commission review. For an application to be classified as a Class D Major development permit, the property must have a platted building or disturbance envelope and warrant no negative points under Section 9-1-19 *Development Policies*. Staff regularly reports recently approved Class D Major development permits to the Planning Commission.

We have included a list of the Class D Major development permits that have been approved for the first quarter of 2016 since we last reported to you in January.

Class D Majors approved for the 1st quarter increased **55%** Q1-2016 over Q1-2015 (17 in 2016 vs. 11 in 2015).

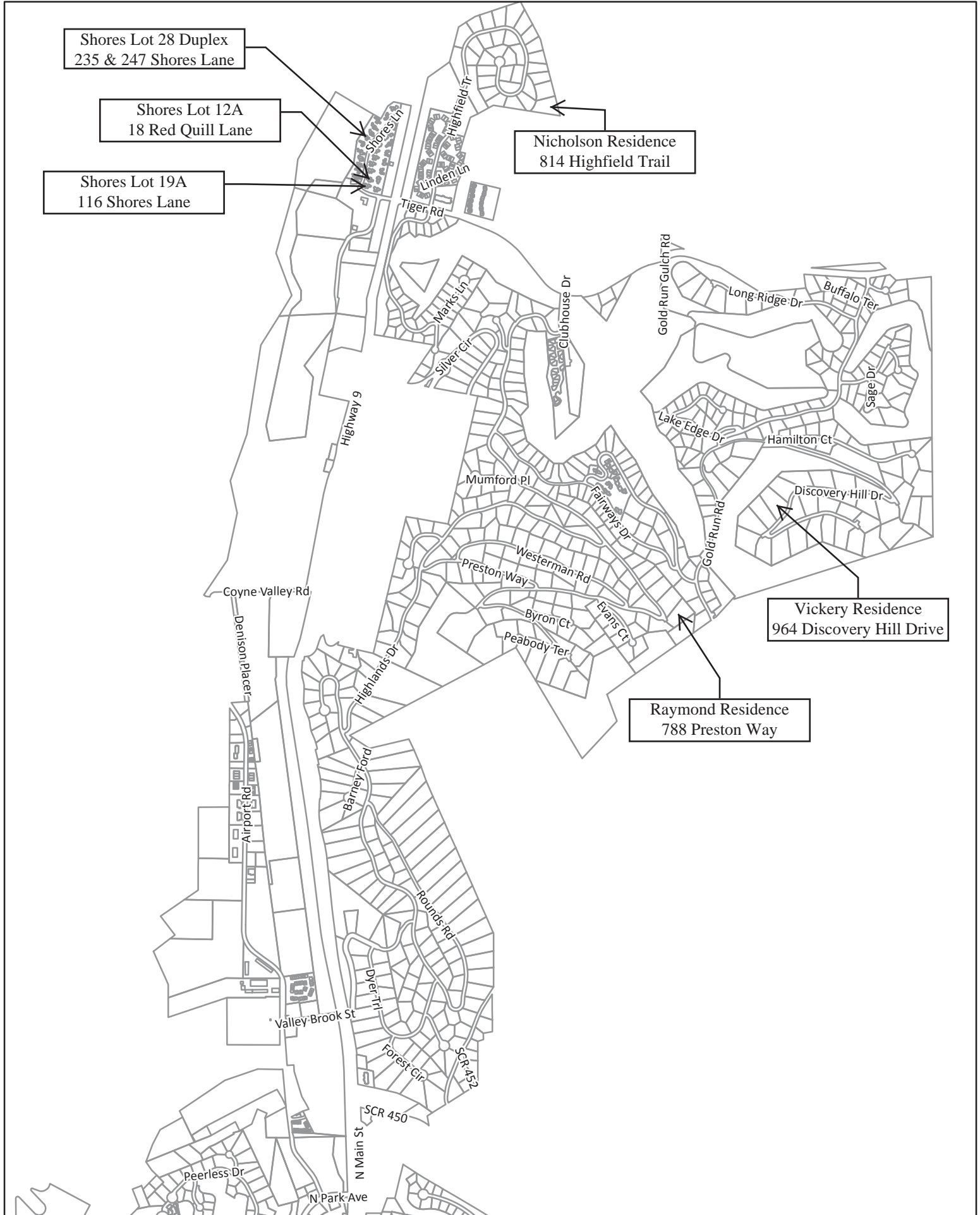
If you have any questions about these applications, the reporting, or the review process, we would be happy to answer. Otherwise, no discussion on this matter is required.



Permit #	Address	Project Name	Description	Approval Date	Planner
PL-2015-0574	814 Highfield Trail	Nicholson Residence (Braddock Hill L13)	New SFR: 3 BR, 3.5 BA, 3,763 sf density, 4,379 sf mass, 1:19.38 FAR	1/28/16	Chris Kulick
PL-2015-0575	31, 27, 23 Stillson Green	Lincoln Park F1 B1 Lot 4A, 4B, 4C Triplex	New Triplex: 3 BR, 2.5 BA each; total of 3,518 sf density	2/2/16	Chapin LaChance
PL-2016-0004	19, 15, 11 Stillson Green	Lincoln Park F1 B1 Lot 5A, 5B, 5C Triplex	New Triplex: 3 BR, 2.5 BA each; total of 3,518 sf density	2/2/16	Chapin LaChance
PL-2016-0010	235, 247 Shores Lane	Shores Lot 28 Duplex	New Duplex: 3 BR, 3.5 BA each, total of 4,998 sf density and 6,048 sf mass	2/19/16	Michael Mosher
PL-2016-0019	33, 25, 21 Stillson Green	Lincoln Park F1 B1 Lot 6A, 6B, 6C Triplex	New Triplex: 3BR, 2.5 BA each; total of 3,518 sf density	2/24/16	Michael Mosher
PL-2016-0020	17, 13, 7 Stillson Green	Lincoln Park F1 B1 Lot 7A, 7B, 7C Triplex	New Triplex: 3BR, 2.5 BA each; total of 3,518 sf density	2/24/16	Chapin LaChance
PL-2016-0036	9 Sisler Green	Lincoln Park F1 B1 Lot 12	New SFR: 3 BR, 2.5 BA, 2,006 sf density, 2,490 sf mass	3/9/16	Michael Mosher
PL-2016-0037	21 Sisler Green	Lincoln Park F1 B1 Lot 13	New SFR: 3BR, 2.5BA, 1,494 sf density	3/9/16	Michael Mosher
PL-2016-0025	27 Sisler Green	Lincoln Park F1 B1 Lot 14	New SFR: 3BR, 2BA, 1,469 sf density	3/9/16	Chapin LaChance
PL-2016-0026	35 Sisler Green	Lincoln Park F1 B1 Lot 15	New SFR: 3BR, 2.5BA, 1,491 sf density, 1,975 sf mass	3/9/16	Chapin LaChance
PL-2016-0053	964 Discovery Hill Drive	Vickery Residence (Discovery Hill F2 Lot 126)	New SFR: 5BR, 4.5BA, 5,096 sf density, 5,820 sf mass, 1:19.97 FAR	3/17/16	Chris Kulick
PL-2016-0041	788 Preston Way	Raymond Residence (Highlands F8 Lot 201)	New SFR: 5BR, 5BA, 4,774 sf density, 5,681 sf mass, 1:16.75 FAR	3/23/16	Michael Mosher
PL-2016-0049	47 Rodeo Drive	Kuhn Garage (Wellington 1 B1 Lot 6B)	New Garage: 1,185 sf density, 1:1.89 FAR	3/23/16	Michael Mosher



Permit #	Address	Project Name	Description	Approval Date	Planner
PL-2016-0056	592 Peerless Drive	Higgins Residence (Shock Hill F2 Lot 45)	New SFR: 5BR, 6BA, 6,076 sf density, 6,766 sf mass, 1:3.53 FAR	3/24/16	Chris Kulick
PL-2016-0071	18 Red Quill Lane	Shores Lot 12A	New SFR: 3BR, 3.5BA, 2,757 sf density, 3,239 sf mass	3/25/16	Chris Kulick
PL-2016-0070	116 Shores Lane	Shores Lot 19A	New SFR: 3BR, 3.5BA, 2,310 sf density, 2,774 sf mass	3/25/16	Chris Kulick
PL-2016-0061	237 Silver Queen Drive	Peak Ten Bluffs Lot 6	New SFR: 3BR, 3.5BA, 3,610 sf density, 4,210 sf mass, 1:1.27 FAR	3/30/16	Chris Kulick



Shores Lot 28 Duplex
235 & 247 Shores Lane

Shores Lot 12A
18 Red Quill Lane

Shores Lot 19A
116 Shores Lane

Nicholson Residence
814 Highfield Trail

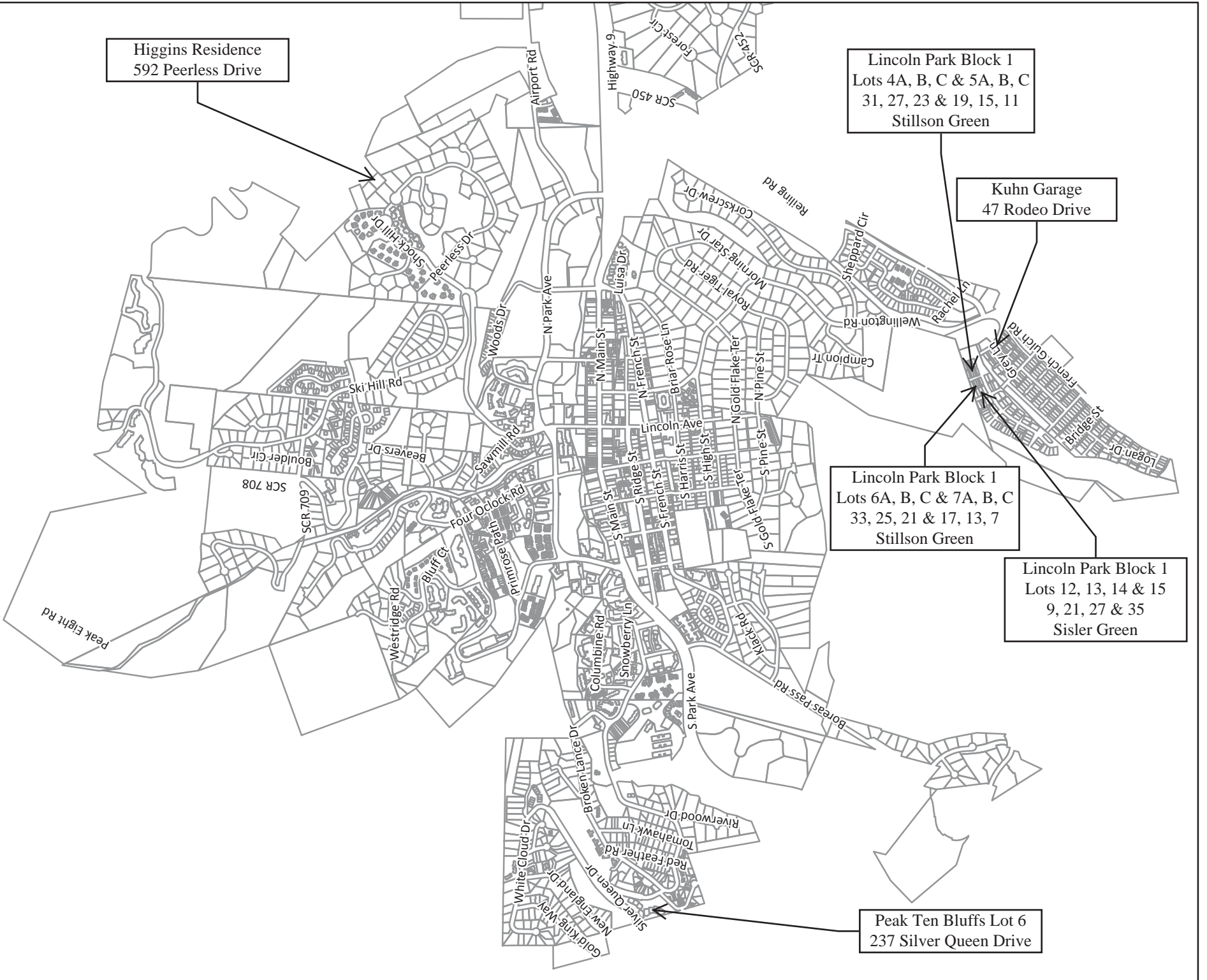
Vickery Residence
964 Discovery Hill Drive

Raymond Residence
788 Preston Way



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Breckenridge North



Higgins Residence
592 Peerless Drive

Lincoln Park Block 1
Lots 4A, B, C & 5A, B, C
31, 27, 23 & 19, 15, 11
Stillson Green

Kuhn Garage
47 Rodeo Drive

Lincoln Park Block 1
Lots 6A, B, C & 7A, B, C
33, 25, 21 & 17, 13, 7
Stillson Green

Lincoln Park Block 1
Lots 12, 13, 14 & 15
9, 21, 27 & 35
Sisler Green

Peak Ten Bluffs Lot 6
237 Silver Queen Drive



Breckenridge South

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